

# Anastasia Boulevard Design Standards for Entry Corridors

Adopted September 25, 2017







City of St. Augustine  
Anastasia Boulevard Design Standards

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## Section 1

### PURPOSE & INTENT

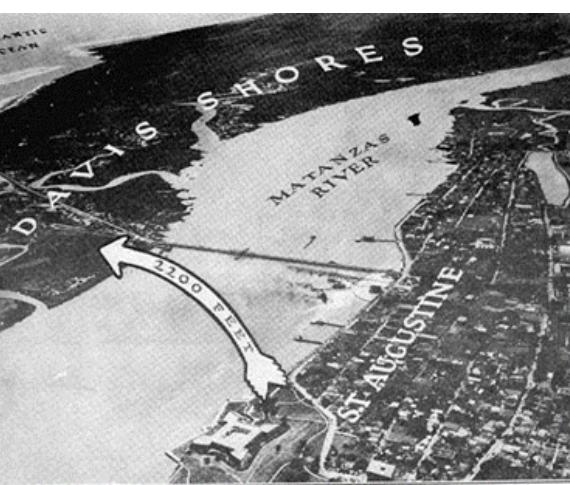


Figure 1. Davis Shores Early Construction

## SECTION 1. PURPOSE & INTENT

*The purpose of the standards contained in this document is to:*

- a. *Promote the unique characteristics of the Anastasia Boulevard overlay area, which features many of the characteristic of mid-century American architecture;*
- b. *To facilitate the development of vacant land and the reimagination and repurposing of underutilized properties in this area into a high-quality, multi-modal, mixed-use environment.*
- c. *To provide standards and criteria by which proposed development in the area will be reviewed.*

### 1.1 Historic Background

Davis Shores, located just north of Anastasia Boulevard, was originally designed as an extravagant planned community. Davis Shores, originally platted in 1925, during the real estate boom in Florida, was to include luxury hotels, a yacht club and marina, and two 18-hole golf courses. Due to a major economic bust, the majority of development was put on hold until the 1950s. The original gridded layout of the subdivision, which follows the undulating forms of the island's coastline, is still evident today.

Pedestrian and vehicular connectivity is achieved by limiting the size of blocks. The Anastasia Boulevard overlay area generally displays a gridded network, which shall be maintained and improved. If existing streets or alleys are vacated to allow the aggregation of smaller blocks into mega-blocks, alternative vehicular and pedestrian connections shall be provided .

### 1.2 Neighborhood Context

Anastasia Boulevard (SRA1A) is the main commercial spine between the Bridge of Lions and St. Augustine Beach. Originally platted in the mid-1920s as part of the Davis Shores neighborhood, the Boulevard primarily developed in the 1940s through the 1960s with a low, horizontal, vehicle-centric development pattern. The character of the development along the boulevard is unique and contributes to the character of Anastasia Island, Davis Shores, Lighthouse Park, and the overall City of St. Augustine.



The architecture and character of development along Anastasia Boulevard reflect a post-WWII era when families had access to the automobile and started traveling the country, in many cases looking for a beach destination. Motels lined up the highways offering direct access to the rooms from the parking lots. During this time, building architecture and materials became simpler, construction became more industrialized (with less detail), and signs became bigger and flashier to be seen by passing automobile traffic.

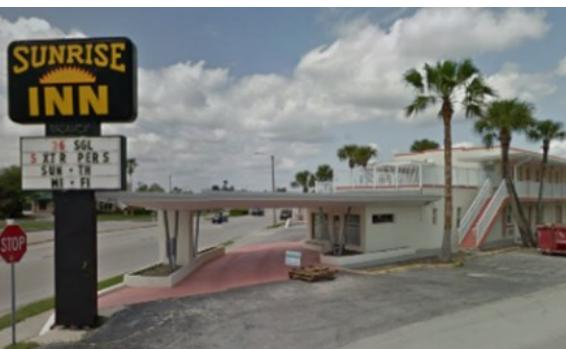
## 1.3 Two Districts: North and South

**There are two (2) main districts/zones**, north and south, which define the Anastasia Boulevard corridor, with Comares Avenue separating these. The defining characteristic differentiating these is primarily landscape: palms in the north zone, oaks in the south zone. See Section 5 for more particulars.

See map in *Section 1* for these districts.



City of St. Augustine  
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Scenes from Anastasia Boulevard

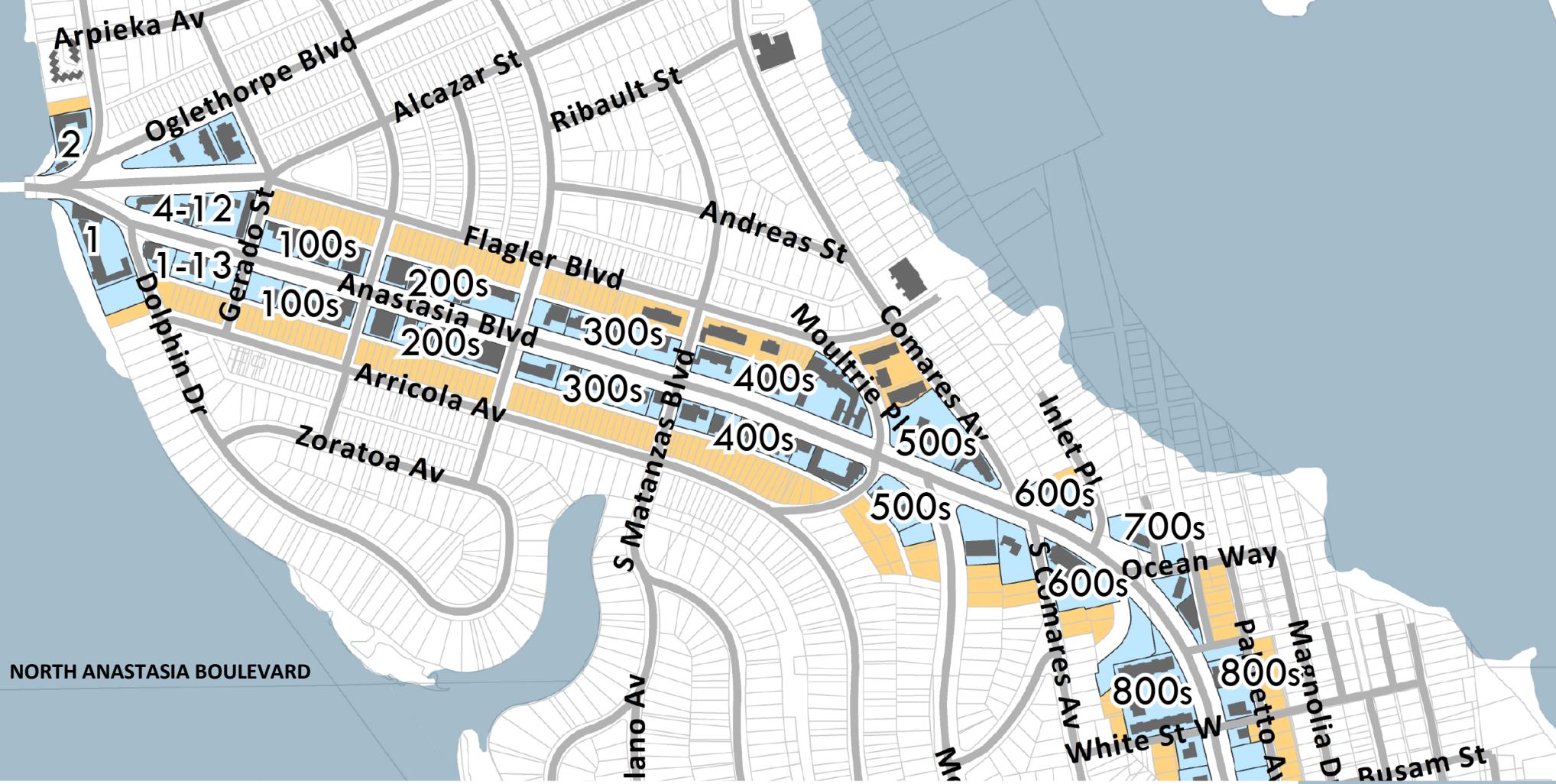
## 1.4 Building Design

Traditional commercial buildings define the corridor, many with a mid-century or more modern style. Attributes of these structures may include:

- The commercial properties lining up the boulevard function as a buffer between the roadway and the residential neighborhoods.
- The corridor has a strong presence of “neighborhood commercial” uses serving the area residents, in addition to the tourist/roadside uses serving visitors.
- Over half of the buildings (55%) along the boulevard were constructed in the 1940s and 1950s.
- The predominant architectural styles along the corridor include Mid-Century Modern and Masonry Vernacular.
- What is not desired may be just as, if not more, important. Specifically, faux ‘historic downtown’ re-creations are not appropriate.
- The tree canopy transitions from palms and sparse tree coverage north / west of Comares Avenue. As the roadway turns south, much more of the coastal oak hammock defines the corridor.
- Parking spaces directly accessed from the street are common along the boulevard. Off street parking with access from internal driveways, is more desired as it is safer and helps better define pedestrian and vehicle zones.



