

## ARCHITECTURAL GUIDELINES FOR HISTORIC PRESERVATION

St. Augustine, Florida.





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St. Augustine, Florida

“You’ve got to preserve it and  
yet you’ve got to have people  
use it. The two things are always  
at odds.”

*Albert Manney*





# CONTENTS

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## Preface 1-4

PURPOSE 2  
SCOPE 2  
GOALS • OBJECTIVES 3

## Preservation Districts 5-16

HISTORIC OVERVIEW 6-7  
NATIONAL REGISTER DISTRICTS 7-10  
PRESERVATION DISTRICTS 10-16

## Architectural Styles and Periods 17-34

## Rehabilitation and Maintenance 35-50

RESIDENTIAL BUILDINGS 36  
    Building Site 36  
    Building Structural Systems 38  
    Building Exterior Features 39  
    Energy and Utility Considerations 47  
    Secondary Buildings 48  
NON RESIDENTIAL BUILDINGS 48  
    Commercial Buildings 48  
    Residential Buildings Put to Commercial Use 49  
    Signs 49  
    Institutional/Public Buildings 49  
    Parking 50

## New Construction 51-54

PRIMARY BUILDINGS 52  
SECONDARY BUILDINGS 53  
MOVING BUILDINGS 53  
COLOR 53  
ENERGY AND UTILITY CONSIDERATIONS 53

## Application Process 55-60

BUILDING PERMIT 56  
DEMOLITION PERMIT 57  
RELOCATION PERMIT 58

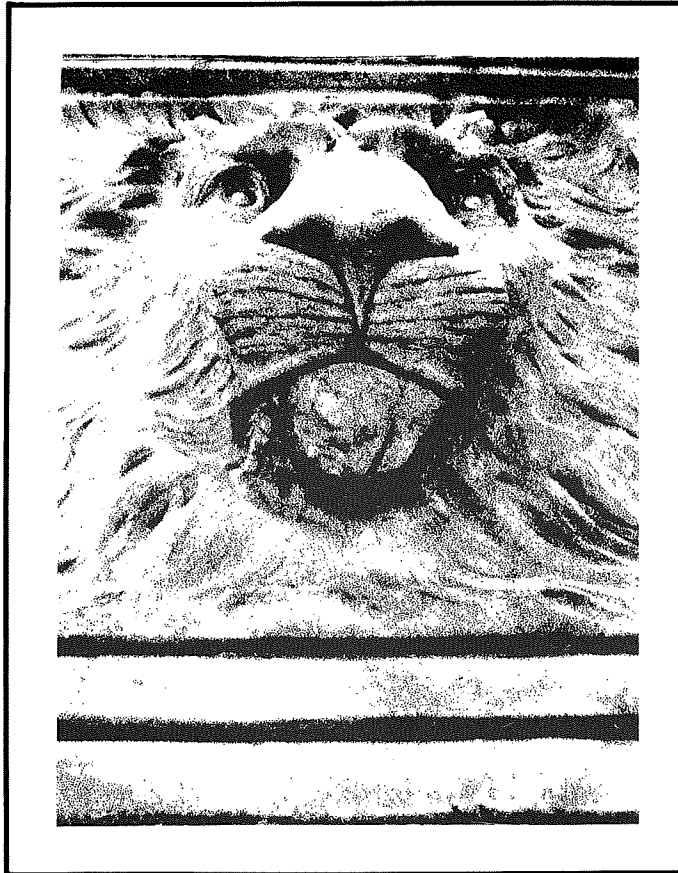
## Resources 61-66

ORGANIZATIONS AND AGENCIES 62  
SELECTED BIBLIOGRAPHY 63

## Appendix 67-92

APPENDIX A Architectural Terms 68  
APPENDIX B Recommended Plant Materials 72  
APPENDIX C Ordinance 83-10 84  
APPENDIX D Application 89





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# PREFACE

## Preface

Recent historic preservation efforts in St. Augustine were initiated by the City Commission with the adoption of a historic preservation ordinance in 1971 and the organization of the Historic Architectural Review Board (HARB) in 1974. A comprehensive framework for historic preservation in the City was further established in 1980 when the Historic St. Augustine Preservation Board completed the Historic Sites and Building Survey and the City Commission adopted the St. Augustine Comprehensive Plan.

## Purpose

This study has been undertaken to provide architectural guidelines to serve the Historic Architectural Review Board in evaluating appropriate alterations, renovations and changes for the protection and preservation of historic resources in St. Augustine. The policies in the Comprehensive Plan have been synthesized with the specific problems and opportunities of St. Augustine's unique architectural heritage.

Architectural guidelines serve as a set of basic standards used to regulate the impact of rehabilitation and maintenance, new construction and removal of structures in designated historic preservation areas. The function of the guidelines is to protect the City's visual public character. Therefore the guidelines pertain to exterior architectural elements and not the interior or use of any structure.

## Scope

This report is divided into six general sections 1) preservation districts; 2) architectural styles - periods; 3) rehabilitation and maintenance; 4) new construction; 5) application process; and 6) resources.

Section 1 provides an overview of efforts which led to the formation of architectural design review guides. Existing national register districts are identified. The boundaries, existing land use and permitted uses in preservation zoning districts are identified.

Section 2 identifies predominant architectural styles - periods found in St. Augustine. Characteristics and examples of each style are provided.

Section 3 provides guidelines for the rehabilitation and maintenance of residential and non-residential buildings. Residential building sites, structural systems, exterior features, energy and utility considerations, and secondary buildings are discussed. Also, guidelines are established for commercial, institutional and public buildings, signs and parking.

Section 4 establishes guidelines for new construction of primary, and secondary buildings and additions to existing buildings.

Section 5 defines the application process to receive a building, demolition and relocation permit.

Section 6 identifies organizations and agencies as references for resource information.

# Goals and Objectives

The following goals and objectives have been established to help protect and enhance the valuable historic architectural character in St. Augustine.

## Goals

- Promote an awareness of significant architectural styles in St. Augustine.
- Improve, promote and maintain the architectural integrity of significant buildings which physically express the history of St. Augustine.
- Insure that new buildings are compatible with and reinforce the character and heritage of St. Augustine.
- Encourage new development adjacent to historic districts which reflects the traditions and fabric of the district.

## Objectives

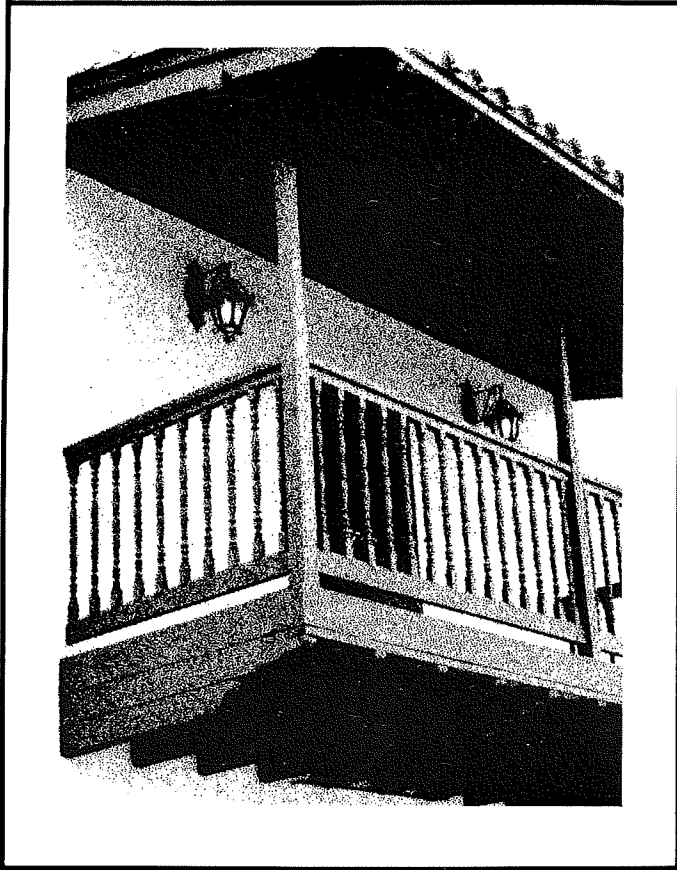
- Develop guidelines which encourage regular maintenance, accurate restoration, and appropriate additions to or alterations of historic buildings which are compatible with the original character of the building.
- Identify techniques for new construction which promote high quality design, compatibility with adjacent structures and contribute to the overall harmony of the street.

- Identify various methods and programs available to protect the architectural character in and adjacent to the historic district.
- Identify and document examples of significant architectural features of predominant styles.









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# PRESERVATION DISTRICTS

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# Historic Overview

A comprehensive framework for architectural guidelines in the City was established in October, 1980, when the Historic St. Augustine Preservation Board completed the Historic Sites and Building Survey. Recent efforts were initiated with the adoption of Historic Preservation Ordinance 83-10, May 1983. This ordinance restructured the Historic Architectural Review Board, defined its responsibilities, and created a review procedure for the Board.

The success of the architectural review process in St. Augustine is primarily due to efforts in early years. The following is a partial list of significant events in St. Augustine's preservation and architectural effort.

## 1936 - City of St. Augustine

In February 1936, the City Commission appointed a citizen committee to study the possibility of turning portions of the community into a protected district and seek money for preservation and restoration.

## 1937 - State of Florida

The Florida legislature approved a special act granting the cities within and the County of St. Johns the power of eminent domain to protect historic sites and landmarks. Also, the legislature appropriated \$50,000 to the St. Augustine Historical Preservation and Restoration Commission for the purpose of acquiring, preserving and maintaining historic sites.

## 1959 St. Augustine Historical Restoration and Preservation Commission

Legislation created the first major historic preservation agency in the State on June 19, 1959. This agency was designed to exercise responsible management of historic and archaeological resources that were deemed to possess unique State and National value. The Commission was a seven (7) member board appointed by the governor "to acquire, restore, preserve, maintain, reconstruct, reproduce and operate for the use, benefits, education, recreation, enjoyment and general welfare of the people," the "historical and antiquarian sites" in St. Augustine and its surroundings.

## 1966 National Historic Preservation Act

This act called for the systematic appraisal of the historic architectural, archaeological and cultural resources of each state. State Historic Preservation Offices were established to fulfill this mandate. In Florida, the responsible officer is the Director of the Division of Archives, History and Records Management.

The Director of the Division of Archives, History and Records Management is responsible for the National Register program in Florida. This Division prepares the State Historic Preservation plan; distributes Federal grants-in-aid for preservation projects and survey; and, provides information and assistance regarding preservation to local organizations.

## 1968 Historic St. Augustine Preservation Board

During the governmental reorganization act of 1968, the St. Augustine Historical Restoration and Preservation Commission was renamed the Historic St. Augustine Preservation Board. The Board was officially placed within the Florida Department of State.

1970 Historic St. Augustine Preservation Board

The Preservation Board placed the portion of the community that lies within the walled city on the National Register of Historic Places as a Landmark District.

1971 Federal Government

Executive Order 11593 was passed directing federal agencies to preserve, restore and maintain their cultural properties.

City of St. Augustine

The City of St. Augustine created five historic districts and enacted an ordinance to control architectural modifications and govern commercial uses of buildings within the districts.

1974 Historic Architectural Review Board

The City Commission appointed a Historic Architectural Review Board. The main function of this Board is to insure the protection of the architectural character within the designated historic districts by reviewing building permits as required by the Historic Preservation Ordinance.

1979 City of St. Augustine

The City of St. Augustine created a sixth historic district to protect and preserve additional historic resources.

1980 Historic St. Augustine Preservation Board

The Board completed the Historic Sites and Building Survey. The survey contains an inventory of historic structures, background information on preservation efforts and recommendations for the continuation of the preservation effort in the City of St. Augustine.

City of St. Augustine

The City Commission adopted the St. Augustine Comprehensive Plan. The plan addressed the need to complete a "Historic and Scenic Preservation Assessment Element." The Plan endorsed the existing ordinances regulating development in historic areas. Also, the Plan encouraged the review of additional sites, structures and objects for inclusion into preservation areas.

1983 Historic St. Augustine Preservation Board

The Preservation Board placed the St. Augustine Model Land Co. and Abbott Tracts on the National Register of Historic Places.

City of St. Augustine

The City Commission adopted Ordinance 83-10 in May, 1983. The ordinance revised the organization of the Historic Architectural Review Board. Also, the ordinance defined the duties and responsibilities of the Board.

## National Register Districts

The National Register of Historic Places is the official national list of those districts, sites, buildings, structures and objects which have been identified and documented as significant cultural resources that reflect the historical development of the nation. The National Register is maintained by the National Park Service, a division of the United States Department of the Interior.

Specific criteria are designed to guide States, Federal agencies, and the Secretary of the Interior in evaluating entries for the National Register. The following evaluation criteria are used:

The quality of significance in American history, architecture, archeology, and culture present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, material, workmanship, feeling and association, and:

- That are associated with events that have a significant contribution to the broad patterns of our history; or
- That are associated with the lives of persons significant in our past; or
- That embody the distinctive characteristics of a type, period, or method of construction, or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- That have yielded or may be likely to yield information important in prehistory or history.

Primary review of nomination occurs at the State level by the Bureau of Historic Sites and Properties, Division of Archives, History and Management (DAHRM) and the National Register Review Board. After the nomination is approved, the State Historic Preservation Officer (SHPO) signs the proposal, at which point it becomes officially nominated to the National Register. After favorable review by the Chief of Registration, the property is listed on the National Register.

The City of St. Augustine contains three National Register Districts: 1) City of St. Augustine; 2) Abbott Tract; and 3) Model Land Company.

### City of St. Augustine

This land tract was designated a National Register District by the United States Department of Interior, National Park Service in April, 1970. This District incorporates the boundaries of the "Old Walled City" and was nominated for inclusion by the St. Augustine Historical Restoration and Preservation Commission.

The designation of this District acknowledges the importance of the historic development of the City of St. Augustine. Founded in 1565, St. Augustine is the oldest continuously occupied European settlement within the continental United States.

This District is bounded by Orange Street on the north, Cordova Street on the west, San Salvador Street on the south and the Matanzas River on the east (see Map 1).

### Abbott Tract

In August, 1983, this area was designated a National Register District by the State of Florida, Division of Archives, History and Records Management. The landmark District nominational process was begun by the Historic St. Augustine.

This District is listed as the first development outside of the colonial city boundaries and is composed of two territorial subdivision plots, the Noda Concession and the Davis Range tracts.

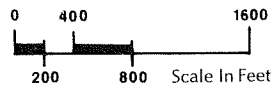
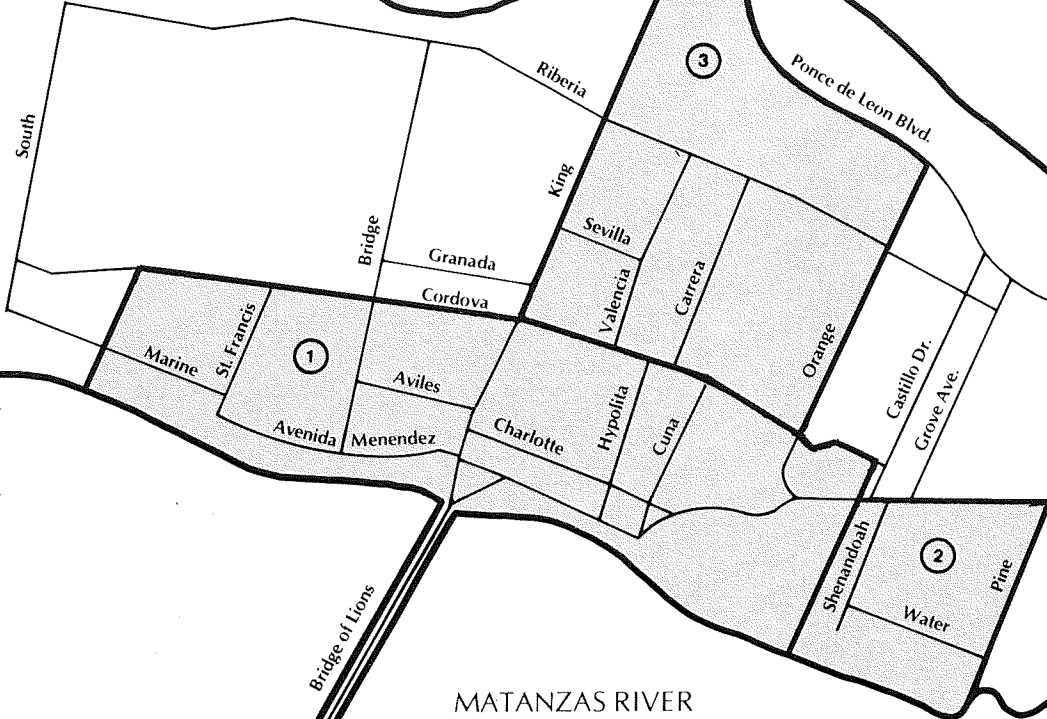
This district incorporates the area between the north boundary of the Castillo de San Marcos Fort, along San Marco north to Pine Street and east to the Matanzas River (see Map 1). The Abbott Tract contains the largest concentration of 19th Century architecture within the City. Predominant



SAN SEBASTIAN RIVER

- 1. City of St. Augustine
- 2. Abbott Tract
- 3. Model Land Company

South



NATIONAL REGISTER DISTRICTS MAP 1

architectural styles found in this area include Colonial Revival, Queen Anne, Mediterranean Revival and Moorish Revival.

#### Model Land Company

This District was designated a National Register District in August, 1983 by the State of Florida Division of Archives, History and Records Management. The St. Augustine Preservation Board was the responsible agency for this nomination.

This District is bounded on the east by Cordova Street, on the west by U.S. 1 and the San Sebastian River, on the north by Orange Street and the south by King Street (see Map 1). Predominant architectural styles which are found in this District include the Spanish Renaissance Revival, Venetian Renaissance Revival, Romanesque Revival, Colonial Revival, Queen Anne and Mediterranean Revival styles.

## Preservation Districts

The City of St. Augustine has designated six (6) historic zoning districts for the preservation and enhancement of significant historic and cultural sites, buildings, structures, and objects. These districts serve to protect our man-made heritage through education by implementation and enforcement of architectural guidelines and regulations. The following objectives have been established for these districts:

- To educate the citizen to realize, understand and appreciate the City's rich heritage;
- To stimulate a greater awareness of sense of pride in the founding of the City and the contributions it has made to the state and nation;
- To develop an atmosphere and feeling of old, historic structures within the districts;

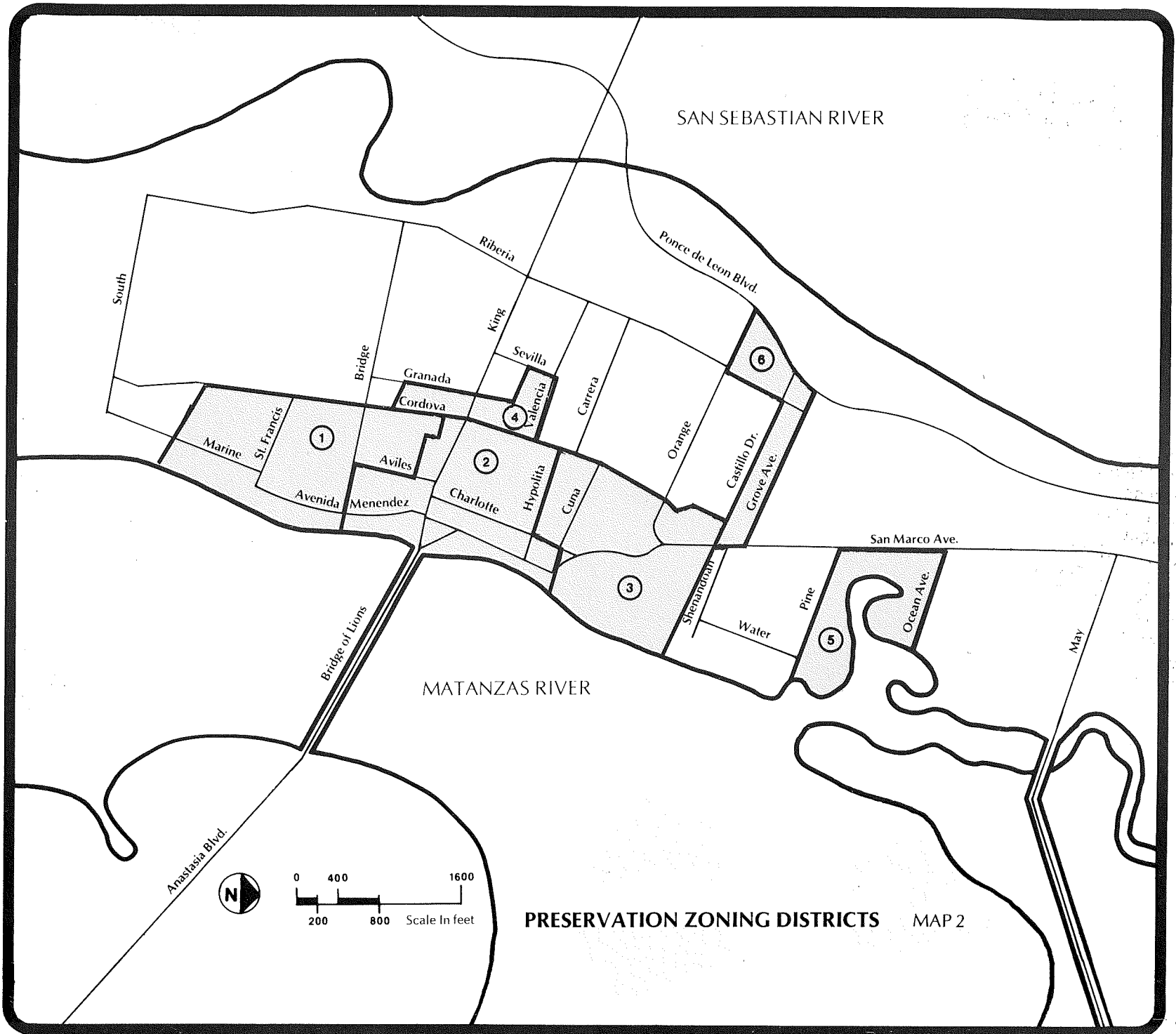
- To improve the environmental quality and overall livability of the historic section of St. Augustine;
- To stabilize and improve property values in the district; and
- To promote the use and preservation of the district for the education, welfare and pleasure of residents of St. Augustine and St. Johns County, the state and nation as well

#### Historic Preservation District-1 (HP-1)

This District is bounded on the north by a line 65 feet north of Palm Row running east 190 feet, then north along a 70 foot line parallel to St. George Street, east to St. George Street, south to Cadiz Street, east to Aviles Street, south on Aviles Street to Bridge Street, Bridge Street to the Matanzas River. Bounded to the east by the Matanzas River, to the south by Cemetery Lane, west to Charlotte Street, south to San Salvador and west to Cordova Street. Bounded to the west by Cordova Street between San Salvador and Palm Row (see Map 2).

The growth and development within the Historic Preservation Districts has been guided by the Zoning Ordinance adopted by the City of St. Augustine in 1975. Permitted uses in HP-1 include: single family dwellings; multi-family dwellings; boarding and rooming houses; libraries, parks and recreation; and essential services. Permitted uses by exception in HP-1 include: public administrative and service facilities; churches; schools, and museums. Table 1 compares the permitted uses and permitted uses by exception in the Historic Preservation Districts.

The existing land use character in this area is determined by the permitted uses outlined in the zoning ordinance. Land use development is HP-1 consists primarily of single family dwellings with loosely compacted commercial activities along St. Francis Street. Apartments and other multi-family



units are scattered through most residential areas. Public and semi-public development in this district includes military and religious activities. These activities constitute a major land use in HP-1.

#### Historic Preservation District-2 (HP-2)

This District is bounded to the north by Hypolita Street to Charlotte Street, north on Charlotte Street to Cuna Street, Cuna Street to the Matanzas River. Bounded to the east by the Matanzas River, to the south by Bridge Street to Aviles Street, north on Aviles Street to Cadiz Street, west on Cadiz Street to St. George Street, north on St. George Street to a point 135 feet north of Palm Row, then west 70 feet, south 70 feet and east 190 feet to Cordova Street (see Map 2).

Permitted uses in HP-2 include: single family dwellings; multi-family dwellings; tourist homes; professional offices; business offices; banks and other financial institutions; retail sales (new, antique, souvenir, gift, craft, [excluding the rental of motorized vehicles]); service (barber or beauty shop, shoe repair, restaurants [not drive in]); museums; indoor theaters; parks and recreation; essential services; and public administrative and service facilities. Permitted uses by exception in HP-2 include: not for profit clubs; churches; cocktail lounges/taverns (excluding area bounded on the north by Cadiz Street, on the east by Marine Street, south by Bridge Street and on the west by Aviles Street); hotel, motel and inns; and drive-up windows for banks and other financial institutions (see Table 1).

Land use development in HP-2 consists primarily of tourist oriented commercial business. The permitted uses within this District encourage the continuation of existing land use activities. The predominant commercial development is related to tourist service accommodations including hotels/motels, restaurants, cocktail lounges, and entertainment facilities. Single family residential

land use in this District is limited and concentrated along Charlotte Street. Multi-family and commercial mixed use is scattered through most of the District.

#### Historic Preservation District-3 (HP-3)

This District is bounded on the north by Castillo Drive between Cordova Street and the Matanzas River, on the east by the Matanzas River, on the south by Cuna Street to Charlotte Street, south on Charlotte Street to Hypolita Street, Hypolita Street to Cordova Street (see Map 2).

Permitted uses in this District include: single family dwellings; multi-family dwellings; tourist homes; retail sales (new, antique, souvenir, craft, gift [excluding rental of motorized vehicles]); service (restaurants with lounge); museums; professional offices; business offices; essential services; public administrative and service facilities; and parks and recreation. This District allows by exception fowl and hoofed animals, within an area bounded on the south by Hypolita Street, on the east by Charlotte Street, on the north by Orange Street and on the west by Spanish Street and cocktail lounges and taverns (see Table 1).

The predominant land use character in this District is tourist service commercial business. The restoration area, San Agustin Antiguo, is located in this District and contains approximately thirty (30) reconstructed structures. The structures have been put to adaptive use as tourist service related facilities. These include restaurants, cocktail lounges, shops and museums.

# Permitted Use / Permitted Use by Exception

	HP	1	2	3	4	5	6
<b>Residential</b>							
Single family		X	X	X			X
Multi-family		X	X	X	O		O
Tourist Homes			X	X			
Board/Roominghouses		X					
Hotels/Motels/Inns			O		O		O
<b>Commercial</b>							
Professional offices			X	X	X		X
Business offices			X	X	X		X
Banks/Financial Institutions			X				X
Drive-up windows for banks			O				O
<b>Retail</b>							
New			X	X	X		
Antique			X	X	X	O	
Museums		O	X	X	X	X	X
Theaters			X				
<b>Service</b>							
General			X		X		
Restaurants (not drive in)			X	X	X	O	O
Cocktail lounges/taverns			O	O			
<b>Public/Semi Public</b>							
Churches		O	O			X	
Schools		O			X		
Libraries		X					
Not-for profit clubs			O				
Reception center						X	
Monuments/memorial structures						X	
Parks and Recreation		X	X	X	X	X	X
Public administrative and service facilities		O	X	X	X		
Essential Services		X	X	X	X	X	X
<b>Miscellaneous</b>							
Fowl and hoofed animals				O			
Parking facilities					O		

X Permitted Use    O Permitted Use By Exception

TABLE 1



Historic Preservation District-4 (HP-4)

This District is bounded to the north by Valencia Street between Sevilla Street and Cordova Street, to the east by Cordova Street between Valencia Street and Bridge Street, to the south by Bridge Street between Cordova Street and Granada Street, to the west by Granada Street to King Street, east on King Street to Sevilla Street to Valencia Street (see Map 2).

Permitted uses within this District include: public administrative and service facilities; museums, colleges, schools and universities; parks and recreation; essential services; professional offices; business offices; retail sales (new, antique souvenir, gift, craft, [excluding rental of motorized vehicles]); service (barber or beauty shop, shoe repair and restaurants [not drive in]). Permitted uses by exception in HP-4 include: multi-family dwellings; hotels/motels; and parking facilities (see Table 1).

The existing land use in HP-4 is entirely public-semi public. The Ponce de Leon and Alcazar Hotels dominate this District. Flagler College occupies the Ponce de Leon and the Alcazar contains City Hall and Lightner Museum.

Historic Preservation District-5 (HP-5)

This District is bounded on the north by Ocean Avenue, on the east by the Matanzas River, south by Pine Street and west by San Marco River (see Map 2).

Permitted uses in this District include: monuments and memorial structures; museums and reception centers; religious structures and churches, and the sale of wine, vinous spirits or vinous liquors for religious or sacramental purposes, however, the sale of said wine, vinous spirits or

vinous liquors shall be in compliance with the laws of Florida, Florida Statutes Section 564.03 and any rules or regulations of the Division of Alcoholic Beverages and Tobacco of the State of Florida Department of Business Regulation or its successor; and essential services. Permitted uses by exception include: dwelling units with occupancy for owners or employers if in connection with permitted principal uses and structures; antique, gift, souvenir and craft shops; and restaurant and refreshment stand (not drive-in restaurant) (see Table 1).

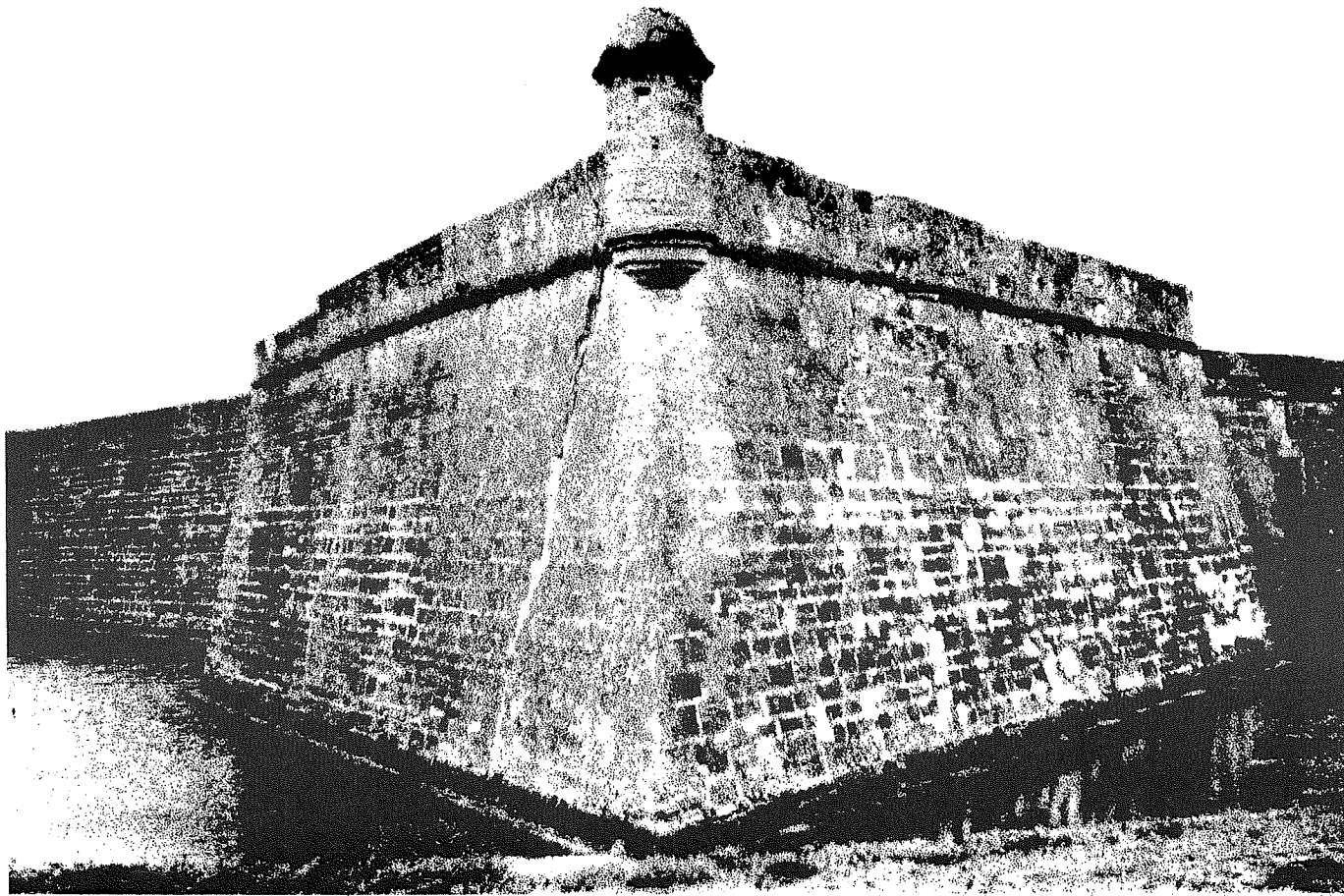
The existing land use in this District is entirely public/semi-public. This District encompasses the LaLeche Shrine Memorial and its surrounding grounds.

Historic Preservation District-6 (HP-6)

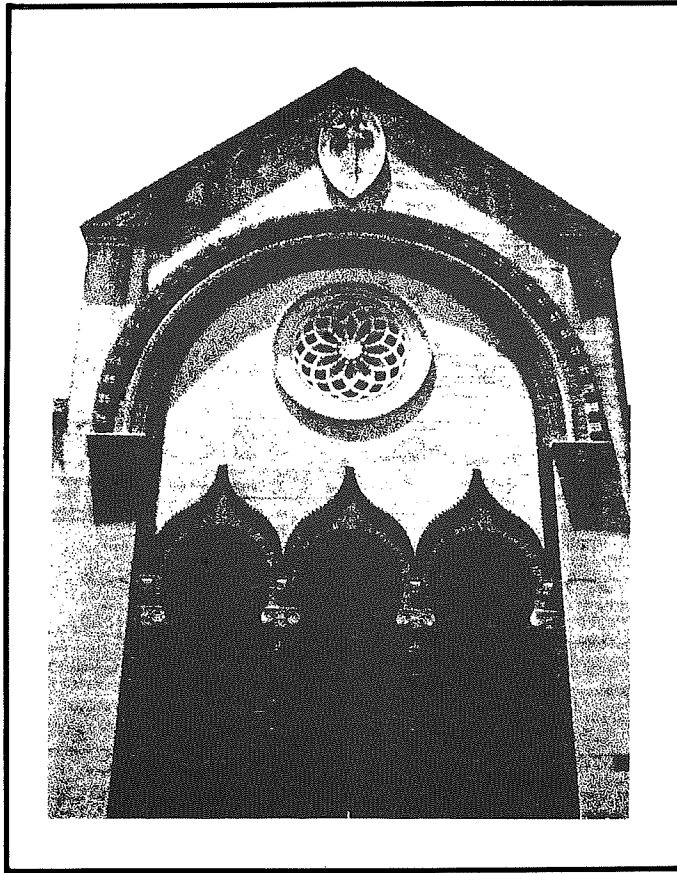
This District is encompassed by the following boundaries: on the north at the intersection of U.S. 1 and Grove Avenue, east to San Marco Avenue, south to Castillo Drive, west to Riberia Street, south to Orange Street, west to U.S. 1, north to Grove Avenue (see Map 2).

Growth and development within this District has been controlled by the Zoning Ordinance. Permitted uses in this District include: single family dwellings; professional and business offices; banks and other financial institutions; museums that relate to the history of St. Augustine; and essential services. Permitted uses by exception in HP-6 include: hotels/motels including taverns and lounges operated as part thereof; restaurants, including taverns and lounges operated as part thereof; multi-family dwellings; and drive-up windows for banks and other financial institutions. (see Table 1).

The land use character within this District is mixed and includes a motel, restaurants, a financial institution and service station. Residential development is also mixed with single and multi-family along Castillo Drive between Highway 1 and Cordova Street.







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# ARCHITECTURAL PERIODS

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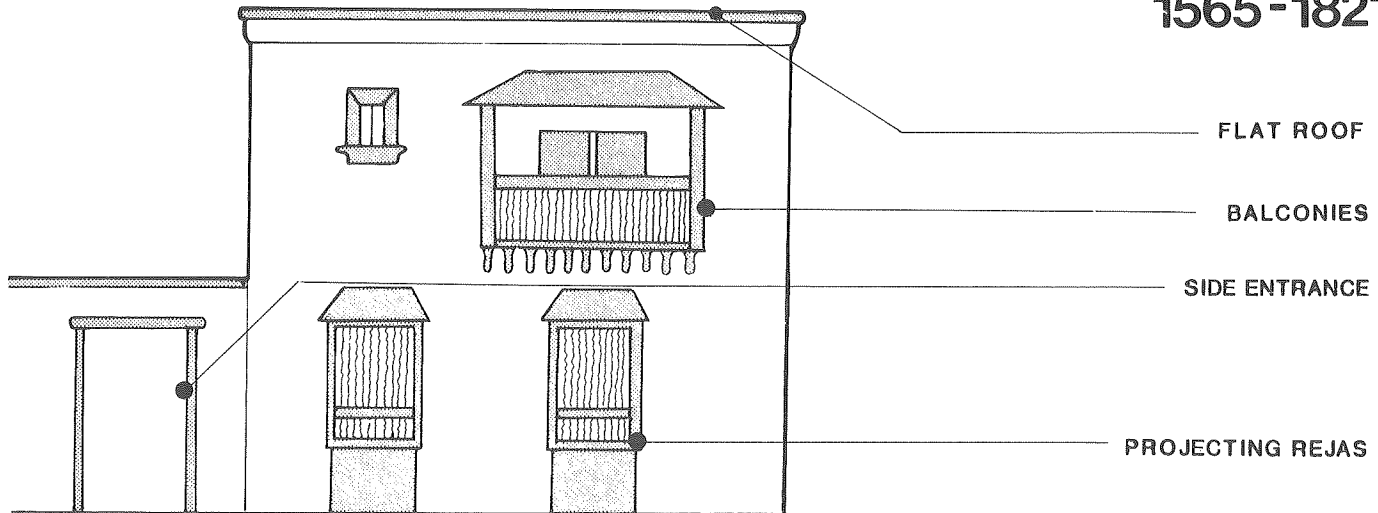
# Architectural Styles and Periods

This section is intended primarily to serve as a guide to predominant architectural styles in the City of St. Augustine. The purpose of this brief guide is to provide photographic illustrations of buildings, architectural details, elements, and forms to make visual

associations and assist in recognizing styles and elements.

The "Historic Sites and Building Survey of St. Augustine" identified fifteen (15) predominant architectural periods.

## COLONIAL 1565-1821



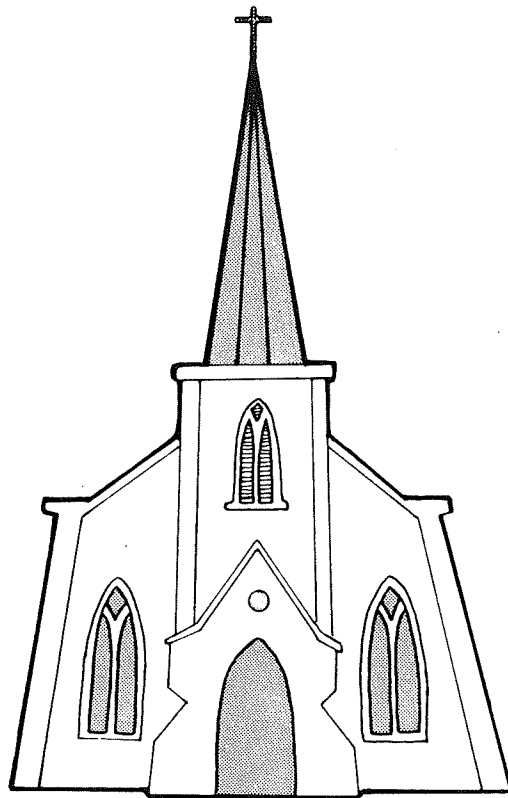
This period includes 1st and 2nd Spanish and British. Distinctive architectural features of this period include projecting rejas and other wooden grillwork, interior shutters, arcaded loggias, and projected balconies. Many restored and reconstructed examples of this style can be found on St. George Street, north of Hypolita Street. The Houses of St. Augustine (1565 - 1821) by Albert Manucy is the authoritative source for this period.



Iberia House • 22 St. George Street



## TERRITORIAL and EARLY STATEHOOD 1821-1861



This period saw continuity in the retention of such Colonial features as materials, building size, and lot placement. Coquina remained popular and balconies prominent. Greek and Gothic Revival styles were introduced. Trinity Episcopal Church at 223 St. George Street (1825) combines Gothic Style with coquina construction instead of the solid shutters of Colonial Period buildings. Refinement in details like moulding and window and door trim appeared.



Trinity Episcopal Church • 223 St. George Street

# CARPENTER GOTHIC POST 1830



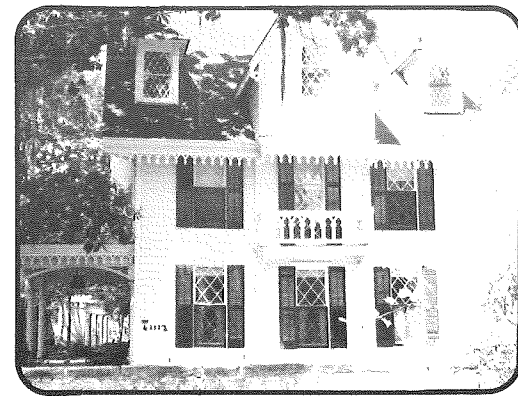
STEEPLY PITCHED GABLES

BALCONIES

SAWN WOOD ORNAMENTATION

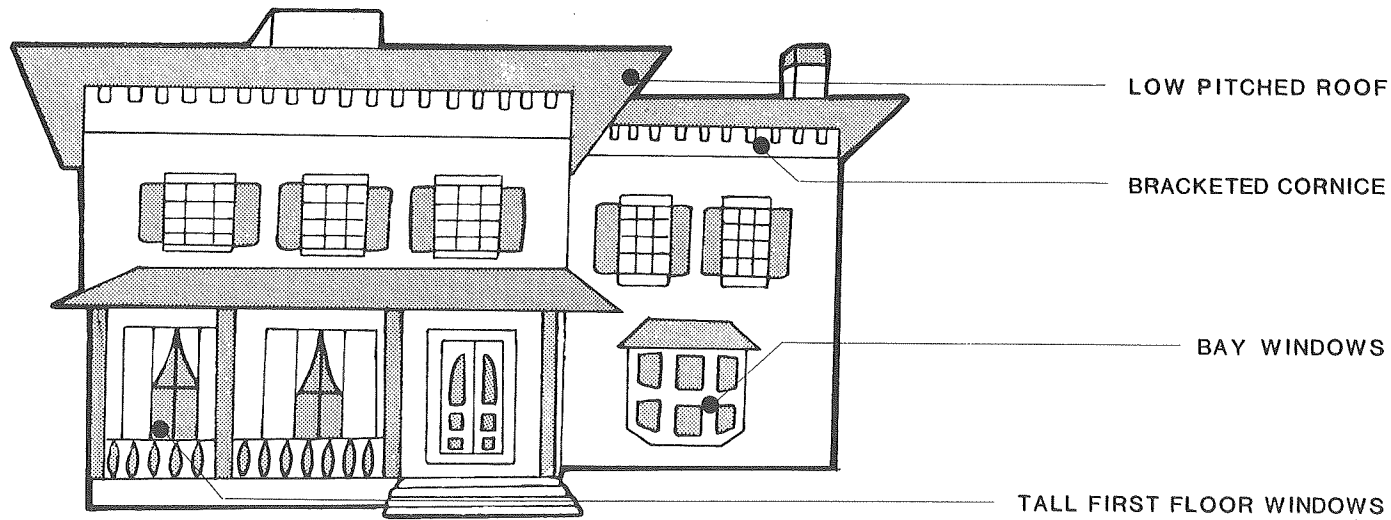
DIAMOND SHAPED MULTIPANE WINDOWS

The most prominent architectural feature of this period is the extensive sawn wood ornamentation on the bargeboards and eaves of the roof. Steeply pitched gables, projecting balconies and diamond-shape multipane windows were also characteristics of this style. A "text-book example" of this style is the Stanbury Cottage located at 232 St. George Street.

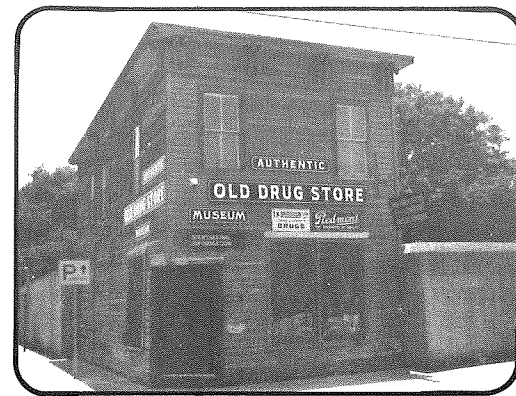


Stanbury Cottage • 232 St. George Street

## ITALIANATE 1880-1890



Architectural features of this style included a low pitched roof with bracketed cornice and cast iron facades. Residential examples feature prominent bay windows on the street side. A commercial example of this style is the Old Drug Store located at 31 Orange Street. Residential examples are located at 34 St Francis Street and 20 Rhode Avenue.



Oldest Drug Store • 31 Orange Street

# OCTAGON 1850'S



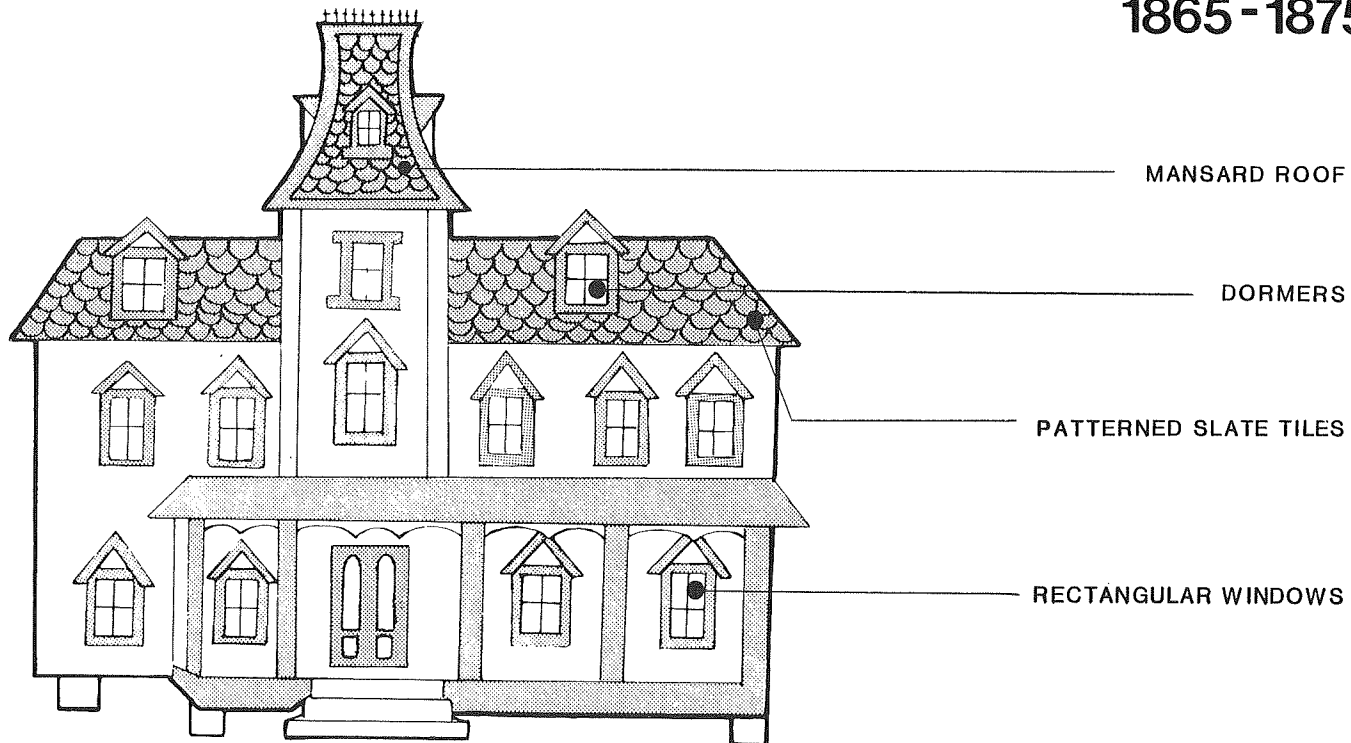
The most prominent feature of this architectural style is the octagonal floor plan, the advantage of which was that it enclosed 20 percent more floor space than a square. The only prominent example of this style of architecture remaining in St. Augustine is found at 62 Lighthouse Avenue.