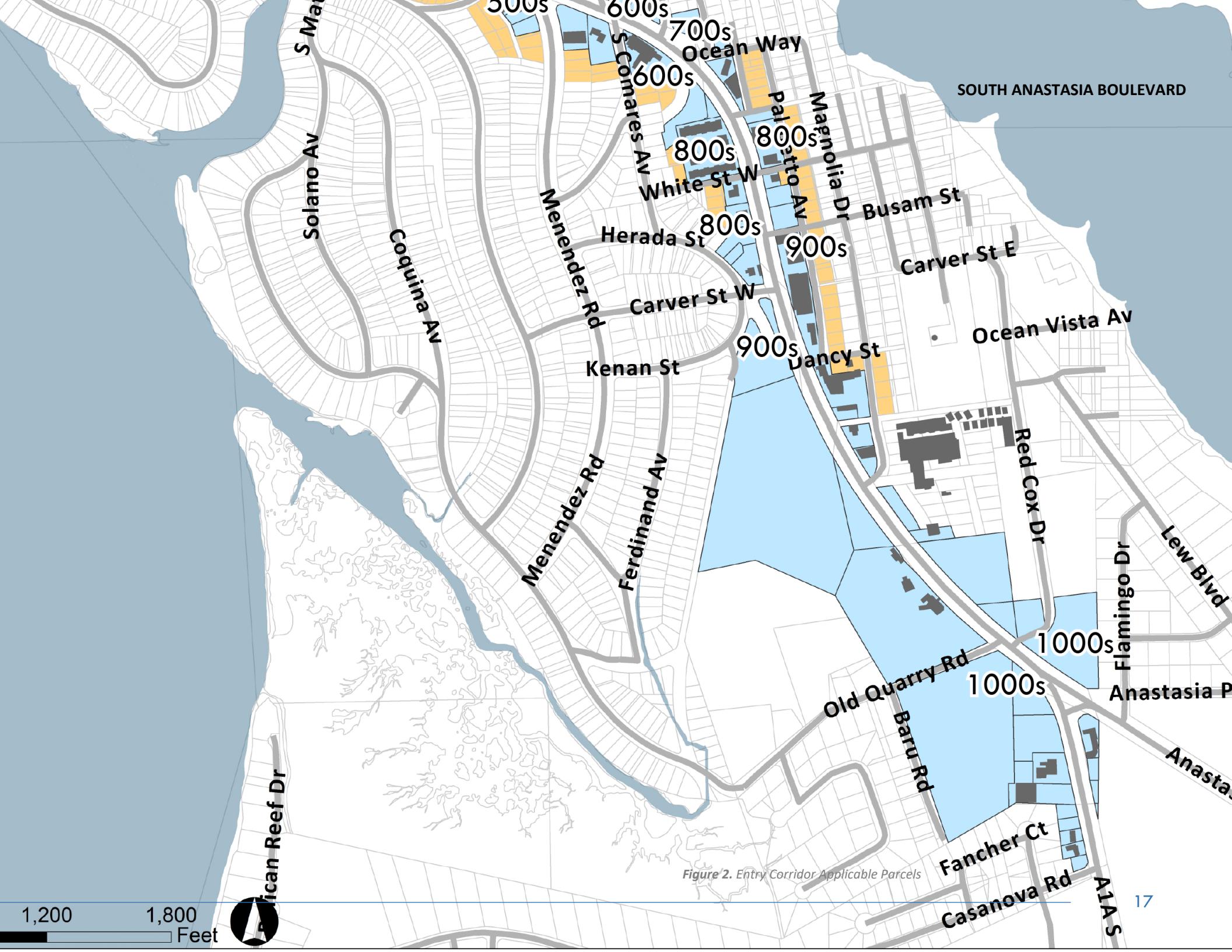
Scenes from Anastasia Boulevard



## 1.5 EXTENTS OF ANASTASIA BOULVED ENTRY CORRIDOR SITES

Reference Map









## Section 2

### WHEN THE STANDARDS APPLY



## SECTION 2. WHEN THE ANASTASIA BOULEVARD ENTRY CORRIDOR DESIGN STANDARDS APPLY

The Anastasia Boulevard Design Standards shall **apply to new development and redevelopment** on sites abutting Anastasia Boulevard between the Bridge of Lions and Casanova Road (see Figure 2). The following subsections specify the level of compliance required based on the development activity proposed.

The standards are in addition to the requirements of the City's comprehensive plan, zoning, and land development regulations found in the City's code of ordinances. When there is a conflict the Standards will apply when legally applicable. **These standards apply to parcels fronting the Anastasia corridor.** Some parcels are quite deep and/or extend beyond adjacent sites; when noted on Section 1.5, only the first 150' measured from the front property line is regulated by these standards. **The public right of way (ROW) is not included in these standards.**

The standards herein are based on the *existing conditions* of the public right-of-way on the date of adoption. In the event that the public right-of-way changes, standards shall still be applicable unless technically infeasible, as presented by the Applicant and determined by the CRC. **While specific building massing and position on the site may shift due to these standards, the general building mass allowed is per the City's comprehensive plan, land development code, and ordinances.** The intention of this document and all regulations set forth herein is for **no net loss of buildable square footage** on any site along the Anastasia Boulevard Entry Corridor.

More specifically, these standards apply in the following conditions:

1. **New Construction.** All new development along the Anastasia Boulevard corridor, including new buildings or structures on vacant or already developed sites, shall comply with all the regulations contained in this document.
2. **Substantial Expansion or Redevelopment of Existing Buildings.**
  - a. **Full compliance.** An entire development shall be brought into *full* compliance with this section if the redevelopment constitutes a substantial improvement as required by city code.
  - b. **Exceptions.** The following shall be the only exceptions to full code compliance for substantial expansion or redevelopment:
    - i. **Building setback.** Existing buildings will not be required to be moved or expanded to meet the setback requirements. However, building additions shall meet the required setback. All *new* buildings within the redevelopment site shall be required to meet the building setback provisions where legally applicable. *Note:* For Legal Non-conforming Uses: A building which has been damaged may be repaired or reconstructed and used as before the time of damage, provided that such repair or reconstruction is substantially completed within twelve (12) months of the date of such damage (see Sec. 28-118).



- ii. **Building frontage.** Existing buildings shall not be required to meet the minimum building frontage requirement. However, new buildings and additions shall be required to comply with the frontage requirements **as per Section 4**.
- iii. **Driveways and Parking.** See *Section 4.5.4* for allowed exceptions to existing driveways and parking facilities.
- c. **Other LDC Provisions.** Compliance with parking, landscaping, screening and all other regulations stated in the city's land development regulations and not addressed in this document shall be addressed as required by the City's land development regulations.

3. **Non-Substantial Additions or Redevelopment of Existing Buildings:** For proposed building additions or redevelopment not meeting the criteria of Subsection 2.A, above, only the new additions or exterior building modifications shall comply with the regulations contained in this document. The remainder of the building and the site shall not be required to meet the standards.

4. **Cumulative Improvements:** Site and building improvements not subject to the building code (design/aesthetic improvements) that exceed 50% of the building value over a five year period will be deemed a substantial improvement for the purposes of the Design Standards and subject to review for compliance.

5. **Change in Use.** Changes in use (to any other permitted use in the zoning district) without any physical improvements to the site are not subject to the Anastasia Boulevard Design Standards.

6. **Non-Conforming Uses:** Any changes to non-conforming uses, including signage, shall be conducted per the requirements of the City's land development regulations (Chapter 28, Division 4, Nonconforming Lots, Uses and Structures).

7. **Ancillary / Accessory Uses and Structures:** Accessory uses and structures, included but not limited to parking on adjacent or nearby sites, shall be subject to the Anastasia Boulevard Design Standards.

8. **Interior Changes:** Interior changes shall not be subject to the requirements of this document.

9. **Corporate Architecture:** All national and international corporate commercial buildings shall abide by the Anastasia Boulevard Design Standards, as applicable by law. See *Section 3.7.2*.

10. If a provision of these Standards is or becomes illegal, invalid or unenforceable, that shall not affect the validity or enforceability of any other provision of these Standards.

Note that Planned Unit Development zoning on parcels within the corridor may require adherence, variation from, or full exclusion from these standards. Refer to individual PUD documents for details.



Ruins of old Light-House, (Poguina) on South-Beach, St. Anastasia Island  
Formerly a Spanish Signal Station: And U.S. lighthouse till 1873  
<sup>22</sup> #4033



## Section 3

### APPLICATION REVIEW PROCESS



## SECTION 3. ANASTASIA BOULEVARD DESIGN STANDARD APPLICATION REVIEW PROCESS

The zoning and building codes regulate land uses, construction and signs. Developers must obtain a permit from the planning and building department prior to commencing work or installing signs. Projects involving land disturbance may require investigation by the city archaeologist prior to work.

### 3.1 Application Process

Application forms and instructions may be obtained on the City's website. Applications must be signed by the property owner OR design professional. An application fee is required. Supporting documentation, such as plans, elevations, sketches, photographs, samples of materials and specifications shall be submitted with the application.

### 3.2 Plan Review

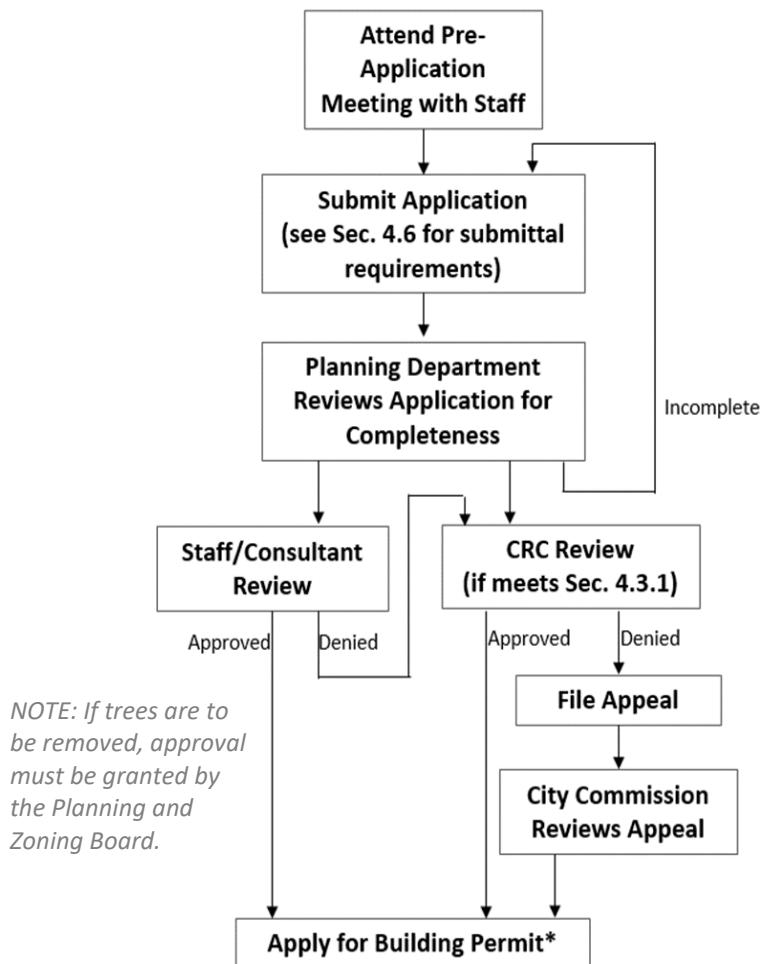
The Planning and Building Director or designee shall be responsible for reviewing development plans to determine compliance with the Anastasia Boulevard Design Standards.

### 3.3 Corridor Review Committee

#### 3.3.1 Activities Requiring Review.

*Any of the following items are a triggering event and requires further review by the CRC.*

- a. Modification of standards between 10 and 30% of a dimensional requirement of this document and non-dimensional modifications (color, landscape, etc.). Changes over 30% cannot be approved by the CRC, but may be processed through the variance process (Sec. 28-29).
- b. Limits of Construction that exceed one (1) acre in size;



\* Not including other reviews such as zoning exception or variance.

Figure 3. Review Flow Chart



- c. Limits of Construction that exceed 5,000 square feet in gross floor area;
- d. An architectural style note representative of *Art Moderne (1940s), Mid-Century Modern (1950-1970s), or Contemporary*;
- e. Murals;
- f. Architecturally integrated signs;
- g. New construction that includes structured parking;
- h. Use of neon or color lighting (non-white lighting, outside of 2700K-3000K range, requires review);
- i. Colors not pre-approved;
- j. Appeals of Planning and Building Department of administrative official.