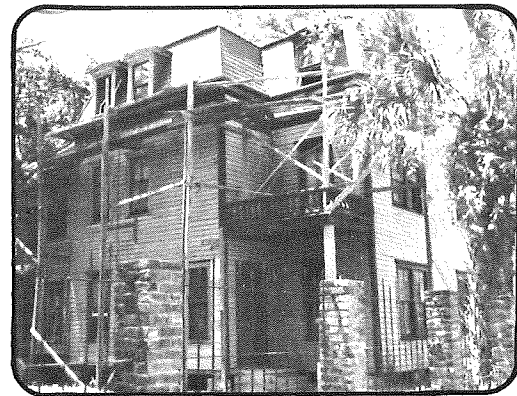
Octagon House • 62 Lighthouse Avenue



## SECOND EMPIRE 1865 - 1875

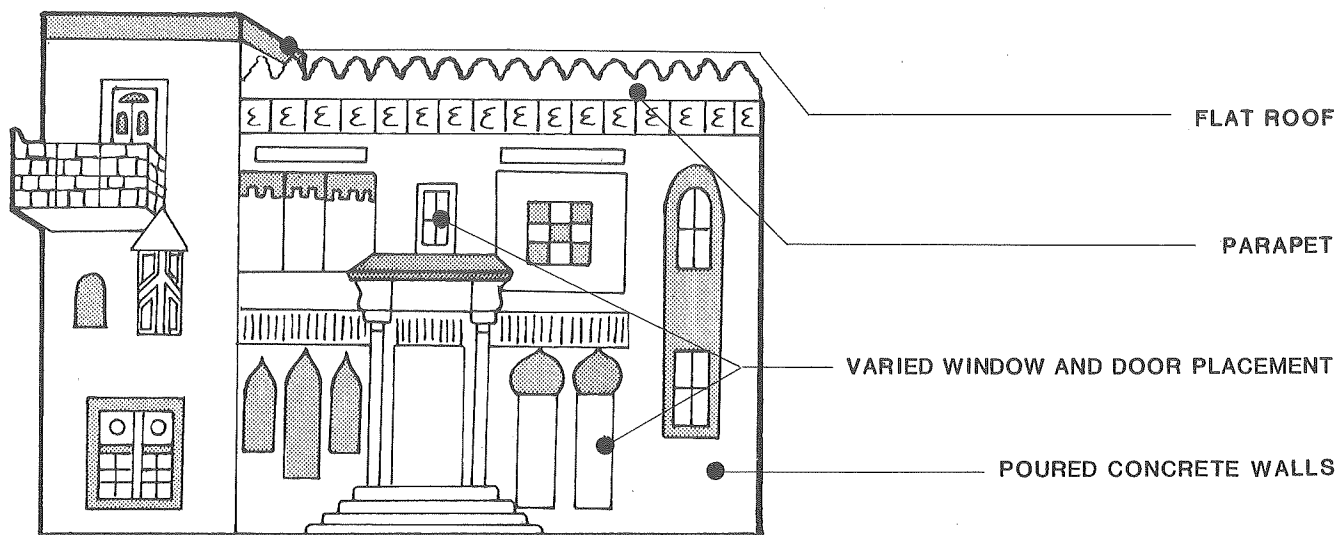


The outstanding feature of this architectural style is its mansard roof. The mansard roof is characterized as being double pitched, four sides, with dormers projecting from the lower, steeply pitched section. The last original structure with its mansard roof intact is the Barbour House located at 8 Arenta Avenue.



Barbour House • 8 Arenta Avenue

## MOORISH REVIVAL 1880-1890

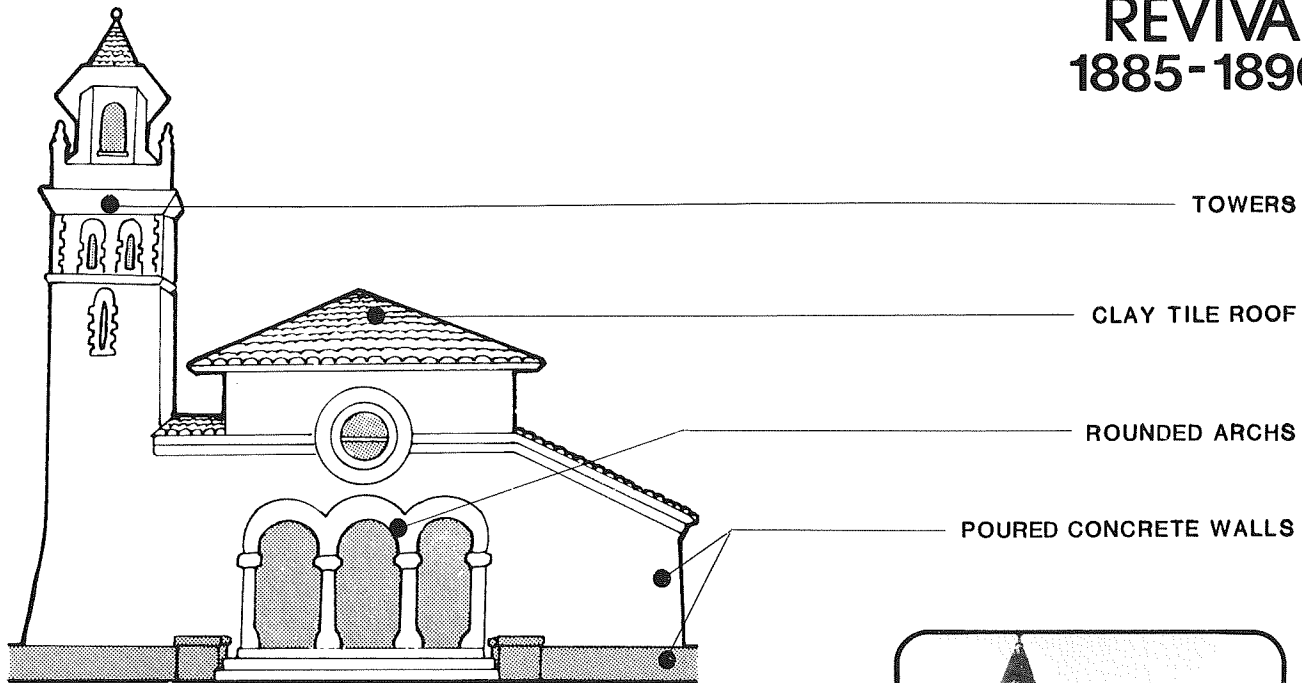


Architectural features of this style include a flat roof with the parapet heavily decorated with cast concrete ornamentation, varied window and door line placement, use of poured concrete and concrete block construction and the use of both wooden and metal balconies. Other features utilized by structures of this style included ornamental tile work and the presence of a pavillon tower. Outstanding examples of this style include the Villa Zorayda located at 83 King Street and the Warden Castle at 19 San Marco Avenue.



Villa Zorayda • 83 King Street

# SPANISH RENAISSANCE REVIVAL 1885-1890



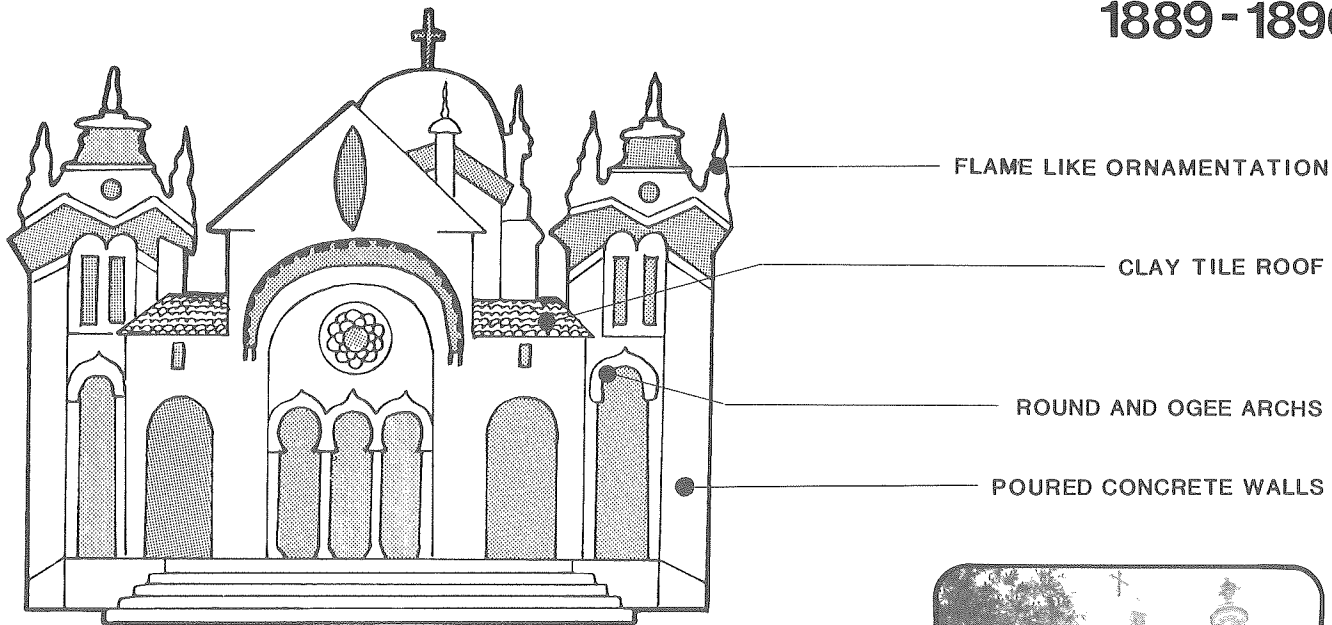
Architectural features of this style include poured concrete walls and fences, clay tile roofs, towers, rounded arches and extensive red terra cotta ornamentation. Outstanding examples of this style are the Ponce de Leon Hotel, which now houses Flagler College; the Alcazar Hotel, which houses Lightner Museum and City Hall; and the Grace Methodist Church.



Grace Methodist Church • 8 Carrera Street



## VENETIAN RENAISSANCE REVIVAL 1889 - 1890



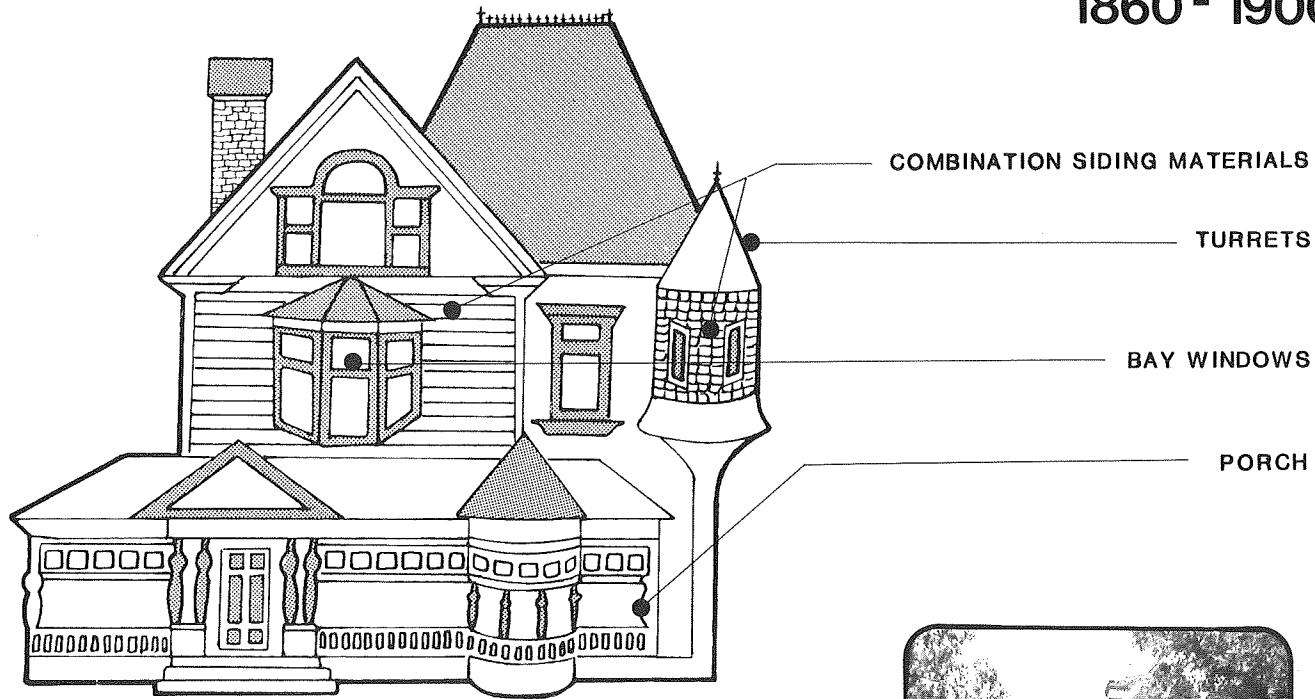
The architectural features of this style include poured concrete walls, a clay tile roof, round and Venetian pointed Ogee arches, and extensive use of white and old gold terra cotta ornamentation. The Memorial Presbyterian Church and its adjoining manse located at 36 Sevilla Street are outstanding examples of this style.



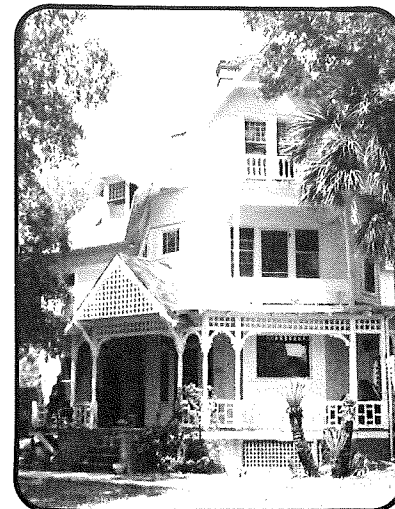
Memorial Presbyterian Church • 36 Sevilla Street

# QUEEN ANNE

1860 - 1900



Architectural features of this style include combinations of siding materials, irregular plan and massing, ornamental brickwork on chimneys and the use of towers, turrets, porches and bay windows. Two outstanding examples of this style are the Upham Cottage at 268 St. George Street and the Dismukes House at 80 Water Street.



Upham Cottage • 268 St. George Street

# COLONIAL REVIVAL 1890 - 1930



FANLIGHT WINDOWS

DENTIL MOULDINGS

PORTICOS

SIDELIGHTS

ROUND WOODEN COLUMNS

Architectural features of this style found in St. Augustine include porticoes with round wood columns, dentil mouldings, fanlight windows, sidelights at the main entry and exteriors of weatherboard and wood shingles. An example of this style is located at 32 Sevilla Street.



Ingraham House • 32 Sevilla Street



# BUNGALOW

## 1900 - 1930



ONE AND A HALF STORIES

WEATHERBOARD

DOUBLE HUNG WINDOWS

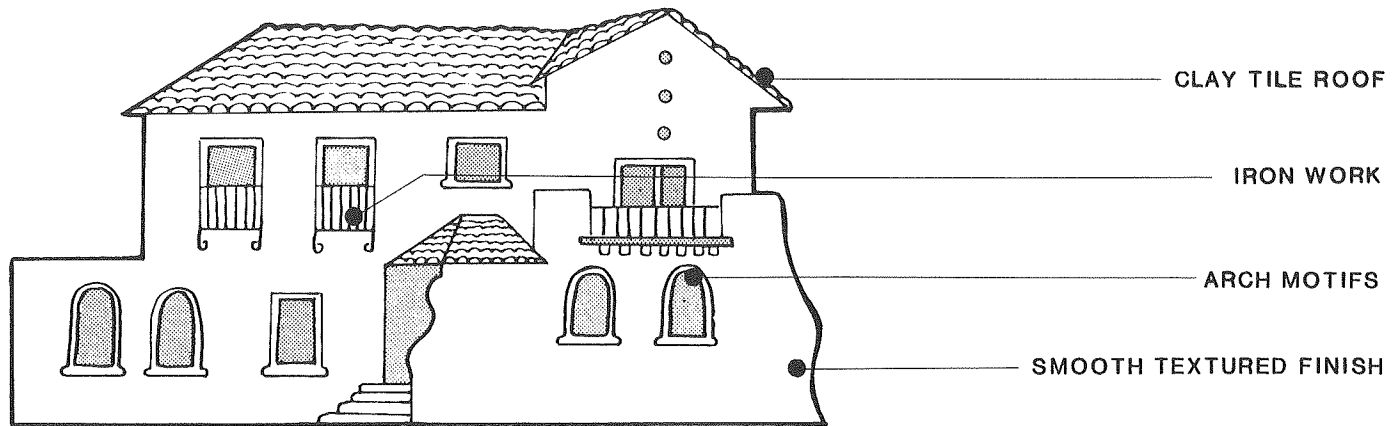
CONCRETE FOUNDATION

Features of this architectural style include one to one and a half stories with low pitched gable roofs, porches, combination double hung windows and exteriors of weatherboard, novelty siding and wood shingles. The use of coquina concrete block for foundation piers and porch bases and palmetto tree posts on porches were features on structures within St. Augustine. Examples of this architecture are located throughout the City, most noticeably around the Maria Sanchez Lake and a portion of the Model Land Company between Riberia and U.S. 1.



Bungalow • 9 Arenta Avenue

## MEDITERRANEAN REVIVAL 1920'S

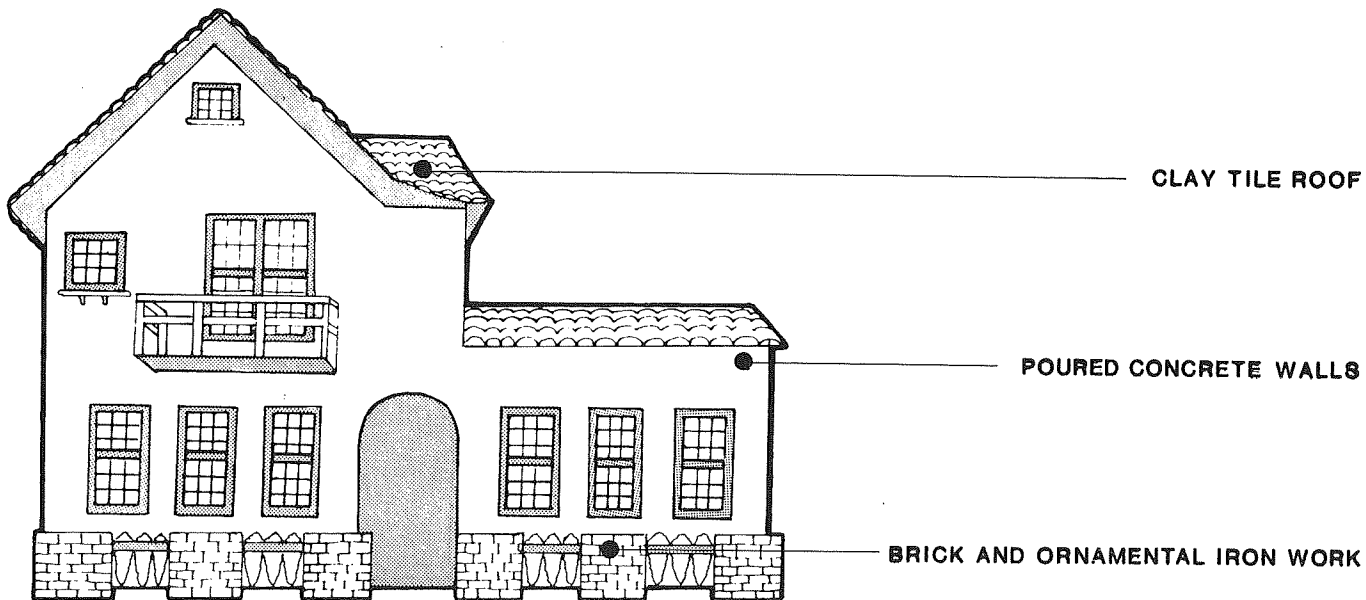


Architectural features of this style include clay tile roofs or cornices, smooth, textured or shell dash stucco finish and the use of ornamental ironwork for window grilles and balconets. Casement, fanlight and double hung sash windows were also used as was the use of an arch motif on windows, doors and porches. Outstanding examples of this style include the Bridge of Lions, many structures at the Florida School for the Deaf and Blind at 207 San Marco Avenue and the Solla-Carcaba Cigar Factory at 88 Riberia.



Florida School for the Deaf and Blind • 207 San Marco Ave.

# ST. AUGUSTINE COLONIAL REVIVAL



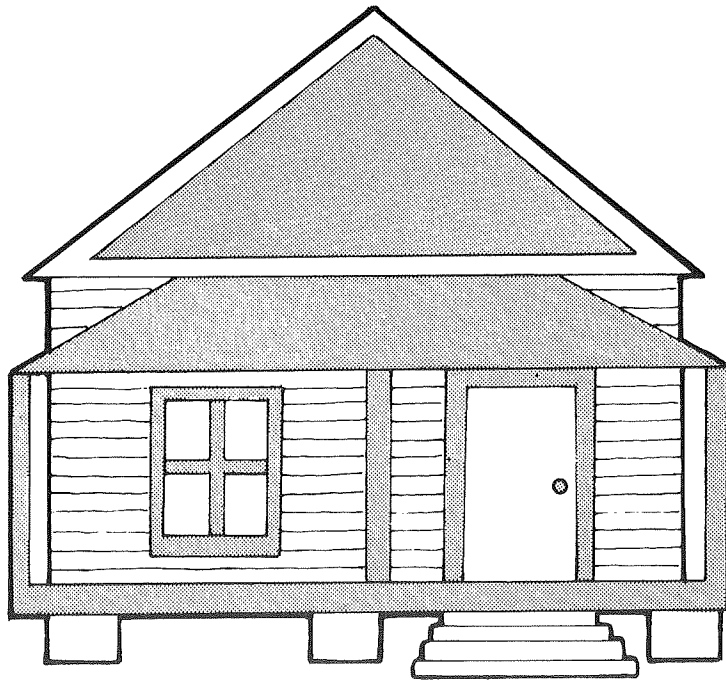
Architectural features of this style are a result of real and imagined elements of colonial architecture. These features included clay tile roofs, poured concrete building materials, brick, and ornamental ironwork. Examples of structures remodeled to this style are located at 115 Cordova, 36 Charlotte Street and 15 Bridge Street.