### 3.3.2 Review Criteria.

The CRC shall use the following criteria (in addition to the standards contained herein) when reviewing an application:

- a. The proposed project meets the intent of the Anastasia Boulevard Design Standards as defined in *Section 1*;
- b. Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.
- c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

### 3.4 Effect of Approval.

If the application is approved by the planning and building department staff (or designated entity), the applicant may proceed to apply for a building permit. If the proposed use requires a zoning exception or variance, the applicant shall submit to the Planning and Zoning Board. One courtesy concept review may be submitted for review prior to application submittal but final approval is only granted with approval of an application and issuance of a building permit.

### 3.5 Appeals

Staff determinations may be appealed to the CRC. CRC determinations may be appealed to the City Commission.

Applicant appeals must be filed by an aggrieved person within 30 days of the action being appealed whether it is an administrative decisions or CRC decision. Appeal should state item number, address, action and justification for reversal or modification. Note: the appellant must have legal standing.



## 3.6 Submittal Requirements.

### See Application Checklist in Appendix.

For signage and painting, submittals shall be provided by a professional and/or the property or business owner.

For building modifications requiring building permits, all plans shall be prepared by appropriate registered professionals including but not limited to architects, landscape architects and engineers.

Plans submitted must be neat, legible, drawn to scale and dimensioned. Failure to submit complete plans will result in the plans being returned as incomplete. An electronic submission is required. The plans shall contain documentation for the scope of work and may contain the following:

All Submittals shall include:

- A list of any requested modifications of standards.
- A clear and detailed description of all proposed construction.
- Photographs of the existing structure (pre-construction) and all adjacent structures.

Basic Submittals (submit items from “All Submittals” and applicable items from below):

A *Basic Submittal* is required for *landscape, signage, and exterior modifications not deemed Substantial Improvements (see definition of Substantial Improvements below)*.

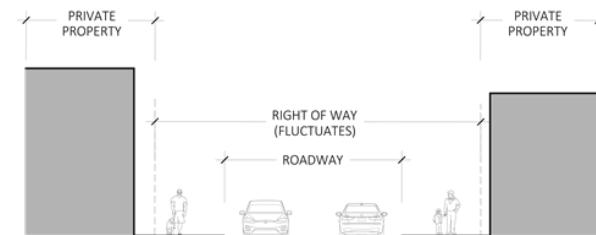
- Paint colors and locations (including paint chips or samples).
- Light fixtures and photometric plan for site lighting over 8' in mounting height
- Fences and Street walls (height, materials and colors)
- *Separate application form for a signage– only or landscape-only submittal may be found on the City’s website.*

Advanced Submittals (submit items from “All Submittals”, applicable items from “Basic Submittals,” and applicable items from below:

An Advanced Submittal is required for *Substantial Improvements* meaning site and building improvements not subject to the building code (design/aesthetic improvements) that exceed 50% of the building value over a five year period OR for *New Construction*.



- A complete site plan of the property to be developed, showing the location of all structures and buildings, required yards, required parking, surface drive areas, loading spaces, stacking spaces, landscaping areas (both perimeter and interior), the location of all trees three (3) inches or larger dbh, by species and dbh (both to be removed and to be retained), dumpsters, exterior mechanical equipment, storm drainage retention areas, etc. (scale preferred: 1 inch = 20 feet).
- Landscape planting plan at a minimum scale of 1 inch=20 feet including hardscape, plant materials, sizes and location.
- Elevations of all proposed construction (scale preferred: 1/8 inches = 1 foot).
- Wall sections (scale preferred: 3/4 inches = 1 foot).
- Northerly and easterly sections through the site focusing on the proposed building(s), existing building(s), and sidewalks. All abutting roadways should be shown. Preferred scale: 1/8 inches = 1 foot.
- Images presenting the structure's mass and form in relation to its surrounding structures must be included for all new construction. A minimum of two drawings, must include parcel surroundings plus cross street adjacencies. (Tools such as SketchUp, which is free and readily available, is recommended). Any documents needing to be *signed & sealed* shall be produced by a licensed professional.
- Details indicating the following (scale preferred: 1-1/2 inches = 1 foot) windows, shutters and shutter hardware
- Exterior surfaces, materials and textures
- Chimneys
- Exterior porches, landings, stairs, ramps, railings and banisters
- Walks and drive surface materials
- Patios and decks
- Other miscellaneous ornamentation (for Corridor Representative Example)
- Renderings, optional (mandatory for new construction)
- Advanced submittals shall be submitted electronically on 24"x36" (or 22"x34") sheets



Example of section through the site



## 3.7 Modification of Standards

Due to the individual unique characteristics or circumstances of any given development along Anastasia Boulevard, flexibility in the application of design standards may be warranted in certain situations. Modifications from the standards may be requested by an applicant as part of the development review process. If an applicant requests multiple modifications, each modification shall be evaluated independently.

### 3.7.1 Application.

All requests for modifications shall be noted on the site plan. The request shall be approved or denied during development plan review and, if granted, shall be noted on the final development plan.

### 3.7.2 Administrative Modifications.

The Planning and Building Department Director or designee shall have the authority to grant limited modifications, as set forth below, where it is determined that the proposed development meets the intent of the zoning district, the requested modification is the minimum necessary to allow reasonable development of the site and the requested modification is not injurious to the public health, safety and welfare. Administrative modifications are limited to ten (10) percent of the dimensional requirements established in this document. An applicant that meets the statutory criteria of Section 553.79(20)(a), Florida Statutes, must clearly identify in the application materials the specific elements of the proposed project that apply to the statute. Once identified, these statutory design elements will be approved administratively.

### 3.7.3 CRC Modifications.

The CRC shall review the following modification of standards:

- a. Modifications of more than ten (10) percent but no more than thirty (30) percent of a dimensional requirement,
- b. Modifications of ten (10) percent or less previously denied or referred to the Corridor Review Committee by staff, and
- c. Modifications to the non-dimensional requirements contained in this document.

### 3.7.4 Prohibited Modifications.

No modification shall be granted under this section for the following:

- a. Use of property as defined in Land Development Regulations.
- b. Maximum levels of density or intensity allowed in comprehensive plan.
- c. Encroachments into the public right-of-way.
- d. A reduction of a setback to less than 5 feet adjacent to a single family residential district.



### 3.7.5 Review Criteria.

A modification of standards may be granted by the approving authority if it finds that strict application of the standards is not warranted and that granting a modification will fulfill the intent of the standards. The approving authority shall apply all the following criteria, when applicable, to determine if the applicant has justified a request for a modification:

- a. The request is within the parameters listed above.
- b. The request is consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and this document.
- c. The proposed modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.
- d. Compliance with the requirement is technically infeasible based on site conditions.

### 3.7.6 Additional Requirements.

- a. The burden of presenting evidence sufficient to satisfy the applicable criteria remains with the applicant seeking the modification.
- b. The applicant may propose conditions to ensure that the use of the property to which the modification applies will be reasonably compatible with the surrounding properties, including visual screening.
- c. A granted modification and any conditions attached to it shall be entered on the face of or attached to the development order or permit and development plan.
- d. A proposed change to an approved modification shall be added to the approved modification and considered in the aggregate. The total modification (approved modification plus proposed change) shall determine the approving authority per *subsections 3.7.2 and 3.7.3*, above.

Site washed away -  
Light discontinued: 1874





## Section 4

### SITE & BUILDING DESIGN



City of St. Augustine  
Anastasia Boulevard Design Standards

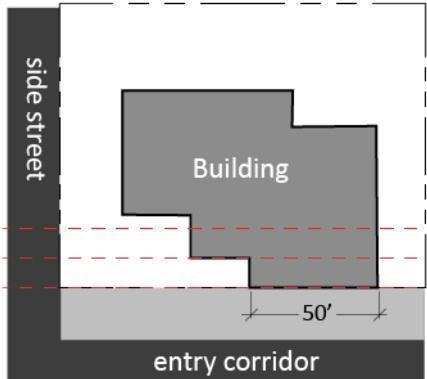


Figure 4. Zero Lot Line

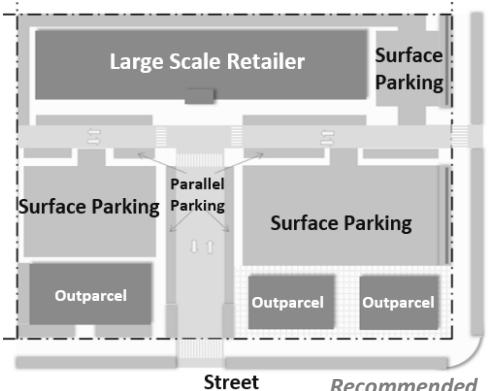
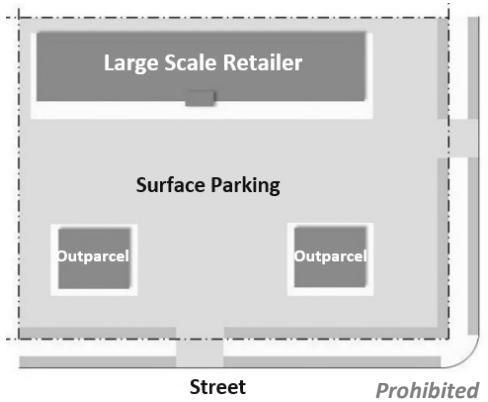


Figure 5. Multiple Buildings on a Site

## SECTION 4. SITE & BUILDING DESIGN

The Anastasia Boulevard area is known for its unique, eclectic 1950s highway commercial architecture associated with its mid-century period of development in a city known worldwide for its Spanish Colonial architecture. The uniqueness of the area is what these design standards intend to protect and promote.

### 4.1 Building Placement

The placement of a building on a site is critical to creating a vital and coherent public realm that is both welcoming and functional. Elements and uses of the “public realm” may include expanded sidewalks, outdoor café areas, bicycle parking, art/sculpture, and outdoor retail spaces, among others. The rhythm/pattern of buildings, combined with their relationship to the street expressed through setbacks and architecture, define the character of the public space. The intent of the following building setback standards is to shape the public realm, and strengthen the physical and functional character of the area. All new buildings within the redevelopment site shall be required to meet the building setback provisions where legally applicable.