Ammidown Cottage • 115 Cordova Street



## VERNACULAR 1850-1930

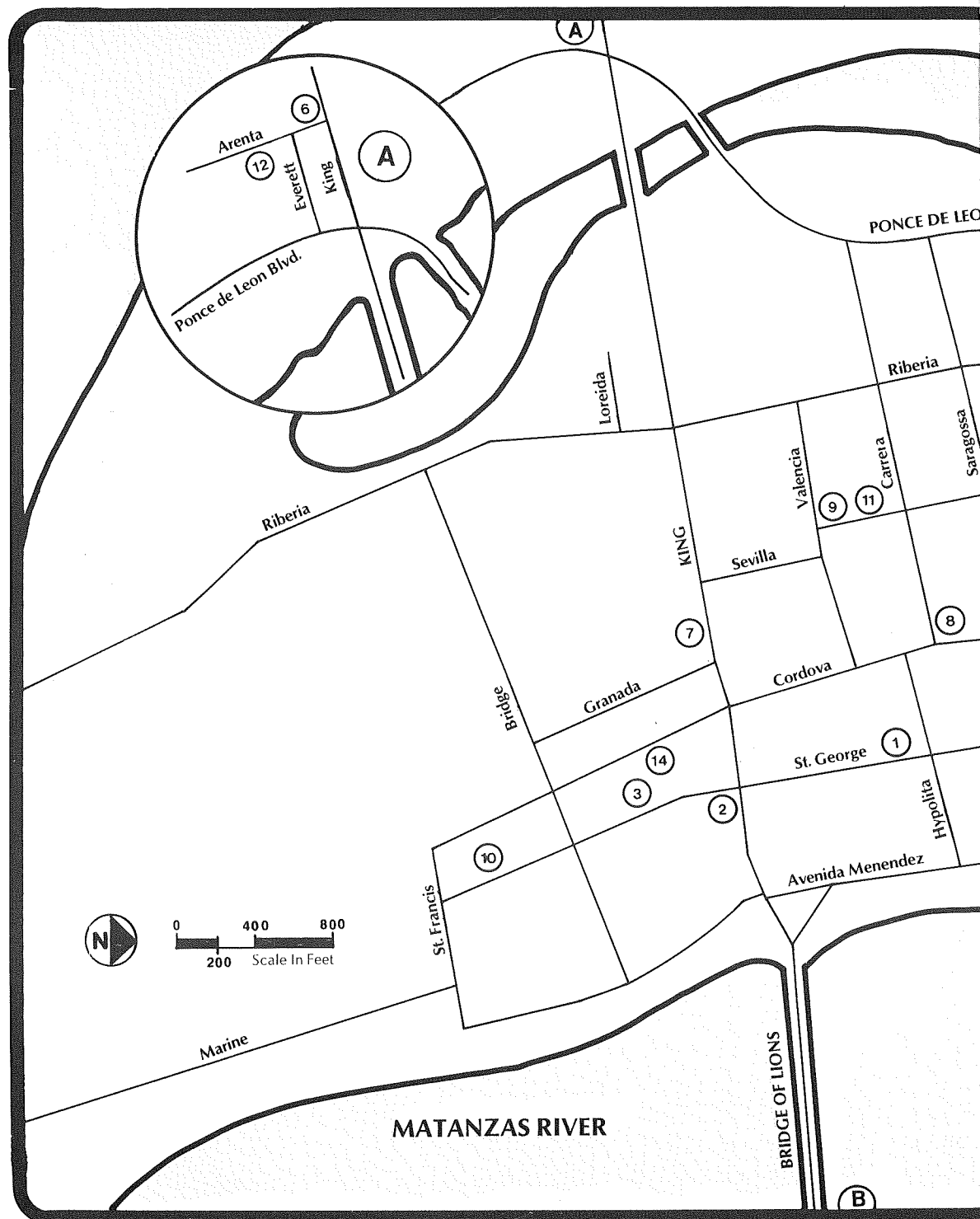


This architectural style refers to the common construction style of any particular period, with construction materials of either wood or masonry. Notable examples of this style are found along Abbott and Osceola Streets and Rhode, Cincinnati, Sanchez and Cunningham Avenue.



Vernacular • 65 Abbot Street





## HISTORIC STRUCTURES

### 1. COLONIAL

- Riberia House  
22 St. George Street

### 2. TERRITORIAL EARLY STATEHOOD

- Trinity Episcopal Church  
223 St. George Street

### 3. CARPENTER GOTHIC

- Stanbury Cottage  
232 St. George Street

### 4. ITALIANATE

- Oldest Drug Store  
31 Orange Street

### 5. OCTAGON

- Octagon House  
62 Lighthouse Avenue

### 6. SECOND EMPIRE

- Barbour House  
8 Arenta Avenue

### 7. MOORISH REVIVAL

- Villa Zorayda  
83 King Street

### 8. SPANISH RENAISSANCE REVIVAL

- Grace Methodist Church  
8 Carrera Street

### 9. VENETIAN RENAISSANCE REVIVAL

- Memorial Presbyterian Church  
36 Sevilla Street

### 10. QUEEN ANNE

- Upham Cottage  
268 St. George Street

### 11. COLONIAL REVIVAL

- Ingraham House  
32 Sevilla Street

### 12. BUNGALOW

- 9 Arenta Ave.

### 13. MEDITERRANEAN REVIVAL

- Florida School Deaf and Blind  
207 San Marco Avenue

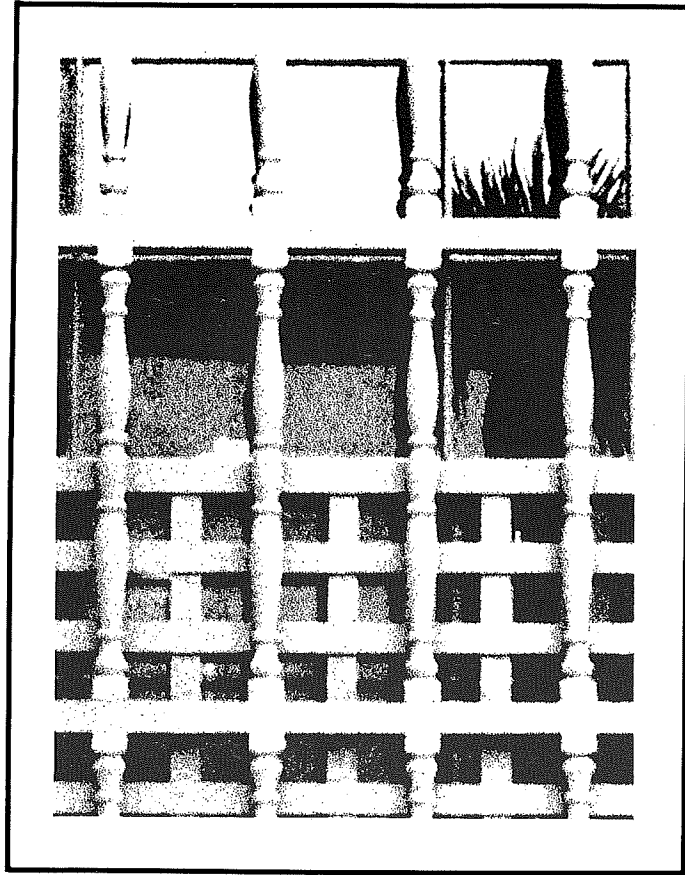
### 14. ST. AUGUSTINE COLONIAL REVIVAL

- Ammidown Cottage  
115 Cordova Street

### 15. VERNACULAR

- 65 Abbot Street





# REHABILITATION AND MAINTENANCE

# Residential Buildings

## General Considerations

Provide proper site drainage to assure that water does not splash against building or foundation walls, nor drain toward the building.

1565-1821 (Manucy Style) period building renovations may not be brought forward to a later architectural period nor taken back to an earlier architectural period.

American Territorial period (1822-1850) building renovations may not be brought forward to a later architectural period nor taken back to an earlier architectural period.

Victorian Period (1850-1890) building renovation may not be brought forward to a later architectural period nor taken back to an earlier architectural period.

## Building Site

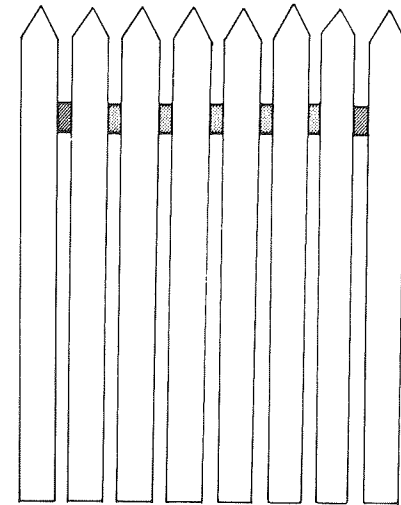
### FENCES, WALLS AND GATES

#### Pre-1821

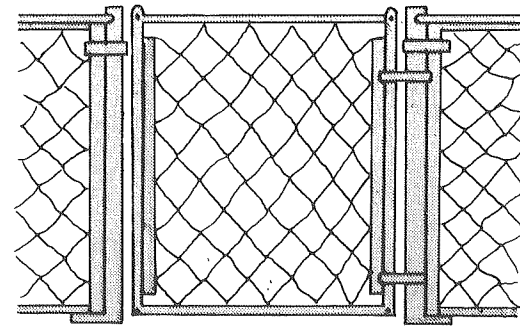
Fences shall be constructed of wooden pales, or pickets, stakes, boards and clapboards. Gates shall be pales, picket or wooden board faced (square edged, beaded, tongue-and-groove, single or double leaf). Wooden fences shall be painted white or left unpainted.

Walls shall be constructed of masonry, exposed coursed-squared coquina or smooth finish stucco.

Ornamental iron fencing may not be used for Colonial style structures.



YES



NO

Minimum height for fences and walls is 5-1/2 feet.  
Maximum height for fences is 8 feet.

#### Post-1821

New fences, walls and gates will match existing architectural style of the main structure.

Replacement of existing fences or installation of new fences and gates of modern materials such as wire, chain link or temporary fences of any sort are not allowed.

Repairs must be made using designated materials. Recommended materials include coquina, masonry and wood. In restoration, the original fence, wall or gates must be duplicated.

American Territorial fences and walls are to be a minimum height of 5-1/2 feet. Victorian Period wooden fences are to be a minimum height of 4 feet. Maximum height for fences is 8 feet.

#### SIDEWALKS

##### Pre and Post - 1821

Retain walkways that reflect the property's history and development.

Decisions for new site work should be based on actual knowledge of the past appearance of the property found in photographs, drawings, newspapers, archeological surveys or governments records. Any changes should be carefully evaluated regarding the past appearance of the site.

Recommended materials for the construction of sidewalks include concrete with a shell finish or a simulated tabby appearance, crushed limestone or a coquina mix.

#### PARKING AND DRIVEWAYS

##### Pre and Post - 1821

Property owner must check with City Hall with regard to placement of sidewalk or driveway on City right-of-way.

Paved areas and curb cuts should be kept to a minimum.

Parking should be encouraged not to face or be easily viewed from a public street or alley.

Parking garages/carports are not appropriate with structures dated 1861 or before.

Parking garages should match the architectural style of the main structure.

Plantings, where appropriate, should be utilized to screen parking areas.

#### PLANTING

##### Pre and Post - 1821

Property owners should complete a site survey. This survey should include trees, buildings, structures, paths, roads, and underground or overhead utility lines. An overlay should identify all existing plant materials including shrubs and ground covers. A detailed site survey should be completed prior to any major site clean-up. This will protect valuable historic reference "clues" from being inadvertently lost.

The characteristics of a plant, including size, form, texture and color should be considered during the landscape design and selection purposes. Consideration should be given to plant combinations to achieve unity and contrast in planting design.

LIGHTINGPre and Post - 1821

All exterior lighting shall be compatible with the architectural style of the main structure and as unobtrusive as possible.

Inconspicuous modern fixtures may be installed where more light is required.

MISCELLANEOUSPre and Post - 1821

Miscellaneous historic objects that are located throughout the historic area should be noted and protected.

## Building Structural Systems

FOUNDATIONS

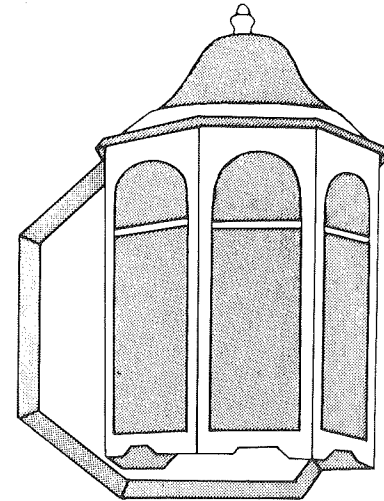
Special problems that are inherent in historic structural systems needs to be recognized especially where there are visible signs of cracking, deflection or failure. Repair and undertake stabilization of weakened structural members and systems. Supplement existing structural systems when damaged or inadequate. Replace historically important structural members only when necessary.

Pre-1821

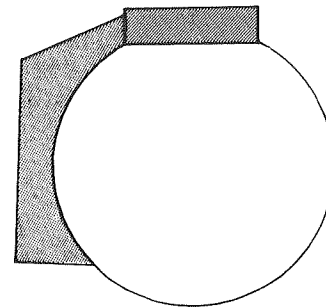
Masonry houses shall have continuous piers of ashlar-joint or smooth finish stucco.

Exposed cement block may not be used as foundation material nor shall foundations be faced with modern materials such as stone veneer.

In restoration, existing foundation shall be retained and followed.



YES



NO

Post-1821

Existing foundations shall be retained whenever possible.

Repairs shall be made using designated materials. Designated materials include poured concrete or red brick. In restoration, rehabilitation or addition, the original foundation of the main structure shall be duplicated.

Modern materials such as cement block or stone veneer, shall not be used for replacing or to reface existing foundations unless such material was used in the original construction.

## Building Exterior Features

MATERIALSPre-1821

Exterior features shall comply with the definition of "St. Augustine Architecture" as described in Section 33-7 of the Zoning Regulations of the City of St. Augustine, and as described in the book, The Houses of St. Augustine, 1565-1821, by Albert Manucy, or as may be verified by existing or documenting 1820 or earlier structures within the City or its environs.

Manucy's book shall be the final source in matters of proportion, scale, exterior fabric and texture.

Exterior fabric or material shall effectively reproduce the texture and appearance of materials on existing or documented 1821 or earlier structures. Depending on the period of the structure, acceptable materials include exposed, coursed-squared coquina; ashlar-joint or smooth finish stucco, feathered or square weatherboard, vertical siding or board-and-batten riven board or shake.

Materials not acceptable include: imitation brick or stone veneer, aluminum or plastic siding,

galvanized steel or tin, composition shingles, glass curtain walls and plain or painted cinder blocks.

Post-1821

When the existing elements of a structure are not sufficient to make the design self evident or when extant design elements of a structure are to be altered, the design shall comply with the historical documents pertinent to the structure. If such documents are not available, the design shall be pertinent to the period of the original construction.

Any application to restore, rehabilitate or add to a structure must include all available documentation of the history of that structure; any alteration of rehabilitation of such a structure shall be justified as much as possible through such documentation.

Existing masonry shall be retained whenever possible. If original masonry is unknown, the style and composition shall be derived from documentation of the structure or from similar structures of the same historical period.

Repairs or replacement shall be done with a material duplicating the existing masonry in color, composition and texture. Sandblasting of masonry surfaces, which erodes and hastens deterioration of the material, may not be done.

Existing wood shall be retained whenever possible. Deteriorating wood shall be replaced with wood which matches the existing wood in size, shape and texture. Appropriate types of wood include native pine, cyprus and oak.

Mortar joints shall be repointed only in areas of present or potential moisture problems. Mortar joints shall be duplicated in size, composition and profiles. Repointing should replicate existing mortar joints in size, composition, texture and color. Mortar joints shall not be repointed



unnecessarily nor shall a high portland cement content mortar be used for repointing. Damaging stress may result from a bond which is stronger than the surrounding materials.

Resurfacing with brick is appropriate to Victorian structures, and shall be installed to match the existing original pattern. Resurfacing with inappropriate materials shall not be permitted. Inappropriate materials include, but are not limited to aluminum or plastic siding, artificial brick siding, galvanized steel or tin, shell dash, imitation stone or brick veneer or composition shingles. These finishes contribute to the deterioration of the structure by harboring insects and moisture.

### COLORS

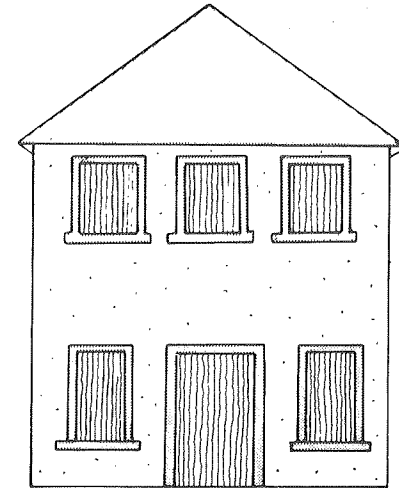
#### Pre and Post - 1821

Attempt to discover the historic paint colors and finishes of the structure and utilize this information to repaint with colors which illustrate the distinctive character of the property.

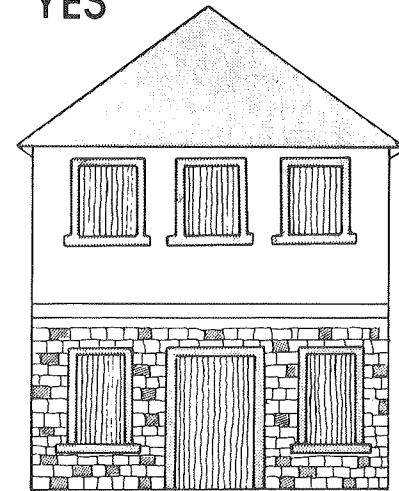
Any color documented 1821 or earlier in the City or its environs is acceptable. All painting applications except repainting with the same color if previously approved, must be presented to the Board. A recommended color list includes: "Historic Colors by Pittsburgh Paints; Heritage Collection by Fuller O'Brien; Heritage Collection by Sherwin Williams; and 100 Years Exterior Colors by Benjamin Moore."

### ROOFS AND ROOFING

Preserve the original roof shape. Retain the original roofing material, whenever possible. Replace deteriorated roof covering with new material that matches the old in composition, size, shape, color and texture. Preserve or replace where necessary all architectural features that give the roof its



YES



NO

essential character, such as dormer windows, cupolas, cornices, brackets, chimneys, cresting and weathervanes.

Provide adequate roof drainage and insure that the roofing materials provide a weathertight covering for the structure.

#### Pre-1821

Roofs and roofing shall be compatible with existing or documented 1821 or earlier structures in the City or its environs.

Gable and hip roofs, 30 to 35 degrees pitch, are most common. Appropriate materials for pitched roofs include wooden shingles or shake (when permitted by the City Building Official) and slate.

Modern composition shingles are appropriate if the color is compatible with roof colors in existing or documented Pre-1821 structures.

Flat roofs with full parapet are appropriate in some instances.

Eaves shall be narrow or nonexistent, the fascia is a narrow weatherboard over the plate, possible beaded. British Box Cornice is appropriate with plain, beaded or molded fascia and eave returns.

Dormers shall effectively reproduce dormers on documented or existing 1821 or earlier structures in the City or its environs. Dormers shall be set below the roof plate with shed roof or placed upon the roof with shed or gabled roof.

#### Post-1821

Existing roof form shall be retained. Roof elements include: parapets, cornices, eaves, dormers, cupolas, towers, brackets, gutters, down-spouts and weathervanes.

Wood shingles must be approved by the City Building Official. Modern composition shingles are appropriate if the color is compatible with the structure and the surrounding structures. Inappropriate roofing materials include asphalt shingles and rolled roofing material.

In restoration, the form and materials shall duplicate as closely as possible the original.

#### CHIMNEYS

##### Pre-1821

Chimneys shall be of existing or documented Pre-1821 design, not massive, stacks placed outside, inside or flush.

Chimneys should be of a design appropriate to the period of the building, especially in its placement and size.

Chimneys shall be constructed of exposed, coursed-square coquina, ashlar-joint or smooth finish stucco.

Chimneys may be designed with or without moldings.

Repairs shall be made using materials which match original materials, colors, shape and brick patterns.

##### Post-1821

Existing chimneys shall be retained.

Repairs shall be made using materials which match existing materials. In restoration, the original chimneys shall be matched as closely as possible.

Repointing of mortar joints shall match the existing ones on composition joint size and profile. Mortar joints shall not be repointed unnecessarily.

nor shall a high portland cement content mortar be used for repointing. Damaging stress may result from a bond which is stronger than the surrounding material.

Masonry surfaces shall not be sandblasted, as this hastens deterioration of the material.

### VENTS

#### Pre and Post - 1821

Residential vents shall be as unobtrusive as possible and are contingent on Board approval.

### WINDOWS

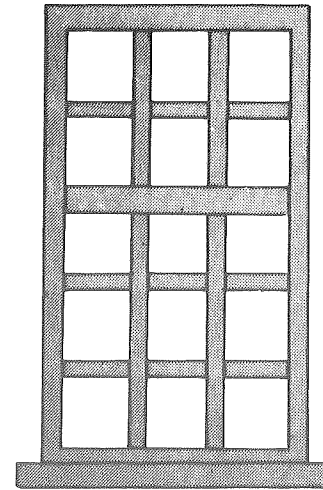
Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves and hardware, where they contribute to the architectural and historic character of the building.

Improve the thermal performance of existing windows through adding or replacing weatherstripping and adding storm windows which are compatible with the character of the building and which do not damage window frames.

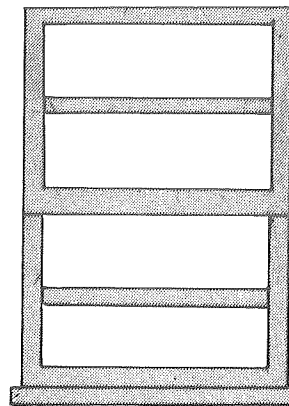
Replace missing or irreparable windows on significant facades with new windows that match the original in materials, size, general muntin and mullion proportion and configuration, and reflective qualities of the glass.

#### Pre-1821

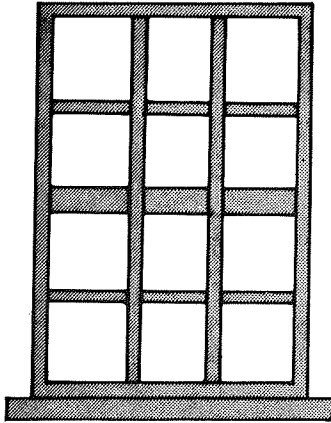
Windows shall effectively reproduce the treatment of windows in existing or documented 1821 or earlier structures in the City or its environs. This includes number, size, arrangement, vertical or horizontal alignment, design, and materials. Suggested windows are glazed, double hung sash, wood sash, 6/6, 6/9, 9/9 lights, glazed casements. Window treatments shall not include large expanses of sash or plate glass windows.



YES



NO



● Pre - 1821

Pre - 1821 replacement or additional windows shall have fixed top sash with guilotine type lower sash with no exterior visible weatherstripping. A 6/6 window, for example, shall have 12 separate pieces of glass. Weatherstripping shall be confined to the interior. Thermal performance shall be achieved by installing inside storm windows, shutters, blinds, etc. No imitation window divisions (muntins), interior or exterior, shall be allowed.

● Reconstruction (Documented) Pre - 1821

Shall have all the required conditions of Pre - 1821.

● All New Construction in HP1, HP2, HP3

Shall have all the required conditions of Pre - 1821.

● Houses of 1821 - 1861

Shall have all the requirements of Pre - 1821 with the exception of: A) exterior weatherstripping which shall be permitted in such material as aluminum or plastic, and B) double or insulating glass with removable or permanent muntin bars.

Post-1821

Existing window openings shall be retained or the original windows must be matched. This includes the window sash, glass, lintels, sills, pediments, and all hardware. Windows must be repaired using materials and designs which match the existing or the original. Under certain circumstances, metal sash and aluminum windows may be used if they duplicate the design and size of wood and are painted to appear as wood. Storm windows may be installed over existing windows.

Modern windows, metal sash, sliding glass windows or any type of window which is inappropriate to the period of the building shall not be used. Nor installation of any storm or screen windows, if the installation requires alteration of existing windows. Relocating, enlarging or reducing windows, or introducing windows into a facade shall not be done, unless compatible with the style or period of the structure.

DOORS

Retain and repair door openings, frames, sash, glass, doors, lintels, sills, pediments, architraves, hardware where they contribute to the architectural and historic character of the building.

Improve the thermal performance of existing doors through adding or replacing weatherstripping and adding storm doors which are compatible with the character of the building and which do not damage door frames.

Pre-1821

Doors shall effectively reproduce the treatment of doors in existing or documented 1821 or earlier structures in the City or its environs. This includes number, size, arrangement, design and materials. Suggested doors are wood/board faced, single or double leaf, square edged, beaded tongue and groove and six panel Colonial.

Post-1821

Existing door openings shall be retained or the original doors shall be matched. This includes doors and all hardware. Doors must be repaired using materials and designs which match the existing or the original.

Modern or sliding glass doors or any type of door which is inappropriate to the period of the building shall not be used. Nor installation of any storm doors or screen doors, if the installation requires alteration of existing doors. Relocating, enlarging or reducing doors, or introducing doors into a facade shall not be done, unless compatible with a style or period of the structure.

AWNINGSPre-1821

Retain awnings where they contribute to the architectural and historic character of the building.

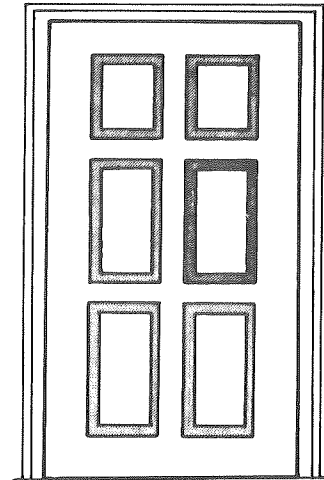
Post-1821

Fabric or canvas awnings are permitted if the design is representative of the structure's style or period.

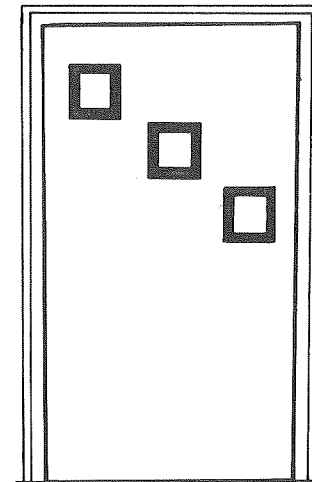
SHUTTERSPre-1821

Retain shutters where they contribute to the architectural and historic character of the building.

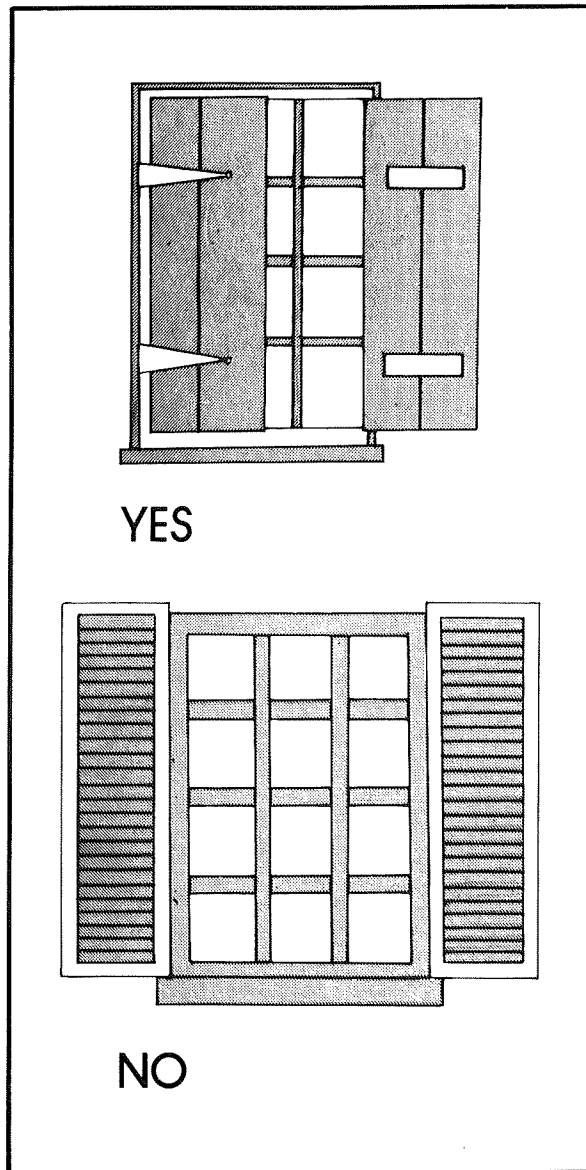
Shutters shall be functional, wooden, inside or outside, louvered square-edged, beaded, tongue and grooved or paneled.



YES



NO

Post-1821

Existing shutters shall be retained or matched.

Fixed horizontal metal louvers may be installed on a non-street side of building if they reflect the architectural style of the structure.

ENTRIES, PORCHES, BALCONIES AND STEPS

Retain porches and steps that are appropriate to the building and its development.

Porches or additions reflecting later architectural styles are often important to the buildings historical integrity and whenever possible, should be retained.

Repair, or replace, where necessary, deteriorated architectural features of wood, iron, cast iron, terra cotta, tile and brick.

Pre-1821

Entries, porches, balconies and steps shall effectively reproduce porches and balconies of existing or documented 1821 or earlier structures in the City or its environs.

The design and materials of balconies and porches shall be compatible with the period of the reproduction or reconstruction.

Materials used for steps and entries shall reflect the architecture and style of the structure.

In most cases, use wood for porch details and structural parts, including steps.

The following materials are allowed if they reflect the architectural style of the structure: wrought-iron columns, and railings, brick bases for wood columns, sheet pipe columns, horizontal railings or concrete supports and steps.



The original porch or gallery of the structure shall be maintained.

Use as much of the original materials and ornament as possible if repair or restoration is necessary.

If replacements are necessary, duplicate the existing details or select details that can be documented as being used on your house or similar house types and styles.

#### Post-1821

Retain existing porches, balconies, steps, stairs, balusters, rails, columns, posts and roof.

Repair porches and balconies using materials and designs duplicating the existing structure.

In restoration, the original porches or balconies shall be retained or duplicated.

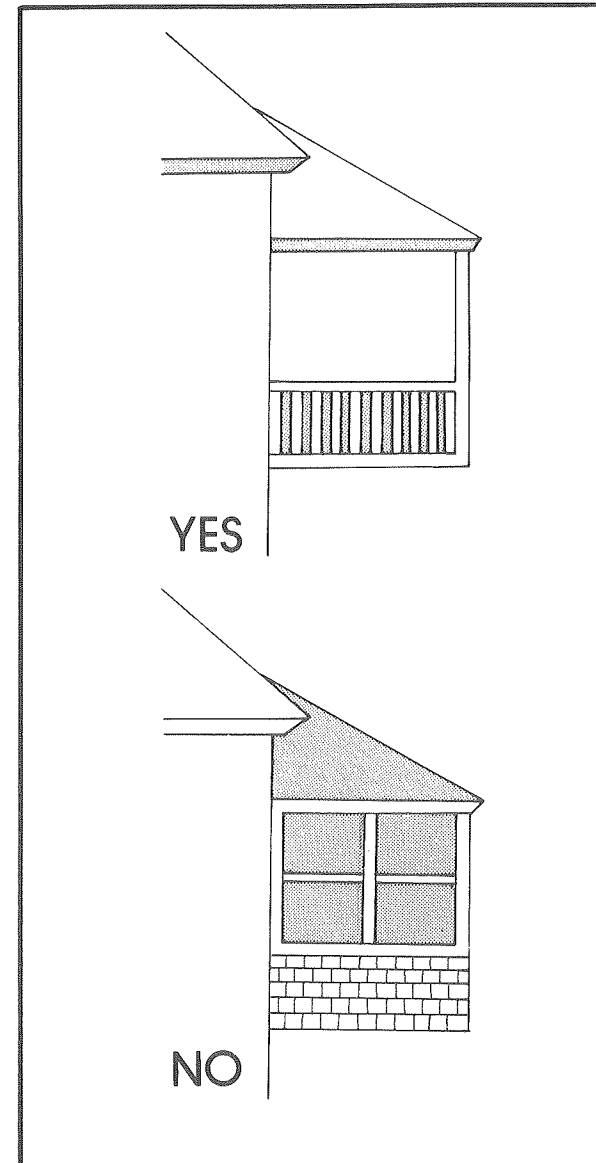
Replacement of existing porches or balconies with inappropriate modern design or materials shall not be allowed. This includes glass or screen porches or steel frame balconies or replacement of wooden balusters, rails or posts with ornamental iron for a "Spanish" appearance. Nor installation of glass or screens on existing porches, if the installation requires removal, concealment or major alteration of any element of the porch or balcony. Nor converting porches or balconies into enclosed rooms.

#### PORTICOS AND ARCHES

##### Pre-1821

Porticos and arches shall not be allowed on the street line.

Porticos and arches of masonry or wood may be plain or with moulding and chamfers.



Wood columns may support a second-story wood porch or an extension from the main roof.

Masonry columns may carry round arches which may support a second-story wall, either of masonry or wood.

#### Post-1821

Materials for porticos and arches shall match the architectural style of the structure.

Arches may be allowed on street line.

### ARCHITECTURAL DESIGN

#### Pre and Post - 1821

Design and detail shall be appropriate to the period of the reconstruction or reproduction. The same design shall not be repeated side by side in one structure or in adjacent or neighboring structure to create a "motel" affect. Therefore, the roof levels shall be varied as shall the balcony and window placement.

Maintain the original architectural styles on your house.

If replacements are necessary, duplicate the existing details.

Apply only architectural details that are in keeping with the building type and date.

### EXTERIOR ORNAMENTATION

#### Pre-1821

Hardware shall be on iron, brass or leather.

Hardware shall be designed as compatible with existing or documented Pre-1821 structures in the City or its environs and as appropriate to the period or style of the structure.

Ornamentation not documented as appropriate to the period or style of the structure shall not be used.

Rejas are not permitted on the street side ground level windows either bannistered or latticed or in a design and material inappropriate to that period of the building.

#### Post-1821

Existing ornamentation shall be retained. This includes carved, molded, or cast ornaments of any material, including posts, columns, brackets, balustrades, barge-boards, friezes, pendants, finials, moldings, cornices, statuary, decorative glass, hardware and lighting fixtures.

Replacement ornamentation must match the existing and be appropriate to the period or style of the structure.

Ornamentation not documented as appropriate may not be used.

## Energy and Utility Considerations

Place television antennae and mechanical equipment, such as air conditioners, in an inconspicuous location.

#### Pre-1821

Modern lighting, solar collectors, HVAC and other mechanical equipment shall be concealed or designed in such a manner as to be as unobtrusive as possible.

Post-1821

Solar collectors, HVAC, and other equipment may be installed on roofs, provided they are concealed and designed to be as unobtrusive as possible.

Electrical and gas meters and major mechanical equipment such as condensor elements shall be covered and as inconspicuous as possible.

## Secondary Buildings

Pre-1821

Secondary buildings whether free-standing or attached may not be more than one story high, and shall not occupy more than 20 percent of the designated space.

Keep early secondary buildings that continue to provide a useful purpose.

Use wooden garage doors.

Secondary building materials shall be compatible with primary structure.

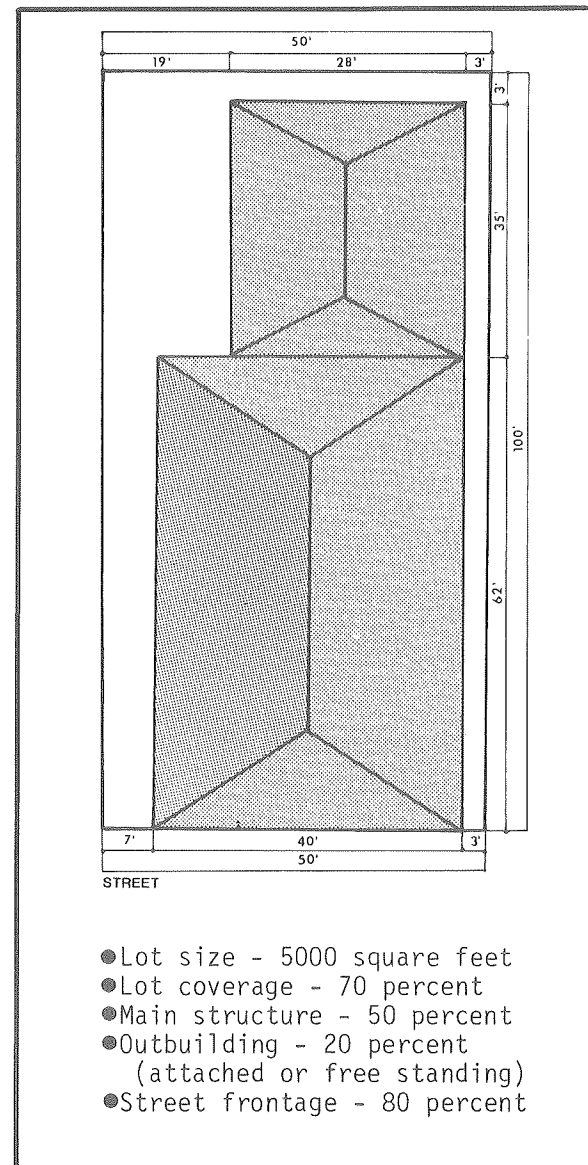
Post-1821

Keep details simple on buildings, porches and stoops.

## Non Residential Buildings

### Commercial Buildings

Comply with code requirements in such a manner that the essential character of a building is preserved intact.



Work with Building Official to investigate alternative life safety measures that preserve the architectural integrity of the building.

Investigate variances for historic properties allowed under some local codes.

Install adequate fire prevention equipment in a manner that does minimal damage to the appearance or fabric of a property.

Add new stairways and elevators that do not alter existing exit facilities or other important architectural features and spaces of the building.

Maintain as much of the original building as possible and keep alterations to a minimum.

Maintain or expose the original building material.

Maintain the size and shape or original openings including windows and doors. Keep wooden shutters.

Commercial structures from 1565-1821 (Manucy Style) period, 1822-1850 American Territorial period or the 1850-1890 Victorian period may not be altered to reflect either an earlier or later architectural period. Provided, however, that all modifications to buildings on St. George Street between the City Gates and Cathedral Place must conform to the architecture in The Houses of St. Augustine 1565-1821.

## Residential Buildings put to Commercial Use

Residential structures which are converted to commercial use must conform with requirements outlined in the Standard Building Code adopted for use by the City of St. Augustine.

Any individual organization who undertakes such a project should contact the City Building Official to determine the extent of requirements which must be met.

## Signs

Signs may be approved by the Building Official if pre-approved colors, lettering and materials are used. Signs are not permitted to be painted on the surface of a structure or building.

### Pre-1821

Appropriate material for signs is wood.

Appropriate types of signs include: bracket, post and wall.

### Post-1821

Appropriate materials for signs are wood and tile.

Appropriate types of signs include: bracket, post and wall.

## Institutional/Public Buildings

### Pre and Post - 1821

The Historic Architectural Review Board will review all applications for alternations, renovations of public or institutional buildings located within the historic preservation districts.

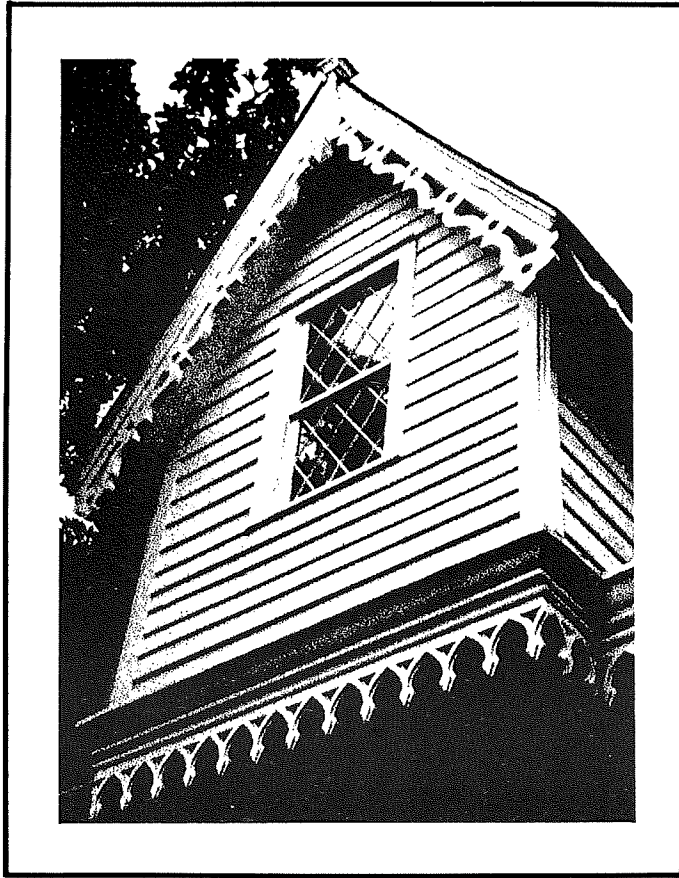
## Parking

All parking lots must have a 3 1/2 to 4 foot minimum height wall or fence.

Place parking area where it will have minimal visual impact on the area. Parking to the rear is encouraged. Parking areas cannot be placed in front or side yards.

All non-residential parking areas shall be surfaced with a permeable erosion resistant material. Drainage from such parking areas into the City drainagle system (either over-ground or direct under-ground) shall require the approval of the City Engineer.





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**NEW CONSTRUCTION**

# New Construction

## General Considerations

Use contemporary designs compatible with the character and mood of the building or the neighborhood.

Protect architectural designs and features that contribute to the character of the building.

Keep additions and adjacent new construction to a minimum, making them compatible in scale, building materials and texture.

Design new work to be compatible in materials, size, color and texture with the earlier building and the neighborhood.

Reproductions and reconstructions in the St. Augustine Style, with all the permutations of development from 1565-1821, are the only forms of new construction permitted in the Historic Preservation District 1, 2, 3.

Provide proper site drainage to assure that water does not splash against building or foundation wall, nor drain toward building.

All new structures regardless of use, residential, commercial, governmental or institutional, shall conform to design characteristics as described in The Houses of St. Augustine 1565-1821, by Albert Manucy, or as may be verified by existing or documented 1820 or earlier St. Augustine structures by an accredited authority such as the Historic American Building Survey (HABS).

Flagler era vernacular architecture as represented by the Alcazar, Ponce and Cordova Hotels and the Grace Methodist Church is the only style of new

construction (building, structures and signs) permitted on the west side of Cordova Street between the north side of Bridge Street to Carrera Street.

New construction may not carry the same architectural design across the street.

Structures may not exceed 70 percent lot coverage in all HP Districts.

Pre-1821 structures must be located on the property line. The main structure will be located on the property line facing the street and auxiliary buildings on side and/or rear property lines.

Post-1821 new construction will only apply to Victorian Style structures or Flagler era structures.

## Primary Buildings

The main structure should not occupy more than 50 percent of the designated lot.

Several structures shall not be clustered together, thereby mostly covering an entire lot; nor shall any structure be built on a lot which is clearly the open area of an adjacent structure.

Emphasize front entrances and orient them to the main street.

Raise new buildings on foundations that correspond to the raised height of adjacent structures and that meet flood control requirements.

## Secondary Buildings

Secondary buildings whether free standing or attached and no more than one story high should not occupy more than 20 percent of the designated space.

Total of primary and secondary structures shall occupy not more than 70 percent of lot coverage. The remaining 30 percent of open area shall be used as open space for gardens, walls, gates, etc.

The building material used for secondary structure shall be compatible with the architectural style of the primary structure.

## Moving Buildings

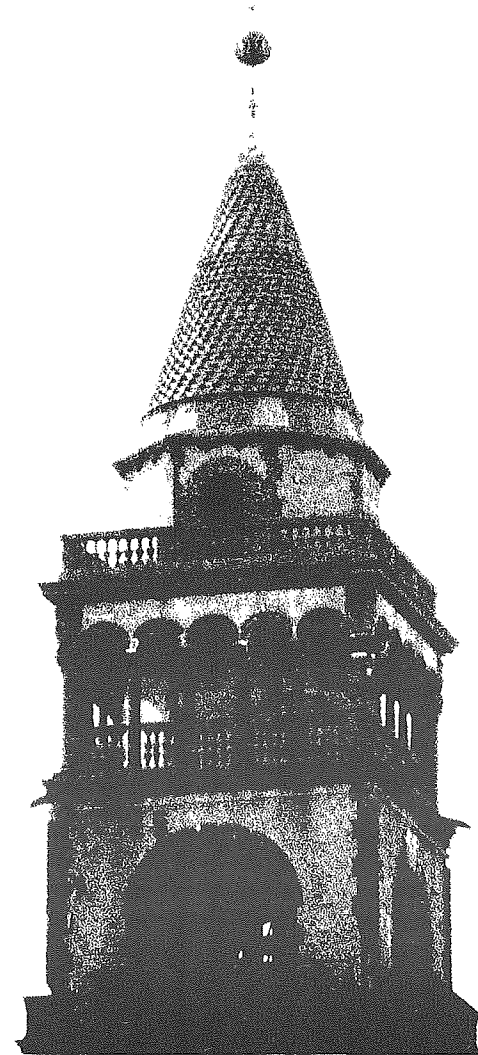
Guidelines which are outlined for primary and secondary structures shall apply to structures which are moved into any historic district.

## Color

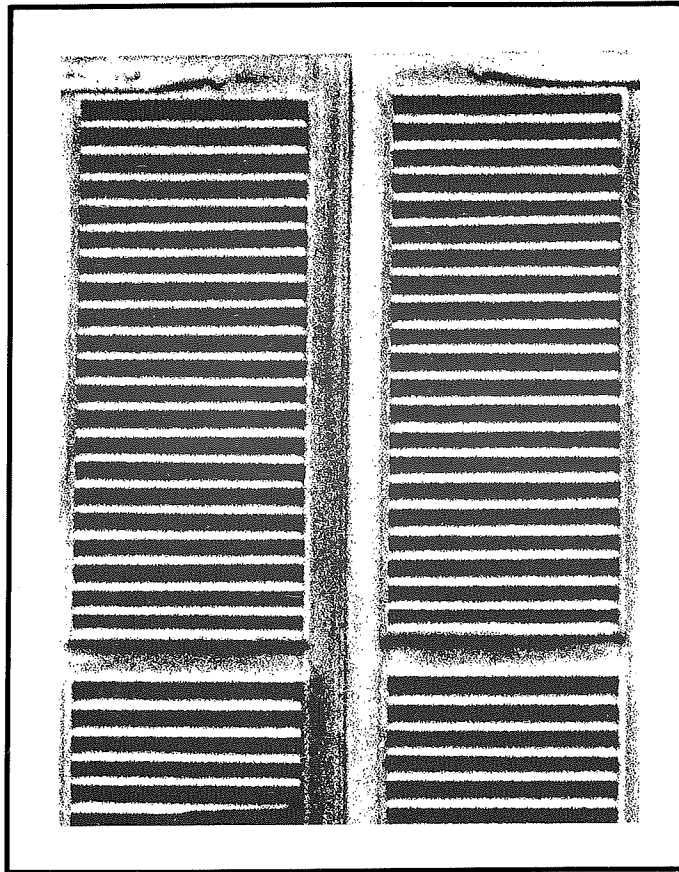
Color requirements for new commercial construction shall be the same as described for Residential Building - Exterior Features.

## Energy and Utility Considerations

Energy and utility considerations for new construction are the same as outlined for Residential and Non-Residential structures.







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# APPLICATION PROCESS

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## Building Permit

Note: All exterior construction, reconstruction or renovation in the Historic Preservation Districts requires a Certificate of Appropriateness prior to a building permit.

- 1 Go to: Planning Department - Code Enforcement - City Hall

**ACTION:** Receive instructions to make application for a Certificate of Appropriateness.

- 2 Go to: Planning Department - Code Enforcement - City Hall

**ACTION:** Submit completed application with supporting material, no later than the first or third Thursday of the month. The HARB meets the first and third Thursday of the month. An application will be denied (not returned to the Building Official) if it does not contain a separate specification sheet on renovations, restorations, reconstructions or new construction.

### HARB MEETING

- 3 Go to: City Commission Meeting Room - City Hall

**ACTION:** Be prepared to answer questions from the Board concerning the application for Certificate of Appropriateness.