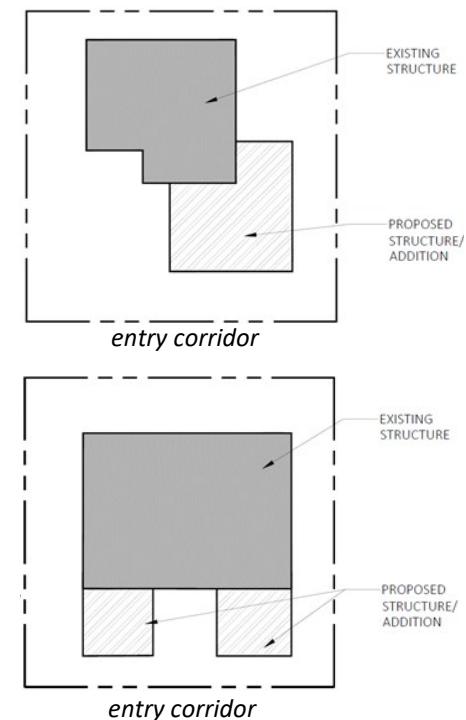
Table 1. Building Setbacks (NOTE: Setbacks are measured to the building overhangs/eaves)

#### City of St. Augustine Entry Corridor Setbacks

	Front Yard	Upper Floor Setback	Side Yard	Street Side Yard	Interior Side Yard	Rear Yard Set-back	Setback adjacent to Single Family
Anastasia	10' min, 20' max	20' min OVER 25'		10' min, 20' max	5' min	5' min	15' min



1. For those corner lots abutting a R.O.W. intersection, the visibility triangle must be kept free of visual obstacles. Visibility triangle regulations shall always prevail. See *Section 5.10*.
2. The building setbacks, which shall be measured from the property line to the building wall excluding eaves and overhangs, are detailed in *Table 1*.
3. The minimum front and side street setbacks (as defined in *Table 1*) may be reduced to 0 feet for a maximum of 50% of the building façade facing the street. Note: Eaves and overhangs may not project over the property line. See *Figure 4*.
4. The maximum front and side street building setback shall only apply to the portion of the building meeting the building frontage requirement. This provision will allow for L-shape buildings, where a portion of the building is recessed more than 20 feet from the front property line
5. The front and side street- setbacks may be used to expand the public sidewalk, for outdoor dining, or for landscaping.
6. Balconies, bay windows, awnings, canopies, and roof overhangs may encroach into the front and side street setback zones, but not into the right-of-way.
7. New developments or additions abutting or across the street from a single-family residential zoning district shall provide a fifteen (15) foot setback along the portion of the site abutting or across the street from the single-family zoned property. Landscaped buffers shall be provided as required in *Section 5* of this document
8. Building facades facing a right-of-way shall be built parallel to the property line along that street.
9. The placement of buildings at the rear of a site is permitted if one or more buildings are built in front meeting the requirements of this section (see *Figure 5* for an acceptable design alternative). In such cases, the front buildings need to be built first, access drives shall be incorporated into the site layout to create connectivity to other sites and streets. The main access drive shall be centered on the anchor building (if allowed by driveway permits) and shall be lined with buildings or sidewalks and urban landscaping.
10. Existing buildings on a site subject to redevelopment will not be required to meet the setback standards listed above. However, if technically feasible and not detrimental to the architecture of the existing building, any additions to the building shall serve to bring the building closer into compliance. See *Figure 6*.

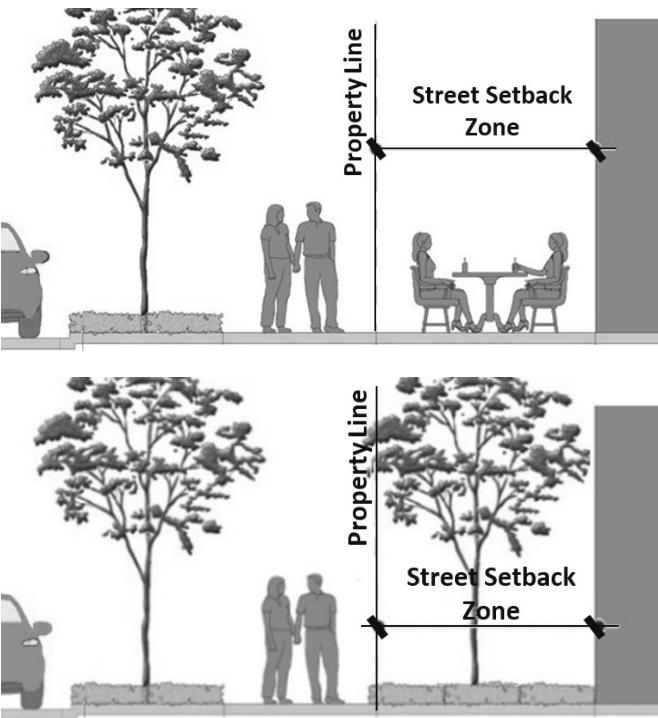


Examples of building additions bringing the building closer to the street.

*Figure 6. Building Additions*



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Street setback used for outdoor seating (top) and to buffer residential uses (bottom).

Figure 7. Examples of Street Setback Zone Activity

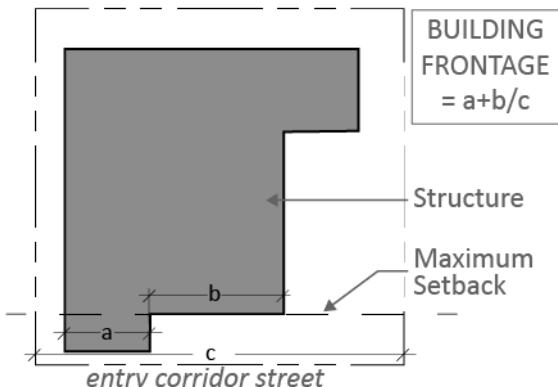


Figure 8. Building Frontage Calculation

### 4.1.1 Design of Street Setback Zone

The intent of the front and side street setback, measured from the property line along the street, is to provide a transition, both physical and visual, from the street to the building. The zone created by the setback (Street Setback Zone), should vary in design depending on the level of privacy desired along the building façade. Commercial buildings usually have a setback zone designed to attract customers into the building, while residential, office or lodging buildings often have a setback zone designed to provide privacy to the ground floor rooms, as shown on *Figure 7*. The Street Setback Zone is subject to the following standards:

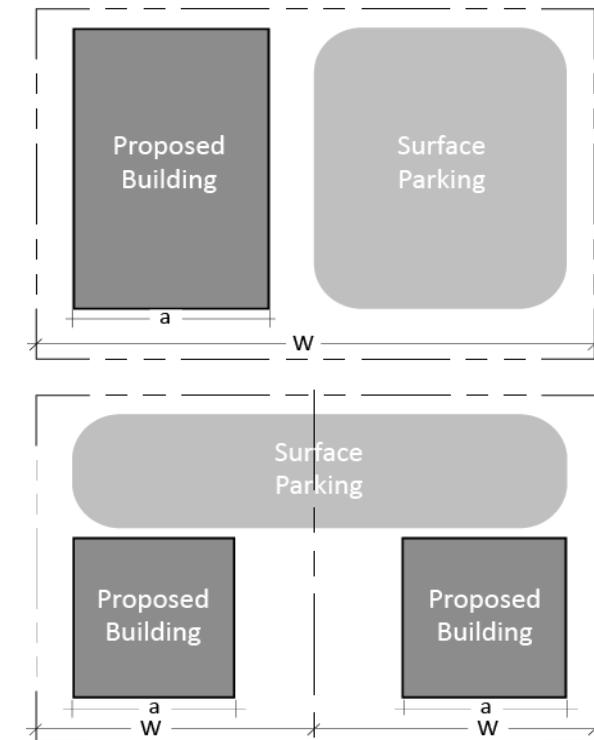
- a. Landscaping, if provided within the Street Setback Zone, shall be in the form of containers and/or planter boxes consistent with the building mass and architecture (see *Section 5, Landscaping*). Street setback zones in front of uses that do not require pedestrian interaction along the façade (e.g. offices, hotels, multifamily) may be landscaped with a combination of intermediate (understory) trees, palms, shrubs, vines and/or ground covers.
- b. Street furniture such as benches, trash receptacles, and/or bicycle racks may be installed within the street setback zone. Modern or contemporary styles are required, in keeping with the architectural style.
- c. Outdoor dining is permitted within street setback zones.
- d. The street setback zone may be used to expand the width of the public sidewalk in front of the development. Appropriate materials for such sidewalk expansion include decorative concrete pavers, tinted paving, clay brick, coquina concrete, or plain concrete.
- e. Elements within the street setback zone (landscaping and architectural features) shall comply with the vision triangle requirements (see *Section 5.10* of this document).
- f. The proposed building ground floor along the Street Setback Zone shall contain active uses oriented to the street or, in the case of buildings that are elevated due to FEMA requirements, shall provide a direct connection (steps and/or ramp) to an active use. Active uses may include display or floor areas for retail uses, waiting and seating areas for restaurants, atriums or lobbies for offices, and lobbies or dining areas for hotels or multi-family residential buildings.



## 4.2 Building Frontage

The purpose of the following building frontage requirements is to ensure façade continuity along Anastasia Boulevard and to avoid large voids between buildings. The building frontage standards are stated as a proportion of the building width within the required building setback relative to the width of the development site measured at the site frontage line. Portions of the building façade outside the required front/street building setback do not count as building frontage (see *Figure 8*). A *Protected Tree* along the site frontage can be included in the frontage calculation.

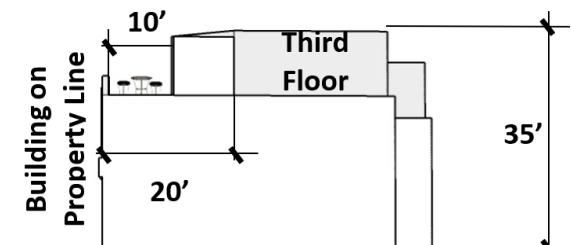
1. The building frontage ( $a+b+c$ ) shall be a minimum of 50% of the site frontage (C).
2. Sites with frontages on multiple streets shall be required to meet the minimum primary frontage along Anastasia Boulevard.
3. Exceptions to the Building Frontage requirements: In the event the proposed building width is too narrow to meet the minimum frontage requirement, the applicant shall have the option of dividing the lot into smaller, narrower lots to meet the dimension requirements, as shown on *Figure 9*. No replatting will be required, but the site plan shall show the new lots as available for future development.
4. The canopy width of a *Significant Tree* along the site frontage may be counted towards the building frontage requirement as “building frontage” if tree canopy is not significantly altered.



*Figure 9. Exceptions to the Building Frontage*

*Top diagram:* Building width (a) is too narrow to meet the minimum building frontage.

*Bottom diagram:* Subdivide the lot to decrease its width (W) to meet the minimum building frontage.



*Figure 10. Third Floor Setback*



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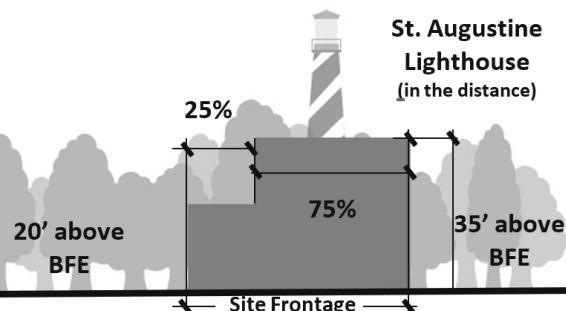


Figure 11: Viewshed Parcels

## 4.3 Building Height

The maximum building height shall be per zoning.

1. Within the first 20', measured from the front property line, the maximum height shall be 25 feet measured from design flood elevation. This portion may be utilized for a roof top deck, but any awnings or coverings shall be a minimum of 10' from the front façade. Note that a rooftop deck shall not be placed above 27 feet anywhere on the building, and an 8-foot minimum solid sound barrier shall be placed on the rear side of the deck. See *Section 5.8, Mechanical Equipment* for height restrictions on rooftop equipment.

### 4.3.1 Viewshed

In order to protect the view of the lighthouse from Anastasia Boulevard, the maximum building height for properties located on the north/east side of A1A between Ingram Street and the southern boundary of RB Hunt Elementary School shall not exceed 20' above base flood elevation for 25% of the site frontage. Applicant shall demonstrate clear view of the Lighthouse from the Anastasia Boulevard public right of way in submittals for review.

In order to protect the view of the Bayfront, the maximum building height for properties located on the north side of A1A, west of North St. Augustine Boulevard, shall not exceed 20' above design flood elevation for 25% of the site frontage. Applicant shall demonstrate clear view of downtown from the Anastasia Boulevard public right of way in submittals for review.

When a property fronts multiple streets, the applicable site frontage to comply with the viewshed requirement shall be the portion along Anastasia Boulevard, measured with a perpendicular line from the center of the right-of-way intersections.



## 4.4 Architecture

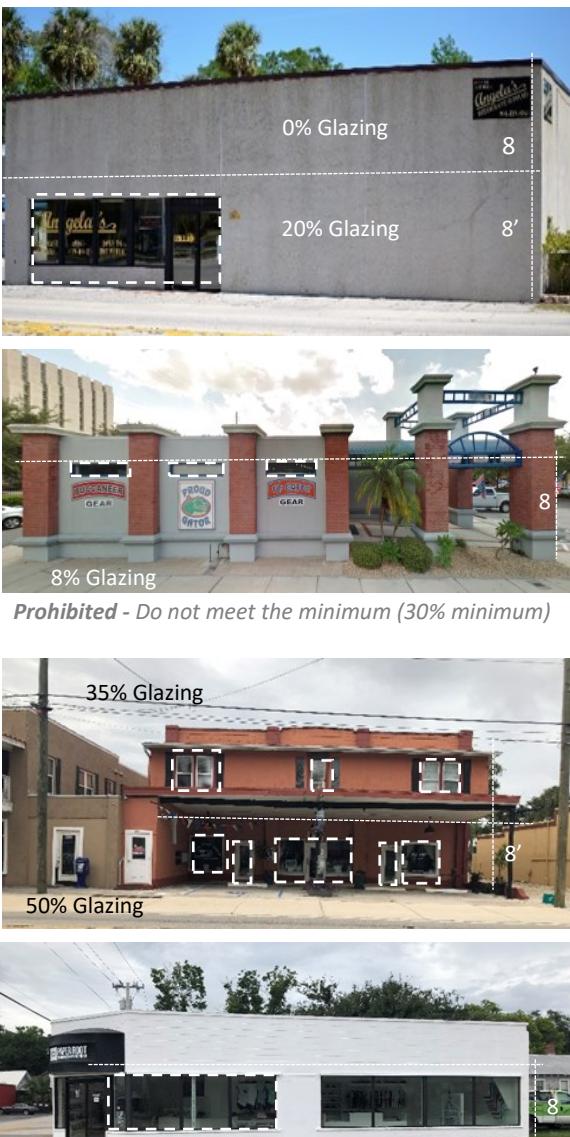
New construction and renovations should focus on the predominant styles currently found in the corridor or on the subject building for redevelopment. Specifically, architectural styles shall be representative of Art Moderne (1940's), Mid-Century Modern (1950's-1970's), or Contemporary (not to be confused with prefabricated/mass produced architecture). The following are some of the elements characteristic of the mid-century architecture and art moderne styles, which should be preserved or used as inspiration when designing new buildings or renovations (see Appendix A for information on mid-century development):

- Horizontal emphasis.
- Simple design with little ornament and expression, except as noted below.
- Geometrical shapes contrasting with the simple design.
- Asymmetrical façades;
- Flat roof with small ledge (coping) at roofline;
- Porte cochères; cantilever canopies and awnings;
- Covered walkways/breezeways;
- Smooth, rounded wall surfaces, often stucco;
- Horizontal grooves or lines in walls (sometimes fluted or pressed metal);
- Reinforced concrete, steel, glass, storefront.
- Decorative concrete block screens;
- Open indoor spaces with large plate windows;
- Casement, corner, picture or ribbon windows arranged horizontally;
- Expressive building structure (exposed steel frame, architectural block).
- Metal balustrades; angled supports and railings;
- Glass-block windows, often curved and built into the curved wall;
- Sometimes nautical elements such as porthole windows;
- Bright or subdued colors; typically with darker trim colors or bright metals to offset
- Signs that are integral to the architecture of the building.

For rehabilitations or demolitions, historic objects used for architectural detail shall be preserved wherever possible; the Applicant shall note the historic and architectural significant elements on the building elevations submitted, along with a statement noting if the element will be retained, removed, or repurposed.



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*Allowed – Meet the glazing rules (30% minimum first floor; 20% minimum second floor)*

Figure 12. Commercial Typology - Examples of Fenestration

#### 4.4.1 New Construction:

The following section contains additional building design standards that are applicable to all development regardless of the architectural style selected.

- a. All structures on a site shall be of the same architectural character.
- b. **Architectural details and materials shall remain consistent** on all elevations but **may be simplified on the interior side and rear facades**.
- c. **Upper floor windows shall have a vertical orientation** and may be single or double hung. Paned windows are encouraged but not required.
- d. **Frosted or patterned glass is not permitted** on windows facing the street. Stained glass is permitted.
- e. **Shutters**, if used, shall be one half the width of the window and shall be (or appear to be) operable.
- f. **Extensive building facades shall be subdivided** to appear as smaller volumes grouped together. Volume breaks may be achieved by building wall projections and recesses, and varying heights and roof lines. Therefore, building facades shall not exceed fifty (50) feet along a street frontage without providing a substantial volume break such as a recess, or an architecturally prominent public entrance (Figure 10). The recesses and projections shall have a minimum depth of two (2) feet.
- g. Façades shall **not exceed twenty (20) horizontal feet and ten (10) vertical feet without including at least one (1) of the following elements** (see Figure 12):
  - i. A window or door
  - ii. Awning, canopy or marquee.
  - iii. An offset, column, reveal, void, projecting rib, band, cornice, or similar element with a minimum depth of six (6) inches.
  - iv. Arcade, gallery or stoop.
  - v. Complementary changes in materials or texture.
- h. Architectural treatments on the façade, such as parapets, cornices or expression lines, shall be continued around the sides of the building.



#### 4.4.2 Renovations and Additions

Existing buildings proposed for renovation or expansion (addition) shall meet the following standards:

- a. Buildings that **already feature a particular style or present some of the characteristics of a style are recommended for restoration to preserve such features. Unless otherwise determined by the Corridor Review Committee (CRC)**, redevelopment of existing structures shall maintain the character features of the architecture. Otherwise, they should be redesigned to improve compatibility with the context of Anastasia Blvd.
- b. For renovations/rehabilitations of existing buildings, historic features used for architectural detail shall be preserved, restored, or reconstructed unless technically or economically infeasible and the removal is approved by the CRC. Removal (or partial removal) will only be permissible if deemed necessary by the CRC. For drawings submitted for renovations (with or without CRC review needed), the Applicant shall note the historic and architecturally significant elements on the building elevations submitted, along with a statement noting if the element will be retained, removed, or repurposed.
- c. Primary features such as window shapes and sizes, opening patterns and entry doors, roof shapes and material pattern, siding patterns and finishes, porch and stair elements, foundations, and storefronts may be repaired and altered to the extent that the overall character of these elements is maintained. Note that this expressly **does NOT preclude height increases to the building**.
- d. Additions shall be designed so that there is the **least possible loss or obstruction of character-defining features**. The dominant features and facades of the existing building shall continue to be the prominent visual feature of the streetscape such that the new addition will not block or dwarf the existing building.



Example of color band emphasizing horizontality



Example of the use of three colors

Figure 13. Examples of Color Highlighting Architectural Features



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Figure 14. Bulkheads



Figure 15. Example of Awning



Figure 16. Example of Canopies

#### 4.4.3 Building Color

- a. A minimum combination of **three (3) colors** shall be required per building: one for the main body, another for the trim and the third one for doors or other architectural features. **Natural materials** such as brick, aluminum, stone, and hardwoods **count towards the minimum of three (3) colors**. See Appendix C for color palette. A **maximum of four (4) colors** are permitted including the use of natural materials.
- b. **Bands of color** around the building are not allowed, unless they are consistent with the pre-approved colors and **highlight an architectural feature**. See Figure 13.
- c. An applicant that meets the statutory criteria of Section 553.79(20)(a), Florida Statutes, **must clearly identify** in the application materials the specific elements of the proposed project that apply to the statute. Once identified, these statutory design elements will be approved administratively.
- d. If an applicant wishes to use a non-pre-approved building color, the applicant **may submit** the color(s) for review and approval by the CRC. If noted as such, **approved colors shall apply to all future projects** and shall amend the approved colors noted in Appendix C.
- e. Building elevations (secondary/interior side façades) shall have the same color and materials as the façade facing the street.
- f. Corporate colors not consistent with the pre-approved colors are not allowed. Bands of color around the building are not allowed, unless they are consistent with the pre-approved colors and highlight an architectural feature.

#### 4.4.3.G Murals

Within the Anastasia Boulevard Design Standards, **murals** are not deemed to be signs, and may be allowed subject to the following requirements:

- i. All murals require Corridor Review Committee approval by modification.
- ii. Murals may only be permitted on one façade.
- iii. Murals may occupy 100% of the sides and rear facades. No murals shall be painted on the front façade.



- iv. Mural shall not obscure architectural features. This is of particular concern with historic structures.
- v. Murals shall be designed and painted by artists that have had previous experience with three (3) murals of a comparable scale.
- vi. Murals shall not contain words or commercial symbology. Words shall be considered signage, and applicable codes shall apply.
- vii. Murals shall be of good quality with paint and materials applied with fade resistant attributes for a minimum life of five (5) years without discoloration.