### APPROVAL

- 4 Go to: Planning Department - Code Enforcement  
City Hall

**ACTION:** Building Official reviews requests and issues a building permit if it satisfies code requirements. You may begin work as soon as you receive your permit.

### DISAPPROVAL

- Go to: Planning Department -  
Code Enforcement - City Hall

**ACTION:** Resubmit modified application or appeal Board decision to City Commission within 15 days of the decision.

## Demolition Permit

NOTE: All demolition requests within the City of St. Augustine must be approved by the Historic Architectural Review Board.

**1** Go to: Planning Department - Code Enforcement - City Hall

**ACTION:** Receive instructions to make application. Application must contain a copy of the Florida Master Site File Form. Disconnect permits must be obtained from utility companies.

**2** Go to: Planning Department - Code Enforcement - City Hall

**ACTION:** Submit completed application with supporting material no later than first or third Thursday of the month. The Historic Architectural Review Board meets the first and third Thursday of the month.

### HARB MEETING

**3** Go to: City Commission Meeting Room - City Hall

**ACTION:** Be prepared to answer questions from the Board concerning the application for demolition.

### APPROVAL

**4** Go to: Planning Department - Code Enforcement - City Hall

**ACTION:** Building Official reviews request and issues a demolition permit if it satisfies all code requirements. A decision by the Board to issue an order postponing demolition for a period not to exceed six (6) months, may be appealed to the City Commission.

## Relocation Permit

NOTE: All relocation requests within the City of St. Augustine must be approved by the Historic Architectural Review Board.

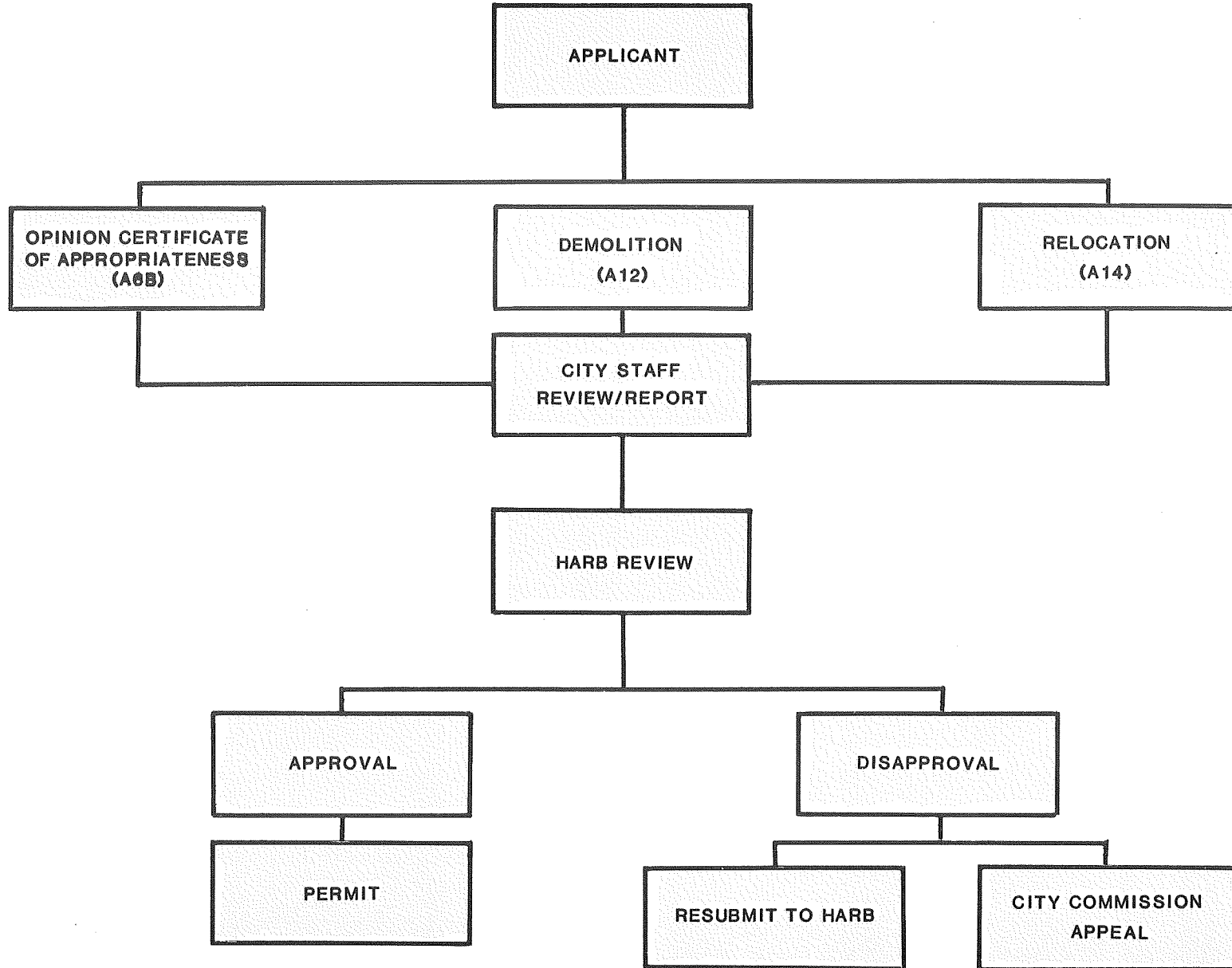
- 1 Go to: Planning Department - Code Enforcement - City Hall  
**ACTION:** Receive instructions to make application. Application must contain a copy of the Florida Master Site File Form, previous address and size of building.
- 2 Go to: Planning Department - Code Enforcement - City Hall  
**ACTION:** Submit completed application with supporting material no later than the first or third Thursday of the month. The Historic Architectural Review Board meets the first and third Thursday of the month.

### HARB MEETING

- 3 Go to: City Commission Meeting Room - City Hall  
**ACTION:** Be prepared to answer questions from the Board concerning the application for relocation.

### APPROVAL

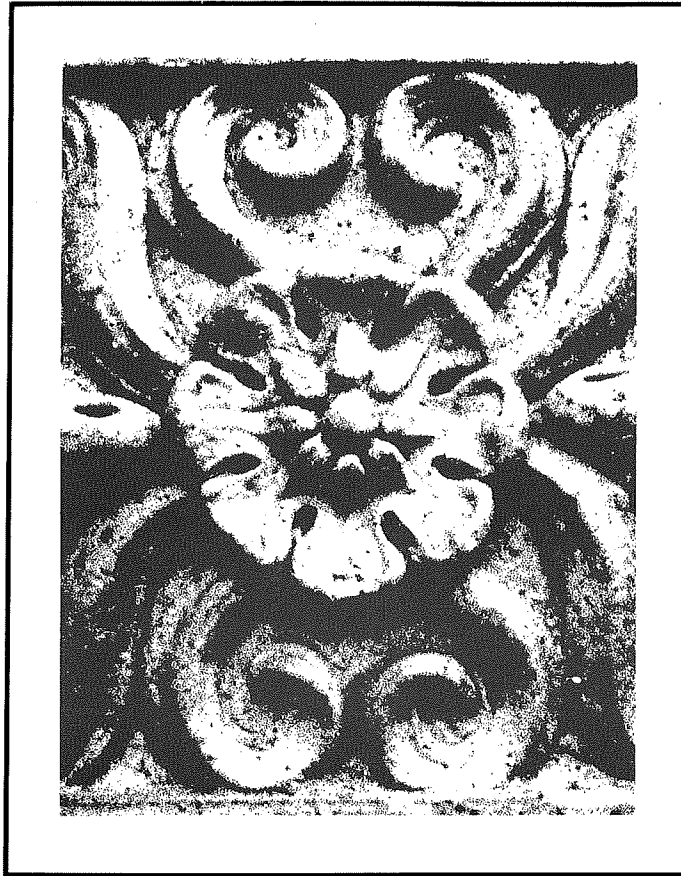
- 4 Go to: Planning Department - Code Enforcement - City Hall  
**ACTION:** Building Official reviews request and issues a relocation permit if it satisfies all code requirements. A decision by the Board to issue an order postponing demolition for a period not to exceed six (6) months, may be appealed to the City Commission.



APPLICATION FLOW CHART FIGURE 1







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## RESOURCES

# Organizations and Agencies

The following agencies can offer general advice and assistance on preservation projects and programs:

## LOCAL

- City of St. Augustine  
Planning Department  
P.O. Drawer 210  
St. Augustine, Florida 32085
- Historic St. Augustine Preservation Board  
P.O. Box 1987  
St. Augustine, Florida 32085
- St. Augustine Historical Society  
271 Charlotte Street  
St. Augustine, Florida 32084
- Friends of St. Augustine Architecture  
46 Spanish Street  
St. Augustine, Florida 32084

## STATE

- State Historic Preservation Officer  
Department of State  
Division of Archives, History and  
Records Management  
The Capitol  
Tallahassee, Florida 32301
- Florida Trust for Historic Preservation  
P.O. Box 11206  
Tallahassee, Florida 32302

## NATIONAL

- National Trust for Historic Preservation  
Southern Regional Office  
456 King Street  
Charleston, South Carolina 29403
- National Park Service  
U.S. Department of the Interior  
18th and C Street, N.W.  
Washington, D.C. 20240



# Selected Bibliography

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The Whole Preservation Catalog. Diane Maddox, ed. Washington, D.C.: Preservation Press, 1983.

## ADAPTIVE USE

Adaptive Use: Development Economics, Process and Profiles. Washington D.C.: Urban Land Institute, 1978.

New Life for Old Buildings. Mildred F. Schmertz and Editors of Architectural Record, New York: McGraw-Hill, 1982.

New Profits from Old Buildings: Private Enterprise Approaches to Making Preservation Pay. Raynor M. Warner, Sibyl M. Groff and Ranne P. Warner, Inform Inc. 1978. Reprint New York: McGraw-Hill, 1979.

## ARCHITECTURE AND ARCHITECTURAL HISTORY

American Architecture Since 1780: A guide to the Styles. Marcus Whiffen. Cambridge: MIT Press, 1969.

A Field Guide to American Architecture. Carole Rifkind. New York: New American Library, 1980.

Identifying American Architecture: A Pictorial Guide to Styles and Terms, 1600-1945. John J.G. Blumenson. Foreward by Nikolaus Pevsner. Nashville: American Association for State and Local History, 1977. Rev. hb. ed. New York: W. W. Norton, 1981.

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The Houses of St. Augustine, 1565-1821. Albert Manucy. St. Augustine: St. Augustine Historical Society, 1978.

**ENERGY CONSERVATION**

Assessing the Energy Conservation of Historic Preservation: Methods and Examples. Advisory Council on Historic Preservation. Washington D.C.: U.S. Government Printing Office, 1979.

**LAW**

Handbook on Historic Preservation Law. Christopher Duerkson, ed. Washington D.C.: Conservation Foundation, 1983.

Conservation Easements: The Urban Setting. Thomas A. Coughlin, ed. Washington D.C.: National Trust for Historic Preservation and Technical Preservation Services, U.S. Department of the Interior, 1981.

"How to Qualify Historic Properties Under the New Federal Law Affecting Easements." Emma Jane Saxe, Washington, D.C.: National Register of Historic Places, National Park Service, U.S. Department of Interior, 1981.

**TAX INCENTIVES**

Summary of Preservation Tax Incentives in the Economic Recovery Tax Act of 1981. Aubra H. Anthony, Jr. Information Series, National Trust for Historic Preservation. Washington D.C.: Preservation Press, 1981. Changes in Federal Tax Incentives for Historic Preservation. Aubra H. Anthony, Jr. Information Series, National Trust for Historic Preservation. Washington, D.C.: Preservation Press, 1982.

Landmarks Preservation and the Property Tax. David Listokin. New Brunswick, N.J.: Center for Urban Policy Research, Rutgers University, 1982.

**REHABILITATION**

Buying and Renovating a House in the City: A Practical Guide. Deirdre Stanforth and Martha Stamma. New York: Knopf, 1972.

The Old-House Journal 1983 Catalog: A Buyers Guide. Old House Journal Editors. New York: Old House Journal with Overlook Press, 1982.

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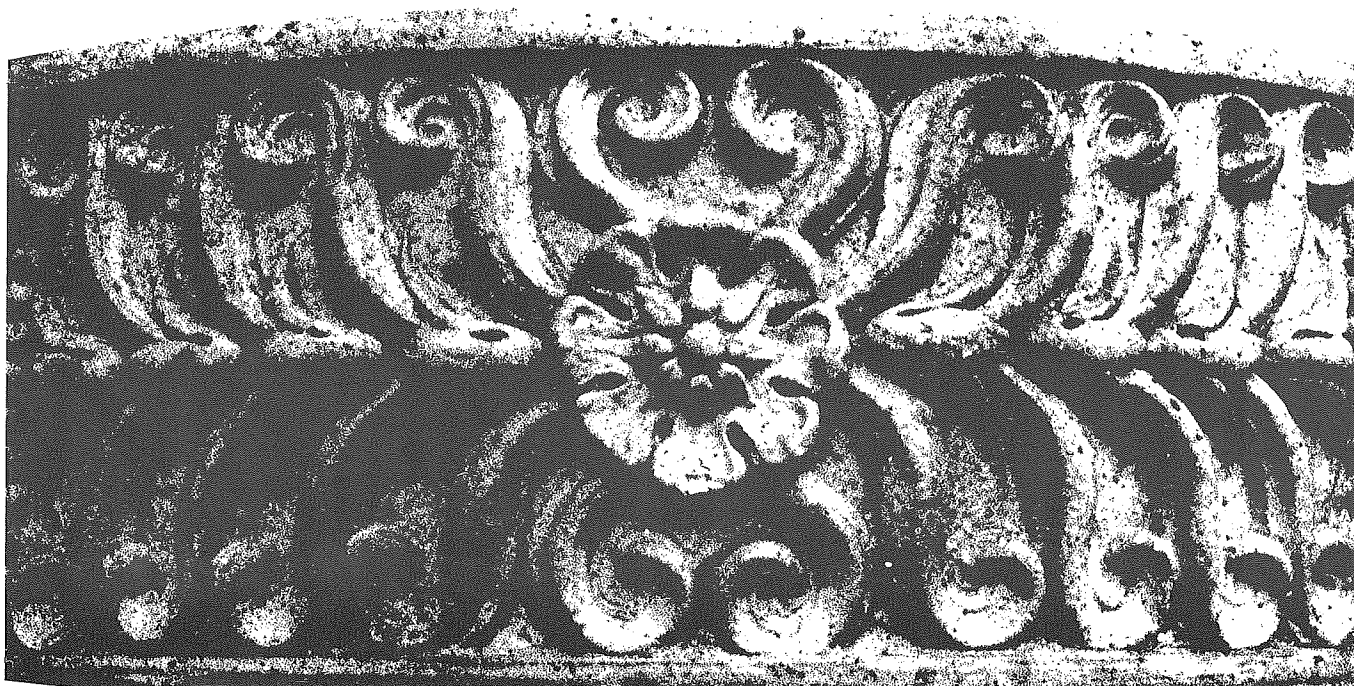


What Style Is It? John Poppeliers, S. Allen Chambers and Nancy B. Schwartz, Historic American Buildings Survey. Washington D.C.: Preservation Press, 1977.

Renovation: A Complete Guide. Michael Litchfield, New York: Wiley, 1982.

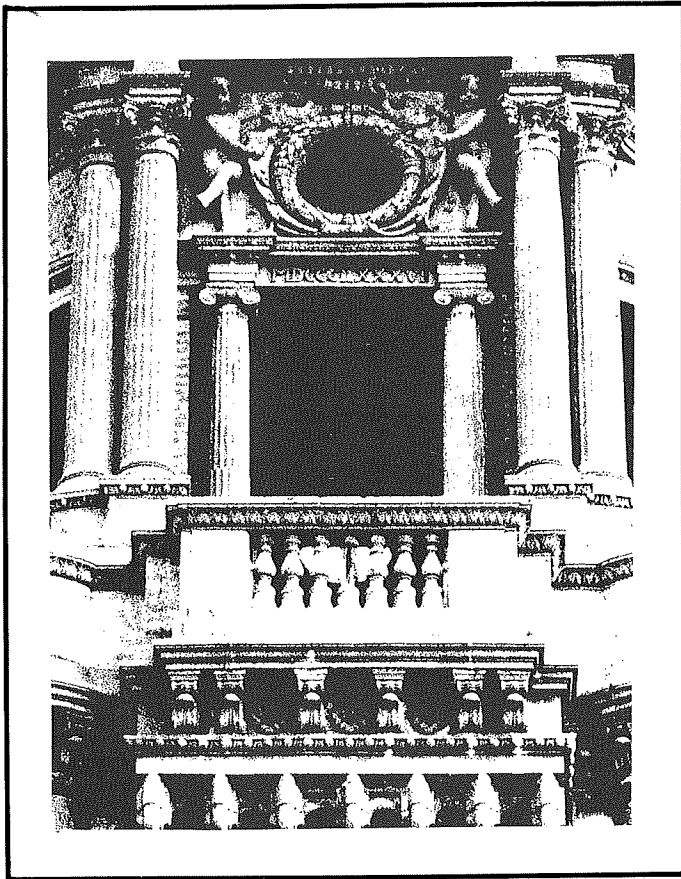
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# APPENDIX

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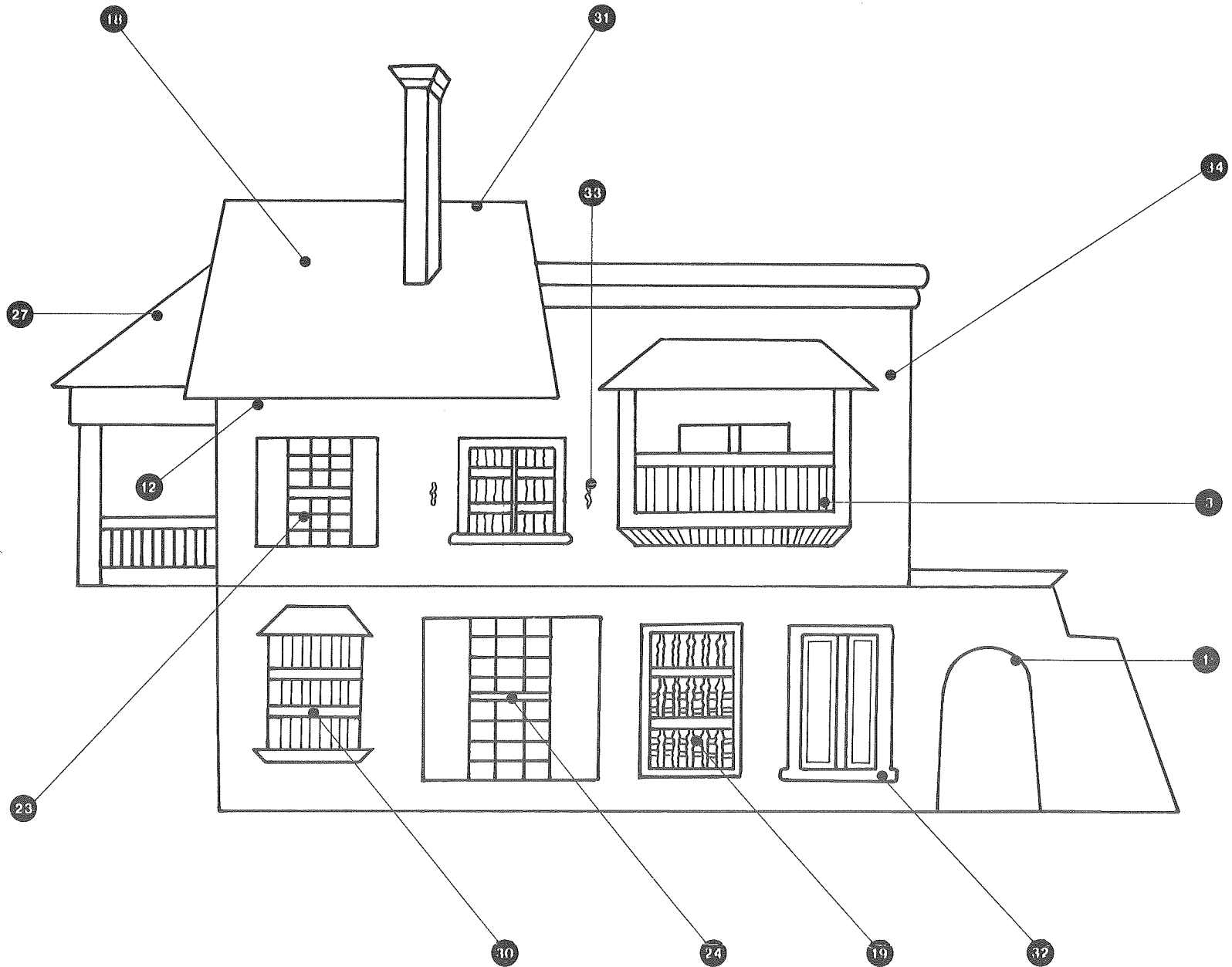
## Appendix A

# Architectural Terms

- ① Arch A structure of wedge-shaped blocks over an opening, so disposed as to hold together when supported only from the sides.
- ② Architrave The beam of lowest division.
- ③ Baluster A post or upright supporting a handrail.
- ④ Bargeboard The decorative board attached to the projecting portion of a gable.
- ⑤ Bracket A support element under eaves, shelves, or other overhangs.
- ⑥ Chamfer A diagonal cutting off of an arris formed by two surfaces meeting at an angle. (The surface formed by cutting off a corner of a board or post; a bevel).
- ⑦ Column A vertical support generally consisting of a base, circular shaft and capital.
- ⑧ Cornice The horizontal molded projection at the top of a building.
- ⑨ Cresting A light repeated ornament, incised or perforated, carried along the top of a wall or roof.
- ⑩ Cupola A spherical roof; dome.
- ⑪ Dormer A vertical window set in a sloping roof, when it is in the same place as the wall, it is called a wall dormer; when it rises from the slope of the roof, a roof dormer.
- ⑫ Eaves The projecting overhang at the lower edge of a roof.
- ⑬ Entablature Beam member carried by columns.
- ⑭ Facade The front or principal face of a building.
- ⑮ Finial An ornament at the top of a spike, gable or pinnacle.
- ⑯ Frieze The part of the entablature between the architrave and cornice; any sculptured or ornamented band in a building.
- ⑰ Gable The triangular portion of a wall between the enclosing lines of a sloping roof.
- ⑱ Hip Roof A roof with four uniformly pitched sides.
- ⑲ Lattice A structure consisting of strips of metal, or wood, crossed or interlaced to form regularly spaced openings.
- ⑳ Lintel A beam of any material used to span an opening (also known as architrave).