#### 4.4.4 Building Materials

Allowable exterior finishes shall be selected based on the architectural style (see *Appendix A*). Exposed pre-engineered metal buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, and other veneers are not allowed, unless a Modification of Standard is approved by the CRC. Unpainted wood siding is not allowed; however, natural siding (cedar, cypress, ipe, and natural hardwoods) may be left unpainted.

- a. Building materials shall be primarily painted concrete block or stucco. Accent detailing may include brick or stone bulkheads.
- b. Stretch awnings on curved aluminum frames are not allowed.

#### 4.4.5 Fenestration and Glazing

Fenestration is the arrangement of windows and doors on a façade while glazing is the proportion of glass to the solid surface of a façade. Fenestration shall be calculated as the total area of glass (windows and glass doors), or openings in the case of open porches, divided by the façade area measured from design flood elevation to eight (8) feet above ground in the case of the first story, and from the floor of the upper story to eight (8) feet above that line for upper stories (see *Figure 19*). If the façade includes several planes, they all count toward the calculation if the façade planes are within the required building setback.

- a. The percent of glazing at ground floors abutting rights-of-way shall be 30% minimum and 65% maximum of the ground floor facade area (not including parapet). The percent of



Prohibited (across several windows)



Allowed (individual awnings for each window)

Figure 17. Awning Placement



Figure 18. Pedestrian Transition



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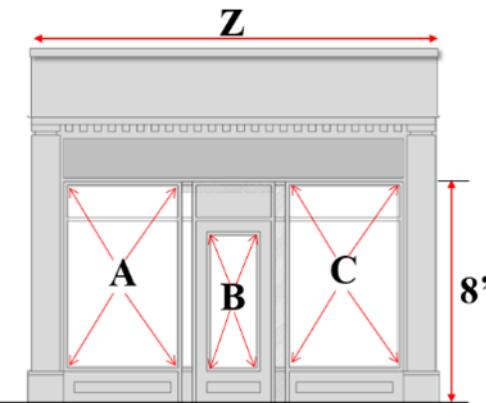
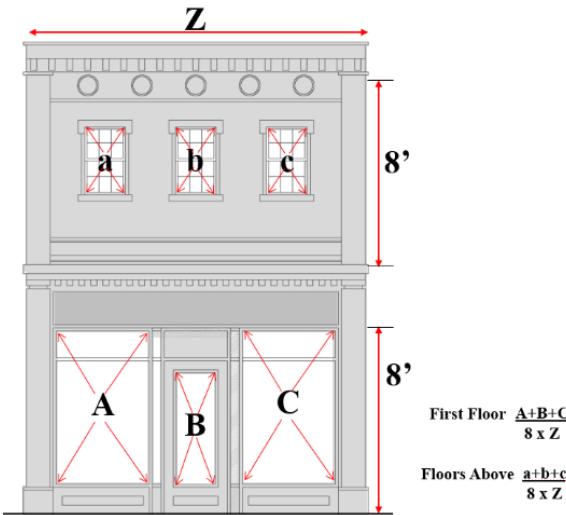


Figure 19. Calculating Glazing

glazing on upper floors abutting city rights-of-way shall be 30% minimum and 40% max.

- b. The size and orientation of windows shall reflect the architectural style of the building (see *Appendix A*).
- c. Glass shall be clear float (thin, smooth, clear glass surface), gray light, or solar glazing with 80% minimum transmittance. Reflective glass or film is not allowed.
- d. Glass panes shall not exceed a maximum size of 6 feet by 8 feet.
- e. Windows shall not be obscured or visually blocked by paint, shelves or attachments, but blinds and curtains are allowed to achieve privacy.
- f. Bulkheads shall extend a minimum of 12 inches and a maximum of 30 inches above the finished floor (see *Figure 19*). Existing garage and bay doors reused as windows are exempt from meeting this requirement. Buildings that are required to be elevated due to floodplain regulations may measure these distances from the interior finished floor.

#### 4.4.6 Awnings and Canopies

- a. Awnings or canopies (see *Figures 15, 16 & 17*), if installed, shall be placed between the first and second stories to provide protection from the weather and to delineate the transition between ground and upper floors.
- b. Awnings and canopies shall not obscure prominent architectural features, such as cornice lines, parapets, decorative window trim, etc. Stretched awnings on curved aluminum frames are not allowed.
- c. Awnings shall be placed in a way to **accentuate the architectural features** of the building. Therefore, awnings shall not be installed to extend over multiple windows and doors. *Figure 17* shows two examples, one where the awning was placed entirely across the façade (prohibited), while the other example shows the awnings used to accentuate the windows (allowed).



#### 4.4.7 Building Entrances

- a. **The main entrance of all buildings shall be oriented toward Anastasia Blvd.** The design of the façade shall reinforce the presence of the main entrance.
- b. The front entrance (facing Anastasia Blvd) shall be operable, clearly-defined and highly-visible. In order to emphasize entrances, they shall be accented by a change in materials around the door, recessed into the façade (alcove), or accented by an overhang, awning, canopy or similar feature.
- c. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.
- d. **Pedestrian connections** from the public sidewalk and parking areas to the building entrance **shall be provided**. Buildings with entrances at a higher elevation than the public sidewalk shall create a transition within the setback (see *Figure 18*).
- e. Entries shall be recessed from the main façade or under a canopy or awning to provide for a cover. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.



Figure 20. Example of Mansard Roof

#### 4.4.8 Building Roof

- a. Buildings with **flat roofs shall have a cornice treatment or a parapet**. The cornice shall be at least eighteen (18) inches in height. Parapet shall be a minimum of two (2) feet in height measured from the exterior horizontal roof surface.
- b. Sloping roofs shall not exceed the height of the supporting walls.
- c. In the case of flat roofs, roof materials shall be light-colored or a planted surface (green roof).
- d. **New mansard roofs shall be prohibited** (see *Figure 20*).



#### 4.4.9 Parking Structure Design

- a. Stand-alone parking garages, where allowed by the zoning district, shall require approval by the CRC.
- b. Parking structures accessory to a principal use are required to be **placed behind a liner building** that houses active uses (e.g. commercial, office, residential). The liner building, which may be attached or detached from the parking structure, may be one story but shall extend for a minimum of seventy-five (75) percent of the length of the parking structure, and shall have a minimum depth of thirty (30) feet (see *Figure 21*).
- c. Any portion of the parking structure that is not concealed behind a building shall be screened to conceal all internal elements such as plumbing pipes, fans, ducts and lighting. Ramping should be internalized wherever possible. Exposed spandrels shall be prohibited.
- d. The portion of the parking garage not concealed behind the liner building shall provide a landscaping strip along the façade. The landscaping strip shall have a minimum depth of 5 feet.
- e. The **exterior facades** of the parking garage shall be designed to **achieve architectural unity** with the principal structure.
- f. Parking structures shall meet setback, height, façade articulation, fenestration and glazing standards contained in this section. See *Section 4.4.5* for details on fenestration and glazing.
- g. Ventilation openings shall resemble typical fenestration found within a particular area.

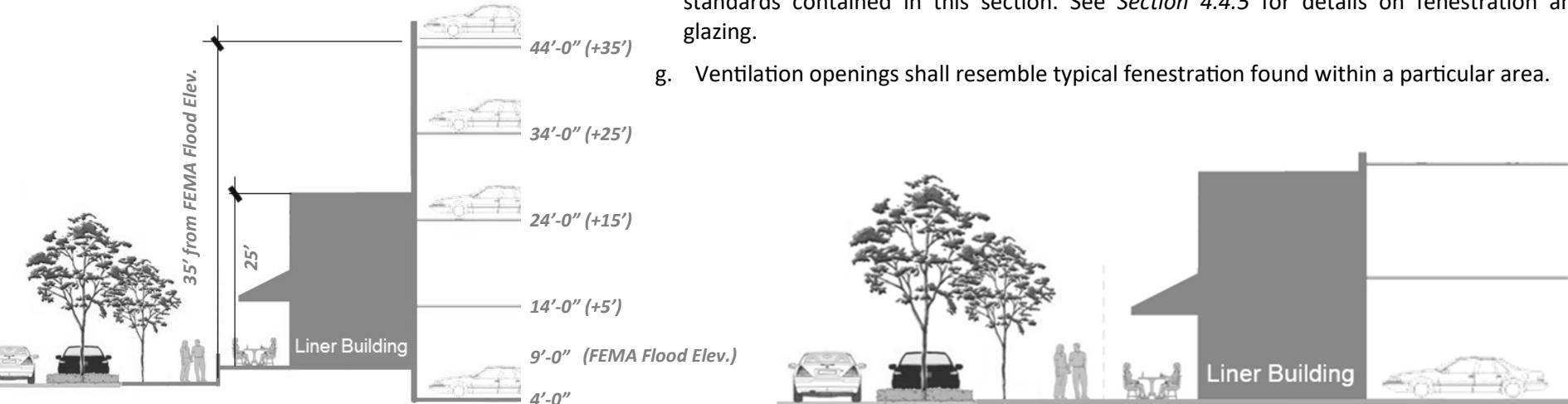


Figure 21. Parking Structure with Liner Building



## 4.5 Site Access and Parking

### 4.5.1 Pedestrian Access and Circulation

Pedestrian walkways, ramps or steps (or a combination of these) shall link the public sidewalk to the front door entry.

### 4.5.2 Vehicular Access

Parking areas shall be accessed from a rear alley, secondary street, or from an adjacent property (shared use agreement necessary), if any of these are available or proposed as part of the development. Where the only option for vehicular access is from Anastasia Boulevard, the following standards shall apply:

- Only one driveway (ingress/egress) shall be allowed per site.
- One-way drives shall not exceed 13 feet in width.
- Two-way driveways shall not exceed 24 feet in width.
- Turning radii of driveways along Anastasia Boulevard shall be determined by the applicable authority in the right of way.
- Turning radii of driveways along all other streets shall not exceed 20 feet.

### 4.5.3 Parking Placement

Surface parking lots shall be located **behind the building** (see *Figure 22*). However, the following parking placement alternatives are also allowed:

- Where a site is too shallow to provide parking behind the building, the placement of parking facilities is permitted on the side of the proposed building. This is allowed only if the building setback and building frontage requirements are met. A street wall, in addition to landscaping, will be required to screen the parking facility. *See Figure 23.*
- The placement of parking facilities in front of a building is only permitted for the portion of the building that is not used to meet the building setback and building frontage requirements. A street wall, in addition to landscaping, will be required to screen the parking facility.

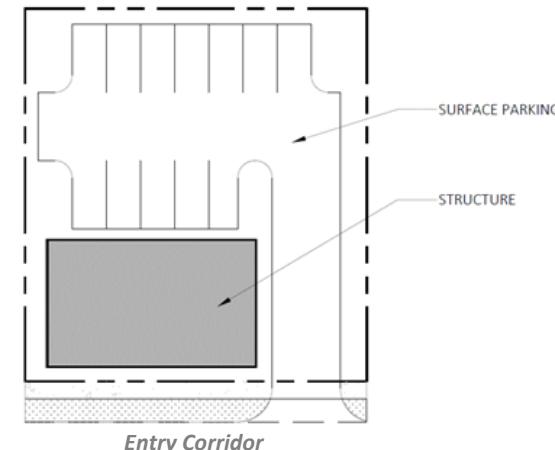
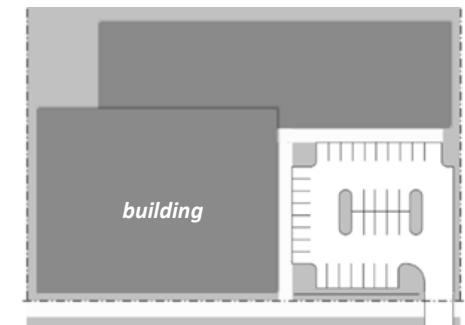


Figure 22. Parking Location and Access



Allowed—When site is too shallow for rear parking

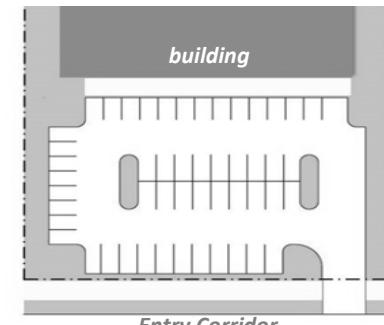


Figure 23. Parking Location and Access (Cont.)  
Prohibited—Must fall within setback zone



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Figure 24: Examples of Existing Non-Conforming Parking Facilities



Parking spaces accessed from the street is prohibited unless approved by FDOT in writing

#### 4.5.4 Existing Non-Conforming Parking Facilities

There are several sites in the district with parking spaces that do not meet current code standards in terms of access, location, or size.

- a. **Parking in Front of the Building.** In conjunction with the redevelopment of a site, parking facilities that are already located in front of a building that is not being moved or demolished (*see Figure 24*) may remain.
- b. **Parking Spaces Accessed from Street.** In conjunction with the redevelopment of a site, existing parking spaces that are accessed directly from the street (as opposed to a parking lane) may remain as long as there is no option to provide the minimum parking requirements elsewhere on the site.
- c. **Non-Conforming Curb Cuts and Driveways.** Will only be required to meet the standards of this section if there is substantial redevelopment on the site.

#### 4.5.5 Bicycle Parking

In conjunction with new construction and substantial redevelopment (as defined in Section 3), the applicant may provide bicycle parking facilities on the site at a suggested minimum rate of one bike rack space per 20 required vehicle spaces. The rack may be placed within the street setback area, but not within the public right-of-way, and it shall count towards the required front or side yard buffer (2' of width per bicycle space, not to exceed 6') or as an offset to required trees at a rate of one tree per three spaces (not to exceed two (2) trees).



## 4.6 Site and Building Lighting

Acceptable lighting on the site may include lights on the exterior of a building, up or down lighting shining on buildings or trees, and parking lot pole lighting. Only product information sheets shall be required for submittal.

### 4.6.1 Architectural Lighting

- Lighting fixtures on the building shall be compatible with the architecture of the building and measure between 2700-3000K.
- Permanent accent lighting, distinct from seasonal or holiday lighting, designed to accentuate building details is encouraged.
- Holiday lighting, such as for Nights of Lights, may be additionally regulated by the City Commission.
- Color and/or neon** may be used as architectural lighting to accentuate building frame, profiles or details, with **Corridor Review Committee approval**.

### 4.6.2 Site + Parking Lighting

- For basic site lighting applications (such as parking lot, pathway, and area lighting), **full cut-off lighting** fixtures shall be used for all exterior lighting. Such lights shall not point directly at the right-of-way nor the sky. (see *Figure 25*) **Source of illumination shall not be visible from a residential district.**
- Exposed interior and exterior fluorescent or incandescent bulbs that are visible from the public right-of-way are not allowed.
- Lighting poles may not surpass 20' in height as measured to the point of light output (see *Figure 25b*).
- LED dimming technology shall be incorporated in all exterior lighting mounted higher than 10'-0" to reduce lighting level to minimum safe illumination after business closing hours, if possible. Refer to Illuminating Engineering Society guidelines. Minimum for a private parking lot is 0.13 foot-candles. A Lighting professional shall confirm minimum lighting level.

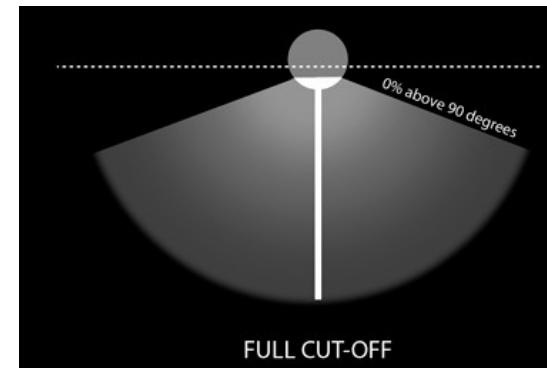


Figure 25. Full Cut-Off Lighting

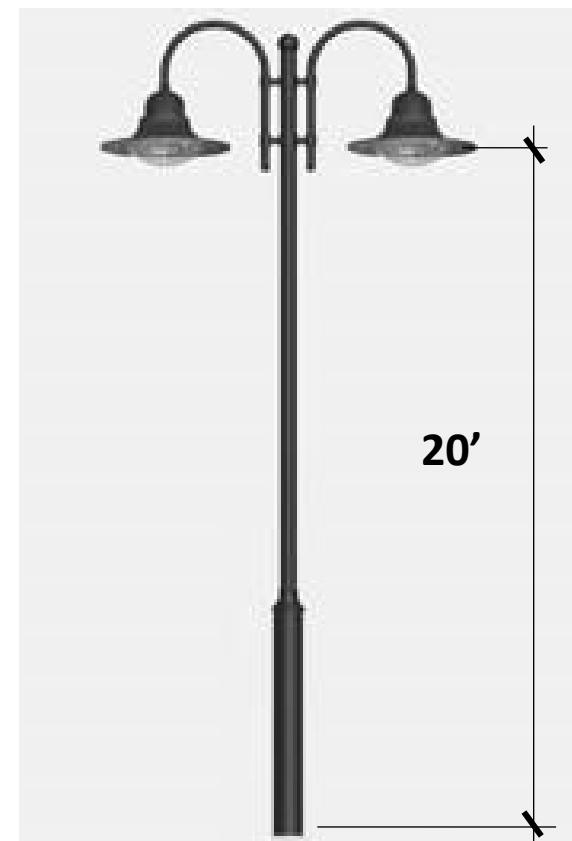


Figure 25b. Lighting Height



## 4.7 Stormwater Facilities

**Traditional stormwater retention facilities** (such as ponds), where required, **shall not be located within the front setback**. Stormwater is recommended to be incorporated into the overall design of the project as amenities (The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities). Minimum criteria are below.

Projects shall include **at least two of the following** low impact design concepts, which may be located anywhere on the project (including the front setback):

- **Rain water harvesting (rain barrels, underground cisterns, and similar)**
- **Bioswales** a long, channeled depression or trench that receives rainwater runoff (as from a parking lot) and has vegetation (such as grasses, flowering herbs, and shrubs) and organic matter (such as mulch) to slow water infiltration and filter out pollutant
- **Rain gardens**
- **Green roof** (layer of vegetation planted over a waterproofing system that is installed on top of a flat or slightly-sloped roof)
- **Pervious pavement** (permeable concrete, permeable pavers, and/or other permeable pavements recognized by the United States Green Building Council). To be used for 10% minimum non-vehicular and vehicular parking for credit.

Figure 26. Examples of Stormwater Facility Design

Sources: *The Urban Report*; Green and Sustainable Services, LLC.



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## Section 5

### LANDSCAPE & SCREENING



## SECTION 5. LANDSCAPE & SCREENING

### 5.1 Landscape Introduction

The landscape character of Anastasia Boulevard is largely segmented into two distinct areas.

- a. The north zone (defined as north/west of Comares Ave. and South Comares Ave.) is characterized by open vistas and palms.
- b. The south zone (defined as south/east of Comares Ave. and South Comares Ave.) is characterized by an established coastal oak canopy.

#### 5.1.1 Plant Materials

In general, site landscaping shall consist of **native** or **naturalized plants** that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

#### 5.1.2 Protection of Existing Landscape

Effort shall be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Construction plans shall **indicate areas of protection** and shall have **applicable notes regarding minimal disturbance of landscape elements to be preserved**.

Along the corridor, existing oaks in good health shall be protected when possible. **Oaks over 12" dbh** to be removed shall have **an additional 25% deficit applied to current tree mitigation calculations**. Note: A *Protected Tree* along the site frontage can be included in the building frontage calculation.

### 5.2 Landscape Requirements

The following landscape regulations follow the existing zoning landscape requirements for CM-2, CL-2, and CL-1.



## 5.3 Front Yard Landscape

### 5.3.1 Landscape Buffer Yard Special Conditions

For commercial properties, 50% of required landscape may be shifted to adjacent side yard.

### 5.3.2 Landscape Buffer Yard Classification

Front yards, fronting Anastasia Blvd, shall have buffer yards as shown, \*except for any additional required buffers:

Trees	Shrubs
4 trees per 100' of frontage	20 shrubs per 100' of frontage

To maintain the unique appearance of the north and south sections of Anastasia Boulevard, a minimum of 50% (2 trees per 100' of frontage) shall be the following for each section of the corridor:

North Zone	South Zone
Washington Palm	Live Oak

For the north zone, 100% of the required trees in the front buffer yard may be palms. If such a planting scheme exceeds the 25% palm maximum for buffer yard trees per City code, this shall be permitted if palms are not used as required trees in the other buffer yards.

[Note: code only allows 25% max palms for required buffer trees.]

### 5.3.3 Percentage of Landscape

A minimum of 40% of the buffer yard length, inclusive of drives, mechanical equipment, etc., shall be landscape. Raised planters are encouraged and shall count toward the buffer yard length; however, movable (potted) plants do not count toward a landscape buffer yard.