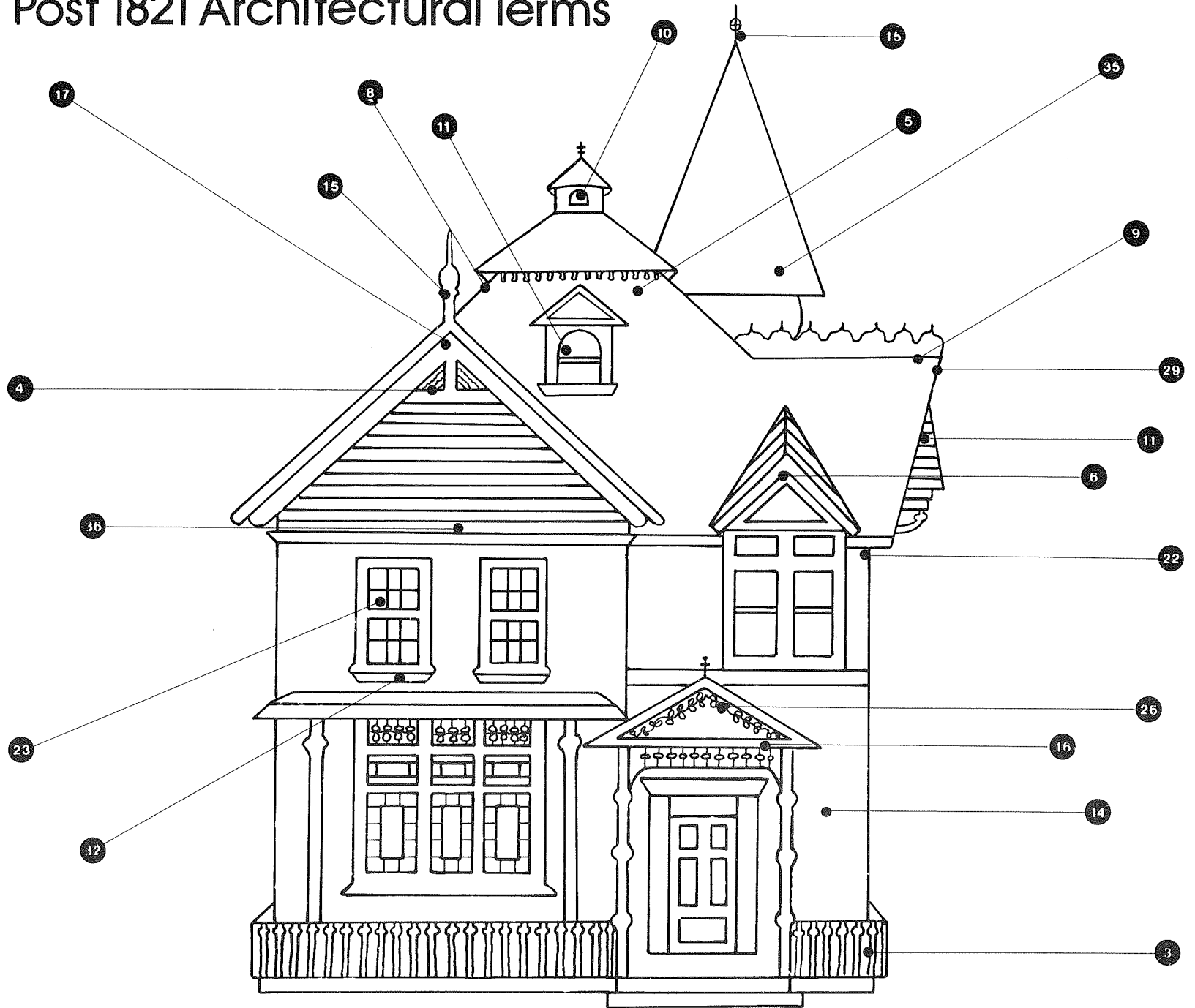
- ②1 Louvre A series of inclined slats in a vertical frame allowing ventilation without admitting rain.
- ②2 Moulding A continuous narrow surface that is either carved into or applied to the surface.
- ②3 Mullion A vertical member that divides a window or separates one window from another.
- ②4 Muntin The strips inside a sash that divide a multi-pane window.
- ②5 Parapet A low solid protective wall or railing along the edge of a roof or balcony.
- ②6 Pediment A wide low pitched gable above a portico or door.
- ②7 Porch A covered structure or recessed space at the entrance of a building.
- ②8 Portico An open space upheld by columns. (A major porch, with a pedimented roof supported by columns).
- ②9 Rafter Part of a wooden roof frame sloping down from the ridge to the eaves and establishing the pitch.
- ③0 Reja A projecting wooden frame on street windows.
- ③1 Ridge The highest point of a roof, running from end to end.
- ③2 Sash A frame or window in which glass is set.
- ③3 Shutter Tiebacks Hardware used to secure open shutters.
- ③4 Stucco A type of plaster work, either coarse or fine, used for surfacing interior or exterior walls.
- ③5 Turret A small slender tower, usually set at the corner of a building often and containing a circular shaft.

# Pre 1821 Architectural Terms





# Post 1821 Architectural Terms



## Appendix B

# Recommended Plant Materials

Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<b>GROUND COVERS</b>					
Ajuga reptans Bugle Weed, Carpet Bugle	2",12" at flower	S PS	L	Dark green foliage purple flowers in early summer	Variety rubra, with bronze leaves, is commonly grown in Florida, sensitive to nematodes, use under trees, banks and slopes, edging.
Cyrtomium falcatum Holly Fern, Japanese Holly Fern	24"	Sh	M	Glossy green foli- age	Tolerates shady locations; palmlike appearance.
Ficus pumila Climbing Fig, Climbing Rubber Vine	12"	S PS	M-H	Fine textured green leaves	Occasional shearing necessary; will climb up trees and buildings; stems may become large and woody.
Gelsemium sempervirens Carolina Yellow Jessamine Carolina Yellow Jasmine	6"	S PS	L	Yellow flowers in early Spring	Native vine; highly recommended for slopes, banks and open areas; slow growing; all parts are poisonous; prefers moist soils.
Hedera canariensis Algerian Ivy	6"	Sh	H	Dark green foliage	Prefers moist shady areas; larger leaves than English Ivy; well adapted to panhandle; available with variegated foliage; less aggressive climber than Hedera helix.
Hedera helix English Ivy	6"	Sh	H	Dark green foliage	Prefers moist shady areas; coarse texture; but finer than Algerian Ivy. Will climb up trees and buildings.
Hemerocallis spp. Daylily	6-12",12-36" at flower	S	H	Foliage light green; yellow, pink, orange, or brown flowers throughout the summer	Many cultivars available provide colorful flowers; relatively pest free; drought tolerant, plant on banks and slopes, seaside and open areas.
Juniperus chinensis Chinese Juniper	1-3'	S	L-M	Foliage blue-grey to green	Cultivars suited for use as ground covers are 'Parsonii', 'Parsonii' Variegata', procumbens 'Nana' and procumbens 'Aureovariegata', tolerates heat and drought.

Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<i>Juniperus conferta</i> Shore Juniper	1-2'	S PS	H	Yellowish-green to bluish foliage	Aggressive grower; cultivars 'Compacta' and 'Blue Pacific' are more compact; the most salt tolerant of the junipers; excellent for banks and slopes; drought tolerant.
<i>Licania michauxii</i> Gopher Apple, Ground Oak	3-12"	S	H	Dark green foliage above downy white below red fruit in summer	Native; tolerates drought and poor soils.
<i>Liriope muscari</i> Liriope, Lily Turf, Big Blue Lily Turf	12"	Sh	M	Dark green foliage, purple flowers in spring and black fruit in winter	Grass like, mat forming; used as edging; good for shade; requires no cutting. Won't tolerate trampling; variegated varieties tolerate full sun; drought resistant.
<i>Liriope spicata</i> Creeping Lily Turf, Creeping Liriope	6-18"	Sh	M-H	Dark green foliage, flowers purple to white in summer	Covers faster than <i>Liriope muscari</i> ; drought resistant, plant under trees, on banks and slopes.
<i>Ophiopogon japonicus</i> Dwarf Lily Turf, Mondo Grass, Dwarf Ophiopogon	6-12"	Sh	M-H	Dark, glossy green foliage	Excellent plant for shady locations; should not be mowed; doesn't tolerate trampling; flowers hidden by foliage, tolerates poor soils; drought resistant.
<i>Saxifraga stolonifera</i> Strawberry Geranium, Mother-of-Thousands	6-10"	PS	L	Dark green foliage, white flowers in late spring	Best in part shade; spreads by runners; tolerates rocky soils.
<i>Setcreasea pallida</i> 'Purple Heart' Purple Queen, Purple Heart, Purple Setcreasea	14"	S PS	H	Purple leaves, pink flowers in summer	Especially adaptable under trees; endures temperatures down to 25° F; prune occasionally for more compact growth.
<i>Trachelospermum asiaticum</i> Small Leaf Confederate Jasmine	8-12"	S Sh	M	Dark green foliage	One of the most elite of all ground covers; forms a thick mat that eliminates weeds.

Botanical Name and Common Name	Height	Exposure	Sale Tolerance	Color	Remarks
Trachelospermum Jasminoides Confederate Jasmine, Chinese Star Jasmine	8-12"	S	M	Dark green foliage, white flowers in April and May	Long vine which resists trampling; good for slopes and banks; not recommended under trees and shrubs; unkept appearance with many long twining stems sticking out; better use as a vine.
Tulbaghia violacea Society Garlic	30"	S	M	Bright lilac flowers in spring	Does not flower well in shade; wet-dry period induces frequent flowering.
Uniola paniculata Sea Oats	3-6'	S	H	Pale green foliage, attractive seedheads	For use as ground cover in open sand along beaches, best in dunes where sand is drifting; can be used as a specimen like pampas grass farther inland.
Vinca major Greater Periwinkle, Big Leaf Periwinkle, Blue buttons	12"	S	L	Glossy, green foli- age, lilac-blue flowers in spring	Plant under trees, on banks or slopes.
Zamia floridana Coontie, Florida Arrowroot	12-26"	S	H	Dark green glossy foliage	Native; palm like, cannot be sheared or mowed; very drought resistant.
<b>SMALL SHRUBS</b>					
Abelia grandiflora 'Sherwoodii' Sherwood Abelia	3'	S Sh	O	White, summer	Leaves and flowers also smaller than A. grandiflora. Spreading, compact. Plant in fertile moist soil.
Buxus microphylla Japanese Boxwood	3-4'	PS	O	Inconspicuous	Tolerates shearing; nematodes, mites and leaf miners are problems, com- pact globe, plant in fertile acid soil.
Ilex crenata 'Helleri' Dwarf Japanese Holly	2-3'	S PS	O	Inconspicuous	'Convexa' is another dwarf cultivar. Spreading, compact growth. Plant in well-drained acid soil.
Ilex cornuta 'Rotunda' Dwarf Chinese Holly	2-4'	S PS	O	Inconspicuous	Multi-spined leaves; best in groups. Spreading, compact. Plant in well drained acid soil.

Botanical Name and Common Name	Height	Exposure	Sale Tolerance	Color	Remarks
<i>Ilex vomitoria</i> 'Nana' Dwarf Yaupon Holly	3-4'	S Sh	H	Inconspicuous	Other cultivars include 'Stokes Dwarf' and 'Schellings'. Spreading, compact growth, tolerant of a variety of soils.
<i>Juniperus chinensis</i> Chinese Juniper	2-3'	S	M	Inconspicuous	Cultivars include 'Parsonii', 'Parsonii Variegata' and 'Aureovariegata'. Spreading. Plant in fertile, well drained soil.
<i>Juniperus conferta</i> Shore Juniper	1-2'	S	M	Inconspicuous	Superior cultivars include 'Blue Pacific' and 'Compacta'. Broad spreading, fertile well drained soil.
<i>Juniperus horizontalis</i> Spreading Juniper	12-15"	S	M	Inconspicuous	Cultivars include 'Bar Harbor', 'Wiltonii', 'Plumosa' and 'Douglasii'. Broad spreading, fertile well drained soil.
<i>Lagerstroemia indica</i> Dwarf Crape-Myrtle	4'	S	O	Variety, summer	Cultivars include 'Petite Snow', 'Petite Pinkie', 'Low Flame' and 'Dwarf Purple'. Spreading, tolerant of a variety of soils.
<i>Nandina domestica compacta</i> Dwarf Nandina	2-3'	S PS	O	Inconspicuous	Cultivars include 'Purpurea Dwarf' and 'Harbour Dwarf'. Spreading compact growth. Plant in fertile soil.
<b>MEDIUM SHRUBS</b>					
<i>Abelia grandiflora</i> Glossy Abelia	5-6'	S PS	O	White, summer	Aggressive; good for hedge. Spreading. Plant in fertile moist soil.
<i>Ilex cornuta</i> 'Burfordii Compacta' Dwarf Burford Holly	5-6'	S PS	O	Inconspicuous	Not readily infested by scale insects. Spreading. Plant in well drained, acid soil.
<i>Ilex crenata</i> Japanese Holly	5-6'	S PS	O	Inconspicuous	Popular cultivars include 'Hertzii' and 'Rotundifolia'. Spreading. Plant in well drained acid soil.
<i>Jasminum mesnyi</i> Primrose Jasmine	5-6'	S	O	Yellow, late winter	Mounding growth habit. Broad spreading, creeper. Tolerant to a variety of soils.



Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<i>Juniperus chinensis</i> Chinese Juniper	6-8'	S	M	Inconspicuous	Spreading. Plant in fertile, well drained soil.
<i>Lantana camara</i> Lantana	5-6'	S	H	Red, pink, orange or yellow, summer	Susceptible to frost, upright multi-stems, tolerant to a variety of soils.
<i>Nandina domestica</i> Nandina	5-6'	PS	O	White, spring	Red fruit in winter. Upright, multi- stems, plant in fertile soil.
<i>Photinia glabra</i> Red-Tip Photinia	6-8'	S	O	White, spring	Young foliage is red; P. x Fraseri, excellent hybrid, upright, open, fertile soil.
<i>Raphiolepis indica</i> India-Hawthorn	5'	Sh	H	Rose-pink, spring	Excellent seaside plant, spreading and open, plant in fertile or acid soil.
<i>Rhododendron simsii</i> Indian Hybrid Azaleas	6-8'	PS	O	Variable, spring	Evergreen, spreading, plant in fertile, acid, well-drained soil.
<i>Spiraea cantoniensis</i> Reeves Spirea	5-6'	S	O	White, spring	Excellent border plant, spreading, fertile soil.
<i>Spiraea thunbergii</i> Thunberg Spirea	5-6'	S,PS	O	White, spring	Excellent border or informal hedge plant, spreading, fertile, well-drained soil.
<i>Tetrapanax papyriferus</i> Rice-paper Plant	8'	S,PS	O	Creamy white, winter	Produces suckers; susceptible to frost, upright, tolerant to a variety of soils.
<i>Viburnum suspensum</i> Sandankwa Viburnum	6-8'	S,Sh	O	White, spring	Easily maintained at smaller size, spreading, fertile soil.
<i>Viburnum tinus</i> Laurestinus	6-8'	S	O	White to pinkish late winter	Good background plant or screen, columnar growth, fertile, well- drained soil.
<i>Yucca gloriosa</i> Spanish Dagger	6-8'	S	M	White, summer	Good for hot, dry locations, upright, well-drained soil.

Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<b>LARGE SHRUBS</b>					
<i>Callistemon rigidus</i> Bottle-brush	8-10'	S	M	Red, late spring	Leaves are quite stiff, upright spreading, well-drained soil.
<i>Camellia sasanqua</i> Sasanqua	10-12'	S,PS	O	Variable, winter	Many cultivars available, upright spreading, plant in well-drained soil.
<i>Elaeagnus pungens</i> Silverthorn	12-15'		O	Inconspicuous	Vigorous growth; long sweeping shots, spreading, tolerant to a variety of soils.
<i>Feijoa sellowiana</i> Pineapple Guave	8-10'	S,PS	M	White, with red stamens, spring	Edible fruit, good clipped hedge, compact, tolerant to a variety of soils.
<i>Ilex cornuta</i> Chinese holly	12-15'	S,PS	O	Inconspicuous	Scarlet or red berries; good cut foliage; 'Burfordii' is popular cultivar, spreading, well-drained acid soils.
<i>Ilex vomitoria</i> Yaupon Holly	12-15'	S,Sh	H	Inconspicuous	Excellent large shrub, spreading, tolerant to a variety of soils.
<i>Illicium anisatum</i> Anise	8-10'	S,Sh	O	Inconspicuous	Easily maintained to smaller size; crushed foliage is fragrant, spreading, compact, tolerant to a variety of soils.
<i>Juniperus chinensis</i> Chinese Juniper	12-15'	S	M	Inconspicuous	Columnar growth habit, fertile well-drained soil.
<i>Lagerstroemia indica</i> Crape-Myrtle	12-15'	S	O	White, pink, red or purple, summer	Deciduous; susceptible to powdery mildew, upright, spreading, tolerant of a variety of soils.
<i>Ligustrum japonicum</i> Japanese Privet	10-12'	S,PS	O	White, spring	Fragrant flowers; excellent screen or barrier, upright spreading, tolerant of a variety of soils.

Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<i>Ligustrum sinense</i> Chinese Privet	8-10'	S,PS	O	White, spring	Variegated form; often used as clipped hedge, spreading, tolerant of a variety of soils.
<i>Michelia figo</i> Banana-shrub	12-15'	PS	O	Yellow, spring	Flowers have banana-like fragrance; scale insects are a problem, spreading, compact, fertile well-drained soil.
<i>Myrica cerifera</i> Southern Wax-Myrtle	12-15'	S,PS	H	Inconspicuous	Excellent, vigorous growing plant hardy plant, upright spreading, tolerant of a variety of soils.
<i>Nerium oleander</i> Oleander	12-15'	S	H	Red, pink, cream or white, summer	Showy flowers; excellent seaside shrub, upright, tolerant of a variety of soils.
<i>Pittosporum tobira</i> Pittosporum	8-10'	S,Sh	H	White, spring	Easily maintained at smaller size, variegated selections available, spreading, fertile, acid soil.
<i>Platycladus orientalis</i> ( <i>Thuja orientalis</i> ) Oriental Arbovitae	15-20'	S	O	Inconspicuous	Often misused, not a foundation plant, globose densely foliated, tolerant of a variety of soils.
<i>Podocarpus macrophyllus</i> Yew Podocarpus	20-25'	S,Sh	M	Inconspicuous	Easily maintained at smaller size, upright, compact, tolerant of a variety of soils.
<i>Podocarpus nagi</i> Nagi Podocarpus	20-25'	S,Sh	M	Inconspicuous	Strong accent plant, good cut foilage, upright, tolerant of a variety of soils.
<i>Prunus caroliniana</i> Cherry-Laurel	20-25'	Sh	O	White, spring	Easily trained to small tree or clipped hedge, messy fruit, fertile, spreading.
<i>Pyracantha coccinea</i> Firethorn	15-20'	S	O	White, spring	Often trained as espalier; fruit in fall, spreading, tolerant of a variety of soils.

Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<i>Taxus floridana</i> Florida Yew	8-10'	PS	O	Inconspicuous	Used as topiary, hedge or specimen, native, upright, spreading, fertile well-drained soil.
<i>Ternstroemia gymnanthera</i> Japanese Cleyera	12-15'	PS,Sh	O	White	Reddish midribs in leaves; commonly used as clipped hedged, upright, fertile, well-drained soil.
<i>Viburnum odoratissimum</i> Sweet Viburnum	15-20'	S	O	White, spring	Not a foundation plant, regular pruning required, spreading, dense, tolerant of a variety of soils.
<i>Xylosma</i> spp. Xylosma	15-20'	S,PS	O	Inconspicuous	Used as a specimen or patio plant, spreading, tolerant of a variety of soils.
<i>Yucca aloifolia</i> Spanish Bayonet	12-15'	S,Sh	H	White, summer	Excellent seaside plant, accent plant, upright, well-drained soil.
<i>Yucca Elephantipes</i> Spineless Yucca	15-20'	S,Sh	H	White, summer	Tallest yucca, good specimen or framing plant in large area, upright, well-drained soil.
<b>ORNAMENTAL TREES</b>					
<i>Citrus</i> spp. Calamondin, satsuma	10-20'	S	L	White, spring	High fertilizer requirement, pest problems, fertile well-drained soil, do not mulch.
<i>Prunus caroliniana</i> Cherry-Laurel	35'	Sh	L	White, early spring	Fragrant foliage, attractive to birds, good native evergreen tree, fertile well-drained soil.
<i>Lagerstroemia</i> spp. Crape-Myrtle	20-30'	S	L,M	Various, spring, summer	Old-fashioned planting, spectacular when in flower, tolerant to a variety of soils.
<i>Cornus florida</i> Dogwood	40"	S	L	White, spring	Attractive to birds, pink flowered forms, well-drained soils.

Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<i>Ulmus parvifolia</i> Chinese Elm	45'	Sh	L	Inconspicuous	Several varieties available, average dry soil.
<i>Ligustrum lucidum</i> Glossy Privet	25"	S	M	White, spring, summer	Tolerant to a variety of soils.
<i>Koelreuteria elegans</i> Goldenrain-Tree	40'	S	L	Yellow, Fall	Drought resistant, wind resistant, pink fruits, attractive, very colorful, tolerant to a variety of soils.
<i>Ilex</i> spp. Holly	40-50'	S	L,M	White, spring	Tolerates neglect, well adaptive to a variety of soils and locations.
<i>Parkinsonia aculeata</i> Jerusalem-Thorn	30'	S	L	Yellow, spring, summer	Tolerates neglect, excellent flowering tree, well-drained soil.
<i>Eriobotrya japonica</i> Loquat	25'	S	L	White late fall	Excellent edible fruit, average soil, use a border plant.
<i>Quercus</i> spp. Oaks	60-100'	Sh	H	Inconspicuous	Live Oaks only salt tolerant, well-drained soil.
<i>Bauhinia</i> spp. Orchid-Tree	20-30'	Sh	N	Purple to white, Varies with species	Different species bloom at different seasons, average soil.
<i>Pinus</i> spp. Pine	70-120'	Sh	M-H	Inconspicuous	Grows rapidly, Spruce and longleaf best, any well-drained soil.
<i>Podocarpus</i> spp. Podocarpus	50-70'	S	M	Inconspicuous	Usually not intentionally planted as a tree, fertile well-drained soil.
<i>Cercis canadensis</i> Redbud	30'	S	N	Rose, spring	Grows rapidly, beautiful flowering tree, average soil.
<i>Juniperus</i> spp. Red Cedar	50-100'	S	M	Inconspicuous	Attractive to birds, tolerates neglect, difficult to transplant, tolerant of a variety of soils.



Botanical Name and Common Name	Height	Exposure	Salt Tolerance	Color	Remarks
<i>Acer rubrum</i> Red Maple	70'	Sh	N	Red, Spring	Does not grow well on sandy ridges, good fall color, moist to average soil.
<i>Betula nigra</i> River Birch	50'	Sh	N	Inconspicuous	Peeling bark is very attractive, mellow fall color, moist soil.
<i>Ulmus parrifolia</i> Chinese Elm	45'	Sh	L	Inconspicuous	Rapid growth, average dry soil.
<i>Magnolia grandiflora</i> Southern Magnolia	100'	Sh	M	White, spring	Difficult to transplant; old- fashioned planting, fragrant flowers, moist and well-drained soils.
<i>Liquidambar styraciflua</i> Sweet Gum	100'	Sh	N	Inconspicuous	Difficult to transplant, red, yellow and purple in fall, rapid growth, produces messy, sharp pointed fruit, tolerant of a variety of soils.
<i>Platanus occidentalis</i> Sycamore	100'	Sh	L	Inconspicuous	Tolerates neglect, difficult to transplant bare root, rapid growth, any well-drained soil.
<i>Liriodendron tulipifera</i> Tulip-tree	100'	Sh	N	Greenish-white spring	Fairly fast growing, tulip-like flowers, average soil.
<i>Myrica cerifera</i> Wax-Myrtle	20-30'	S	M,H	Inconspicuous	An excellent small native tree, scented foliage, tolerant of a variety of soils.
<b>PALMS</b>					
<i>Rhapis excelsa</i> Broad-Leaf Lady Palm	8-10'		O		Slow grower; excellent patio or container palm; plant in sites which offer protection from cold; moist, semi-shaded areas.
<i>Sabal palmetto</i> Cabbage Palm	30-60'		H		Florida's official state tree; very numerous; excellent native palm; transplants easily; very adaptable; wet to dry soils.

Botanical Name and Common Name	Height	Salt Tolerance	Remarks
Washingtonia filifera California Washington	50-60'	M	Good for street plantings; well-drained soils.
Phoenix canariensis Canary Island Date Palm (LY)	30-60'	M	Too large for residential plantings; often shows magnesium deficiency; grows best in well-drained soils.
Livistona chinensis Chinese Fan-Palm (LY)	30'	M	Slow grower until trunk well formed; plant in sites which offer protection from cold; adaptable to a variety of soils.
Sabal minor Dwarf Palmetto	3-6'	H	Seldom used; native palm with bluish color; difficult to transplant; variable to moist soils.
Washingtonia robusta Mexican Washington Palm	60-80'	M	Leaves clothe the trunk; good for street plantings; very adaptable to a variety of soils.
Rhapidophyllum hystrix Needle Palm	3-5'	M	Slow grower but excellent small, native palm; very cold hardy; needles could be dangerous to small children; fertile, moist soils and shade.
Butia capitata Pindo Palm	10-20'	M	Slow grower; needs space to develop; most cold hardy of pinnate palms; very adaptable to a variety of soil conditions.
Serenoa repens Saw Palmetto	3-4'	H	Excellent small native palm but very difficult to transplant; extremely adaptable to a variety of soil conditions and locations.
Phoenix reclinata Senegal Date Palm (LY)	20-25'	M	Too large for many homes; plant in sites which offer protection from cold; well-drained soils.

Botanical Name and Common Name	Height	Salt Tolerance	Remarks
Trachycarpus fortunei Windmill Palm (LY)	5-10'	H	Very cold hardy; excellent palm; very adaptable to a variety of soils.

## Exposure

S - Full Sun  
PS - Partial Shade  
Sh - Shade

## Salt Tolerance

O - None  
L - Low  
M - Medium  
H - High

## Appendix C

# Ordinance 83-10

AN ORDINANCE RELATING TO ZONING REPEALING SECTIONS 33-183, 33-184 and 33-185 OF THE CODE OF THE CITY OF ST. AUGUSTINE, FLORIDA TO ABOLISH THE HISTORIC ARCHITECTURAL REVIEW BOARD AS CREATED BY SECTION 33-183; CREATING A HISTORIC ARCHITECTURAL REVIEW BOARD; PRESCRIBING THE NUMBER OF MEMBERS THEREOF AND QUALIFICATIONS FOR OFFICE; PRESCRIBING THE TENURE OF MEMBERS; PRESCRIBING POWERS AND DUTIES OF MEMBERS; PRESCRIBING THE PROCESS FOR MAKING AND REVIEWING APPLICATIONS FOR A CERTIFICATE OF APPROPRIATENESS; PRESCRIBING THE DUTIES OF THE CITY BUILDING OFFICIAL; PROVIDING A SCHEDULE OF FEES; PROVIDING FOR ENFORCEMENT THEREOF; AND PROVIDING AN EFFECTIVE DATE.

**SECTION 1** That Sections 33-183, 33-184 and 33-185 of the Code of the City of St. Augustine, Florida be, and the same are hereby, repealed.

**SECTION 2** That the Historic Architectural Review Board created by Section 33-183 repealed by Section 1 hereof be, and the same is hereby abolished.

**SECTION 3** That there is hereby created a Historic Architectural Review Board consisting of seven (7) members to be appointed by the City Commission from applications submitted on forms as from time to time promulgated by the City Manager and approved by the City Commission. Each member shall have either through training or experience demonstrated competence in the field of historic preservation. Qualifications shall include training or experience in architecture, art-history, history, archeology, building construction and land use, including real estate or nomination by the St. Augustine Historical Society and the St. Augustine Preservation Board.

Three (3) members of the board, as established herein, shall be appointed for a term of one (1) year; two (2) members for two (2) years, and two (2) members for three (3) year terms. Thereafter all members shall be appointed for three (3) year terms except those appointed to fill vacancies for unexpired terms, in which case the appointment shall be for the unexpired term only. Members of the Historic Architectural Review Board created by former Section 33-183 shall serve as members of the Historic Architectural Review Board created until such time as five (5) members of the Historic Architectural Review Board herein created are appointed and shall have qualified and taken office.

**SECTION 4** All members shall reside in and be qualified voters in the City of St. Augustine, Florida for at least one year prior to appointment and shall hold no office under City government nor receive any salary or compensation for their services to the Board herein created. No member shall be appointed for more than two (2) consecutive full terms. All members must either own property or a business or be a stockholder in a business licensed within a Historic Preservation District.

**SECTION 5** All records of the Historic Architectural Review Board created by former Section 33-183 of the Code of the City of St. Augustine be, and the same are hereby, transferred to the Historic Architectural Review Board created by Section 3 hereof. All applications pending before the Historic Architectural Review Board created by former Section 33-183 shall be heard and considered by the Historic Architectural Review Board herein created.

**SECTION 6** Any member who fails to attend two of three consecutive meetings without approval of the City Commission shall be considered to have resigned and the position and the vacancy shall be filled by the City Commission as any other vacancy.

**SECTION 7** The members of the Historic Architectural Review Board herein created shall meet once a month or upon call of the Chairman. The Board shall annually elect one (1) of its members as Chairman and one (1) Vice-Chairman who shall serve only two consecutive terms. It shall be the duty of the Chairman to preside over all meetings of the Board. In the absence of the Chairman, the Vice-Chairman shall preside. Four (4) members of the Board shall constitute a quorum for the purposes of meetings and transacting business. No recommendations or formal action of the Board shall be taken without a majority vote of those voting and without the concurrence of at least three (3) members. Failure to receive a majority vote of those voting and at least three affirmative votes shall act as a denial by the Board.

**SECTION 8** The members of the Historic Architectural Review Board herein created shall have the following responsibilities:

(a) Review petitions for Certificates of Appropriateness required within the Historic Preservation Districts (HP-1 thru HP-6) under Section 10 of this Ordinance. Additionally, the Board shall review all applications for building permits on property abutting or immediately facing the HP-1, HP-2 and HP-3 Historical Districts to insure reasonable compatibility of the facades of such buildings visible from within such Districts with the authentic restoration of preservation of the Districts, and where found to be reasonably compatible, issue a Certificate of Appropriateness.

(b) Participate in the adoption of existing codes, ordinances, procedures and programs to reflect policies and goals designed to conserve historic districts.

(c) To review all applications for demolition permits within the City limits of St. Augustine.

(d) Cooperate with the agencies of City, County, Regional, State and Federal Governments in planning proposed and future projects to reflect the concerns and policies expressed in this Ordinance; assist, as a consultant, in the development of proposed and future land use plans.

(e) Advise property owners and local governmental agencies concerning the property protection, maintenance, enhancement and preservation of resources designated under this Ordinance.

(f) Advise the City Commission concerning the effects of local governmental actions on resources designated or that appear to qualify for designation under this Ordinance.

(g) Conduct regular public meetings and to call special meetings.

(h) Recommend to the Building Official the issuance of a "stop work order" when it appears that there has not been compliance with the requirements of Section 11 (a) of this Ordinance.

(i) Develop rules and procedures necessary to implement its powers and duties consistent with the provisions of this Ordinance.

**SECTION 9** This Historic Architectural Review Board shall follow the following procedures:

(a) The Board shall adopt rules prescribing the procedure for making and reviewing applications for a Certificate of Appropriateness or Request for Opinion of Appropriateness.

(b) Applications for a Certificate of Appropriateness or Request for Opinion of Appropriateness shall be initiated with the Building Official or Planning Director.



(c) The Board shall promptly hold a hearing upon each application and shall provide adequate notice thereof to the applicant, the City's Planning Department and the Building Department, as well as the public.

(d) A motion to deny an application for Certificate of Appropriateness or Request for an Opinion of Appropriateness shall contain the reasons for denial which shall then be endorsed on the application and a copy of such reasons provided to the applicant.

(e) The Certificate of Appropriateness shall describe the project for which issued and the type of work to be done. The Board may require certain terms or conditions as a prerequisite for the approval of a Certificate of Appropriateness, which shall be clearly stated thereon.

**SECTION 10** The criteria for Certificate of Appropriateness review shall be as follows:

(a) In reviewing an application for a Certificate of Appropriateness, the Board and/or Building Official and/or Planning Director shall consider the design and appearance of the structure, including the interior visible from the outside, front, sides, rear and roof; materials; textures and colors; plat plan or site layout, including features such as walls, walks, terraces, plantings, accessory structures, signs, lights, awnings, canopies, and other appurtenances. The decision to issue or not to issue the Certificate shall be based on the conformance of the proposed work to the Architectural Guidelines for Historic Preservation of the City of St. Augustine as from time to time promulgated by the Historic Architectural Review Board or the City Commission and approved by Resolution of the City Commission, hereinafter referred to as "AGHP" and Albert Manucy's Houses of St. Augustine - 1565-1821. When reviewing a Certificate of Appropriateness for relocation of

a structure, consideration will be given to the immediate surroundings and to the district or districts in which it is located or to be located. The Board shall not exercise any control over land use, such as governed by the Zoning Ordinance, or over construction such as is governed by the Building Code, unless such control is within the intent and scope of this Ordinance.

(b) Before approving the plans for any proposed structure or signs located or to be located in a District, the Board shall find:

(1) In the case of a proposed alteration or addition to an existing structure, that such alteration or addition will not materially impair the architectural or historic value of the structure.

(2) In the case of a proposed new structure that such structure will not, in itself or by reason of its location on the site, materially impair the architectural or historic value of a structure on adjacent sites or in the immediate vicinity.

(3) In the case of a proposed new structure that such structure will not be injurious to the general visual character of the district or districts in which it is to be located.

(4) In the case of the proposed demolition of an existing structure, that the removal of such structure will not be detrimental to the historic and architectural character of the City or that, balancing the interest of the City in preserving the integrity of the City and the interest of the owner of the property, approval of the plans for demolition is required by considerations of reasonable justice and equity; in the latter event the Board may issue an order postponing demolition for a period of not to exceed six (6) months. If the Board concludes that the demolition should be postponed, it shall before issuing any final order with respect to such

postponement, afford the applicant an opportunity to appear before the Board to offer any evidence he may desire to present concerning the proposed order. Within the period of postponement, the Board shall ascertain what the City or other agency or organization may do to preserve such structure and shall make recommendations to that effect to the City Commission or otherwise cause the structure to be preserved. This Ordinance shall not apply to any permit for demolition which has been applied for, in proper form, prior to the effective date of this Ordinance.

(5) In the case of any proposed new or altered sign that the sign will not materially impair the architectural or historic value or any structure to which it is attached, nor any adjacent structure and that such sign is consistent with the architecture of the building and the historical character of the area.

(6) The Board shall not have the authority to consider interior arrangements.

(c) The Building Official and/or Planning Director may, based upon the AGHP and consistent with this Ordinance, make the decision to issue and not to issue the Certificate for the following work:

(1) Placement of utility service.

(2) Repainting with the same color if previously approved for painting with a color selected from the AGHP Guidelines.

(3) Structural maintenance and repair utilizing the same materials and architectural character.

(4) Any structural maintenance, repair or remodeling which does not exceed \$250.00.

(5) Exterior construction or equipment not visible.

(6) All signs and graphics.

(7) Landscape features including fences, walls, walks, patios, decks, driveways, plant materials and ornamentation that does not exceed \$1,000.00.

(8) Placement of exterior utility support equipment including air conditioning compressors, gas tanks, etc.

(d) Appeals from decisions of the Building Official and/or Planning Director under subsection (c) of this Section may be taken to the Board within fifteen (15) days from such decision.

#### SECTION 11 Administration and Records.

(a) Any necessary building or demolition permit and/or Certificate of Occupancy shall not be issued unless the Building Official and/or the Planning Director and/or the Historic Architectural Review Board approves the application for a Certificate of Appropriateness. Such permit shall be subject to the terms of such approval as well as other necessary provisions of the City Code of Ordinances.

(b) Applications for Certificates of Appropriateness shall be submitted through the office of the Building Official and/or Planning Director and shall include, in duplicate, all plans, elevations and other information necessary to determine the appropriateness of the features to be passed upon.

(c) Prior to issuance or denial of a Certificate of Appropriateness required by the Board, the Board shall take such action as may reasonably be required to inform the owners of any property likely to be materially affected by the application and shall give the applicant and such owners an opportunity to be heard. The Board shall hold a public hearing concerning each application.

(d) Every decision of the Board and/or Building Official and/or Planning Director in passing upon plans for structures or signs located or to be located in the District, shall be in the form of a written order stating the finding of the Board, its decisions and reasons therefor.

(e) The Board shall not disapprove any plans without giving its recommendations for changes necessary to be made before the plans will be reconsidered. Such recommendations may be general in scope, and compliance with them shall qualify the plans for reconsideration by the Board.

(f) An appeal may, within fifteen (15) days thereafter, be taken by any aggrieved person to the City Commission of the City of St. Augustine from the Board's action in granting or denying a Certificate of Appropriateness. The appeal shall be as prescribed in Section 33-162(f). Any appeal from the decision of the City Commission shall be heard by the Circuit Court of St. Johns County, on writ of Certiorari, as in the case of any other zoning decision from the City Commission.

**SECTION 12** Enforcement shall be as follows:

(a) Neither the owner of, nor the person in charge of a structure within a historic district shall permit such structure to fall into a state of disrepair which may result in the deterioration of exterior appurtenances or architectural feature so as to produce or tend to produce, in the judgment of the Board, a detrimental effect upon the character of the district as a whole or the life and character of the structure in question.

(b) A stop work order shall be issued by the Building Official in any case where work has commenced or preparation for work has commenced, if no Certificate of Appropriateness has been obtained where one is required by Section 11 of this Ordinance. The stop work order shall be issued to

the owner, the occupant, or any person, company or corporation commencing work or preparation for work in violation of this Ordinance. The stop work order shall remain in full force and effect until a Certificate of Appropriateness has been obtained or it has been determined by the Board that no Certificate of Appropriateness is required.

(c) Any person who violates any provision of this Ordinance shall be punished as provided by Section 33-167 of the Code of Ordinances of the City of St. Augustine, Florida.

(d) A person who files with the Board and/or Building Official and/or Planning Director any application or request for a Certificate of Appropriateness and who refuses to furnish, upon demand by the Board and/or Building Official and/or Planning Director, any information relating to such applications or request, or who willfully makes any false statement in such application or request, or who, upon such demand, willfully furnishes false information to the Board and/or Building Official and/or Planning Director, shall be punished as provided by Section 33-167 of the Code of Ordinances of the City of St. Augustine, Florida.

**SECTION 13** All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

**SECTION 14** If any provisions of this Ordinance, or the application thereof to any person or circumstances, is held invalid, such invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without this invalid provision or application, and to this and the provisions of this Ordinance are declared to be severable.

# Appendix D

## Application

CITY OF ST. AUGUSTINE, FLORIDA

A6B - APPLICATION FOR CERTIFICATE/OPINION OF SITE PLAN/ARCHITECTURAL  
APPROPRIATENESS TO HARB

BDAC Application No. \_\_\_\_\_  
Application Fee \_\_\_\_\_  
Receipt No. \_\_\_\_\_  
Date of Payment \_\_\_\_\_

1. NAME OF APPLICANT \_\_\_\_\_ Telephone \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

2. NAME OF OWNER \_\_\_\_\_ Telephone \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

3. LEGAL DESCRIPTION  
Section, Township, Range, and Parcel (STRAP) \_\_\_\_\_  
Lot No. \_\_\_\_\_ Block \_\_\_\_\_  
Subdivision \_\_\_\_\_  
Other \_\_\_\_\_

4. LOCATION  
Street Address \_\_\_\_\_

5. TYPE OF ACTION REQUESTED  
// Certificate of Site Plan/Architectural Appropriateness  
// Opinion of Site Plan/Architectural Appropriateness

6. CURRENT LAND USE CLASSIFICATION \_\_\_\_\_

7. CURRENT ZONING CLASSIFICATION \_\_\_\_\_

8. SPECIFIC PROPOSED USE \_\_\_\_\_

9. OPINION OF APPROPRIATENESS  
Describe in detail the proposed work for which an opinion is requested (attach drawings, photographs and other materials necessary to explain project) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### 10. CERTIFICATE OF APPROPRIATENESS

Describe in detail the proposed work for which a certificate is requested (attach drawings, photographs and other materials necessary to explain project) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### 11. SITE PLAN REVIEW CHECKLIST

The site plan submitted shall contain all relevant information necessary for review to include but not be limited to the following checklist items

- // A north arrow, scale and complete dimensioning, and location of
- // Lot lines
- // Existing and proposed structures and all other proposed improvements
- // Off-street parking, curbing (indicated by double lines), wheelstops, and accessory drives including ingress and egress points
- // Street paving curbs, sidewalks, driveways, intersections, medians, existing and proposed acceleration, deceleration and left turn lanes
- // Setbacks
- // Internal walks and pedestrian ways
- // Signs and exterior lighting
- // Easements
- // Buffering and fencing or decorative masonry walls (typical exterior elevation shall be included)
- // Solid waste disposal containers and mechanical equipment external to structures
- // Unusual physical characteristics of the site, if any

### 12. ARCHITECTURAL REVIEW CHECKLIST

Architectural plans shall be submitted for construction, reconstruction, alteration, and restoration in designated historic preservation areas. Relevant information necessary for review shall include but not be limited to the following checklist items

- // Description of the historic significance of the structure and/or property
- // Date of construction
- // Architectural style of structure
- // Clear and detailed description of all exterior architectural alterations
- // Architectural data, including
- // Exterior surfaces and type of texture, including roof
- // Color of all exterior surfaces (attach paint chip)
- // Complete information on materials used for doors, windows, hardware, glass, hinges, etc.
- // Complete information on exterior items such as light fixtures, hand rails, shutters, etc.
- // Elevation drawings
- // Photographs of existing structure
- // Cost of structural construction
- // Drawings which indicate landscape buffering, fencing, walls, walks, patios, driveways and ornamentation
- // Cost of landscape construction

### 13. LIST OF ATTACHMENTS (Plans, drawings, specifications, photographs, etc.)

- 1.
- 2.
- 3.
- 4.
- 5.

## 14. AGREEMENT

In filing this application, the undersigned understands that it becomes a part of the official records of the City of St. Augustine and does hereby certify that all information contained herein is true to the best of his/her knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted as substitute in absence of the owner's signature or where authorized agent signs in lieu of either owner or applicant.

The applicant understands that if this application is approved, the described work must start within six (6) months.

15. SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

16. SIGNATURE OF OWNER/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

17. APPLICANT'S INTEREST IN PROJECT \_\_\_\_\_

## 18. LAND USE CLASSIFICATION

// Residential	// Communications/Utilities
// Commercial	// Recreation
// Industrial	// Conservation
// Institutional	// Historic Preservation

## 19. ZONING CLASSIFICATION

// Historic District	// Open Rural
// Residential	// Government
// Commercial	// PUD
// Industrial	// Established Neighborhood

## 20. SITE PLAN REVIEW

// Historic District	City (Other)
// Non-Conforming	
// Lot Requirements	lot width _____ lot area _____
// Lot Coverage	// Setbacks
// Density	// Parking
// Landscaping	
// Other	

## 21. ARCHITECTURAL REVIEW

// Cost of construction	landscaping
// Exterior surfaces	
// Exterior hardware	
// Exterior fixtures (doors, windows, etc.)	
// Color	
// Style	
// Landscape features	
// Utility service/support equipment	
// Other	

## 22. DETERMINATION

// Approved

// Denied

23. COMMENTS \_\_\_\_\_

24. PLANNING DIRECTOR OR AUTHORIZED SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

## CITY OF ST. AUGUSTINE

A12 - APPLICATION FOR BUILDING PERMIT DETERMINATION  
TO HARB

BDAC Application No. \_\_\_\_\_  
Application Fee \_\_\_\_\_  
Receipt No. \_\_\_\_\_  
Date of Payment \_\_\_\_\_

1. NAME OF APPLICANT \_\_\_\_\_ Telephone \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

2. NAME OF OWNER \_\_\_\_\_ Telephone \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Telephone \_\_\_\_\_

## 3. LEGAL DESCRIPTION

Section, Township, Range, and Parcel (STRAP) \_\_\_\_\_

Lot No. \_\_\_\_\_ Block \_\_\_\_\_

Subdivision \_\_\_\_\_

Other \_\_\_\_\_

## 4. LOCATION

Street Address \_\_\_\_\_

## 5. ZONING CLASSIFICATION

// Historic District \_\_\_\_\_

// Other \_\_\_\_\_

## 6. PROPOSED BUILDING DEMOLITION/REMOVAL

St. Augustine Historic Sites and Building  
Survey Number \_\_\_\_\_

Description of Building (attach photographs, etc. if applicable) \_\_\_\_\_

Utility Disconnect Permits Obtained from

// Florida Power & Light	// Southern Bell
// CATV	// Gas Company

## 7. DESCRIPTION

Provide a general description of the details of this proposed  
Building demolition/removal \_\_\_\_\_

## 8. JUSTIFICATION

Provide justification and supporting data/information which should be considered by HARB

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

## 9. AGREEMENT

In filing this application, the undersigned understands that it becomes a part of the official records of the City of St. Augustine and does hereby certify that all information contained herein is true to the best of his/her knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted as substitute in absence of owner's signature or where authorized agent signs in lieu of either owner or applicant.

10. SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

11. SIGNATURE OF OWNER/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

12. APPLICANT'S INTEREST IN PROJECT \_\_\_\_\_

## 13. BUILDING DEMOLITION/REMOVAL PERMIT CHECKLIST

OK	N/A	
//	//	St. Augustine Historic Sites and Buildings Survey Form
//	//	HARB Review
//	//	Utility Disconnect Permits

14. COMMENTS \_\_\_\_\_

15. BUILDING OFFICIAL OR AUTHORIZED SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

## CITY OF ST. AUGUSTINE, FLORIDA

A14 - APPLICATION FOR BUILDING PERMIT DETERMINATION  
TO HARB

BDAC Application No. \_\_\_\_\_

Application Fee \_\_\_\_\_

Receipt No. \_\_\_\_\_

Date of Payment \_\_\_\_\_

1. NAME OF APPLICANT \_\_\_\_\_ Telephone \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

2. NAME OF OWNER \_\_\_\_\_ Telephone \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

## 3. LEGAL DESCRIPTION

Section, Township, Range, and Parcel (STRAP) \_\_\_\_\_

Lot No. \_\_\_\_\_ Block \_\_\_\_\_

Subdivision \_\_\_\_\_

Other \_\_\_\_\_

## 4. LOCATION

Street Address \_\_\_\_\_

## 5. ZONING CLASSIFICATION

// Historic District \_\_\_\_\_

// Other \_\_\_\_\_

## 6. PROPOSED BUILDING RELOCATION

St. Augustine Historic Sites and Building  
Survey Number \_\_\_\_\_

Previous Location Street Address \_\_\_\_\_

Size of Building \_\_\_\_\_ square feet

Description of Building (attach photographs, etc. if applicable) \_\_\_\_\_

## 7. DESCRIPTION

Provide a general description of the details of this proposed  
Building relocation \_\_\_\_\_



## 8. JUSTIFICATION

Provide justification and supporting data/information which should be considered by HARB \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

## 9. AGREEMENT

In filing this application, the undersigned understands that it becomes a part of the official records of the City of St. Augustine and does hereby certify that all information contained herein is true to the best of his/her knowledge.

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10. SIGNATURE OF APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

11. SIGNATURE OF OWNER/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

12. APPLICANT'S INTEREST IN PROJECT \_\_\_\_\_

## 13. BUILDING RELOCATION PERMIT CHECKLIST

<u>OK</u>	<u>N/A</u>	
//	//	Land Use and Zoning
//	//	St. Augustine Historic Sites and Building Survey Form
//	//	Site Plan and Architectural Review
//	//	Flood Zone/Control Information      Zone Identification _____
//	//	Fire Zone      Zone Identification _____
//	//	Off-Street Parking and Loading
//	//	Set Backs and Lot Coverage
//	//	Energy Sheet Completed and Signed
//	//	Physically Handicapped Requirements
//	//	Exit Requirements
//	//	Landscaping Requirements
//	//	House/Street Number Assigned
//	//	Expanding a Non-Conforming Use
//	//	Plans and Specifications Reviewed
//	//	Architect/Engineer Seal on Plans and Specifications
//	//	Contractor Licensed, Bonded and Insured
//	//	Contractor Certified by State (Attach Copy of Ticket)
//	//	Contractor Letter for Agent on File
//	//	Utility Permit(s)

Comments \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

14. COMMENTS \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

15. BUILDING OFFICIAL OR AUTHORIZED SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

ST. AUGUSTINE CITY COMMISSION

Ramelle D. Petroglou, Mayor  
Kenneth H. Beeson  
Sandra P. Black  
Henry L. Twine  
Henry M. Whetstone, Jr.

Calvin E. Glidewell, City Manager

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Henry Whetstone, Sr., Chairman  
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Cover designed by Don Martin

August 1984