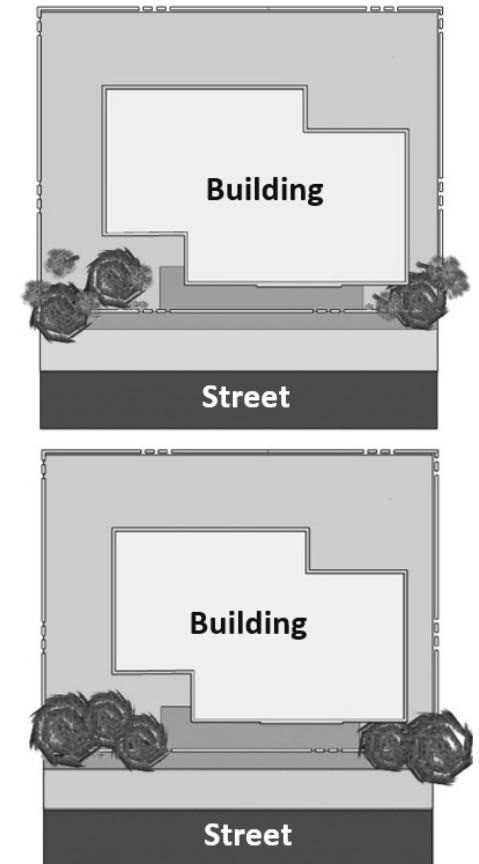


Figure 27. Tree Compositions

Top: (North Zone) Palms and Oaks

Bottom: (South Zone) Oaks



City of St. Augustine  
Anastasia Boulevard Design Standards

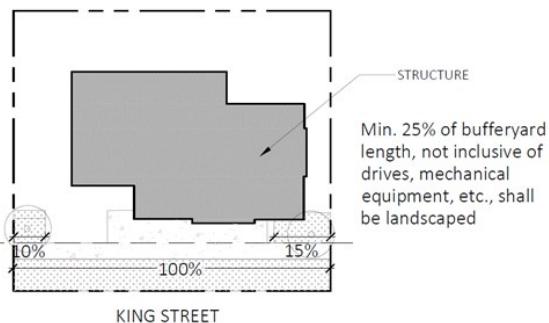


Figure 28. Landscape Percentage



Figure 29. Examples of Planters

## 5.4 Side Yard Landscape

### 5.4.1 Landscape Buffer Yard Classification

- a. Screening buffers shall not be required between adjacent non-residential zoned sites along Anastasia Blvd.
- b. When side yard setback is adjacent to a residential zoning:
  - i) Side yards (no matter the zoning classification) shall have buffer yard as follows:

Trees	Shrubs
4 trees per 100' of frontage	20 shrubs per 100' of frontage

- ii) In addition to the expanded setback required in Section 4.1 and the landscaping required in Section 5, a 6-foot minimum (8-foot maximum) solid vinyl, wood or masonry wall shall be constructed near the property line of the site and adjacent RS-2 zoned properties to allow for screening, unless waived in writing by the adjacent property owner. The waiver shall be notarized.
- iii) When side yard setback is adjacent to a roadway: the side yard shall have a buffer yard as follows: [Up to 50% of required landscape may be shifted to a front, rear, or other side yard buffer.]

Trees	Shrubs
4 trees per 100' of frontage	12 shrubs per 100' of frontage

- c. Screening buffers shall not be required between adjacent non-residential zoning along Anastasia Blvd. This condition applies for shared rear-parking uses.

### 5.4.2 Percentage of Landscape

A minimum of 70% of the buffer yard length, not including drives, mechanical equipment, etc., shall be landscaped.



## 5.5 Rear Landscape and Alleyway Buffer Yard

### 5.5.1 Landscape Buffer Yard Classification

a. Rear yard for commercial properties shall have buffer yard as follows:

Trees	Shrubs
4 trees per 100' of frontage	12 shrubs per 100' of frontage

- i. When the rear yard setback is adjacent to a residential zoning: in addition to the expanded setback required in Section 4.1 and the landscaping required in Section 5, a 6-foot minimum (8-foot maximum) solid vinyl, wood or masonry wall shall be constructed along the property line of the site and adjacent RS-2 zoned properties, unless waived in writing by the adjacent property owner.
- ii. Developments across the street from single-family residentially zoned property shall provide a 10-foot landscape buffer along the front of the development. No fence will be required along the front of a development, except for parking areas which shall provide a street wall as noted in Section 5.7, below.

Trees	Shrubs
3 trees per 100' of frontage	4 shrubs per 100' of frontage

b. When any setback is adjacent to an alleyway with commercial zoning on both sides, the setback shall be buffer yard as follows: {Up to 50% of the required landscape may be shifted to an adjacent side yard}

### 5.5.2 Percentage of Landscape

A minimum of 70% of the buffer yard length, not including drives, mechanical equipment, etc., shall be landscape. Modification may be allowed if technically unfeasible.

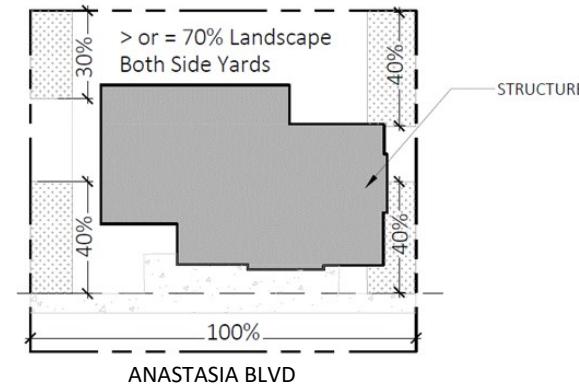


Figure 30. Side Yard Percentage



City of St. Augustine  
Anastasia Boulevard Design Standards



Figure 31. Examples of Street Walls

## 5.6 Vehicular Use Areas

Vehicular use areas (VUAs) shall meet the following requirements in addition to the screening requirements set forth for the side and rear yards.

1. Within each parking area of five thousand (5,000) square feet or more, there shall be a minimum of five (5) percent of landscaped areas, which shall be reasonably distributed within each five thousand (5,000) square feet of parking area so as to be prorated to fulfill the objectives of this article.
2. Each separate planting area shall contain at least one (1) tree and a tree shall be planted for each one hundred (100) square feet of internal landscaping. All internal landscaping shall be protected from vehicular encroachment by curbing or wheel stops. All landscape areas shall be a minimum of one hundred (100) square feet, with the least dimension being five (5) feet.
3. The VUA perimeter landscape (shrub planting material) shall provide screening of vehicles, particularly on the rear and side yards. Reference **Appendix C** for hedge material recommended for parking screening.

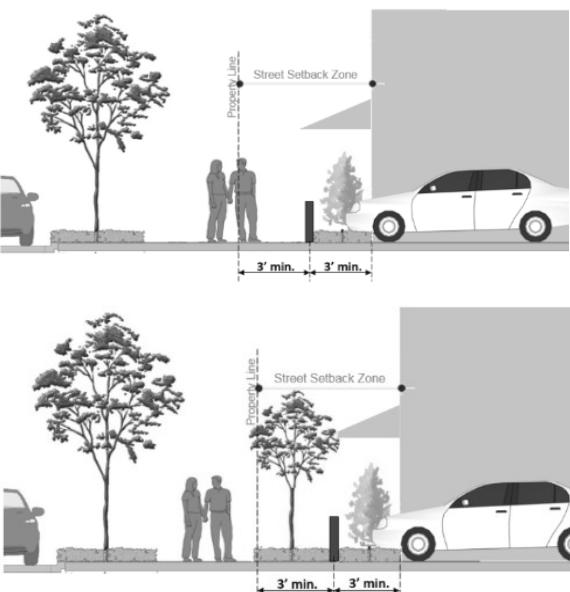


Figure 32. Street Walls and Landscaping



## 5.7 Fences and Walls

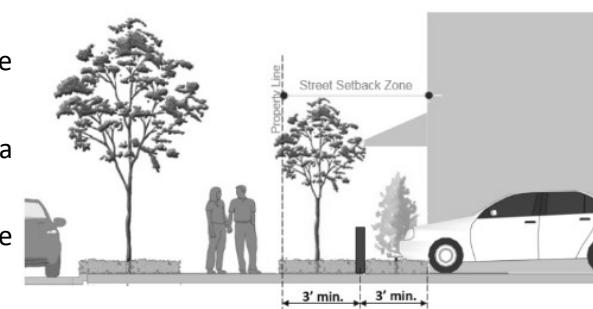
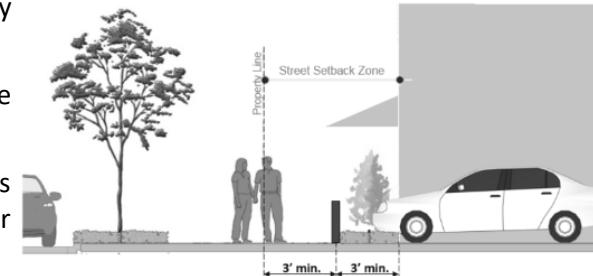
While fences are typically used to achieve privacy on a site, street walls are used to continue the building frontage along a street, to screen vehicular areas such as parking lots, and to frame public zones such as courtyards and outdoor dining areas. Street walls and fences shall meet the following standards:

### 5.7.1 Fences

- Along the front property line and front setback, gates, railings, and fencing materials shall be painted wood, powder-coated aluminum, or wrought iron. Note that these elements are likely attached to the required site wall, as defined in section 5.7.2.
- Chain link, wire, and PVC fencing shall be prohibited in the front setback but may be used along side or rear areas.

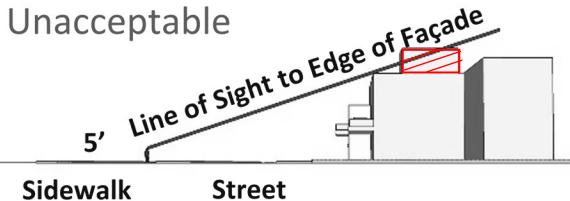
### 5.7.2 Street Walls

- In the absence of a building façade along any part of the site frontage line, a street wall shall be built** in line with (co-planar with) the façade. Breaks are permitted in the street wall to provide vehicular and pedestrian access to the site, for plazas and gathering spaces, and for the purpose of tree protection. Street walls shall have openings no larger than necessary to allow automobile and pedestrian access.
- Street walls are the only types of fences/walls allowed facing streets** (see *Figure 31*). Privacy fences and walls are not allowed between adjacent uses along Anastasia Boulevard.
- Street walls shall be located within the front setback, and may have landscaping or hard surface between the wall and the public sidewalk.
- Street walls shall be a minimum of 3 feet in height and shall not exceed a 5 foot maximum, as measured from the lower elevation of the public sidewalk or final elevation of adjacent interior development. However, the portion of the wall above 3 feet shall be no more than 50% solid.
- Street walls shall be constructed of brick or masonry. Fencing, as per 5.7.1, may be included.
- The area in front of a street wall may include landscaping or hardscape if used to expand the sidewalk.
- When landscaping is provided between the wall and the sidewalk, the landscaping strip shall be a minimum of two (2) feet wide.
- A three (3) foot wide landscape strip, as measured from the wall, shall also be provided on the interior side of the street wall.





Unacceptable



Acceptable

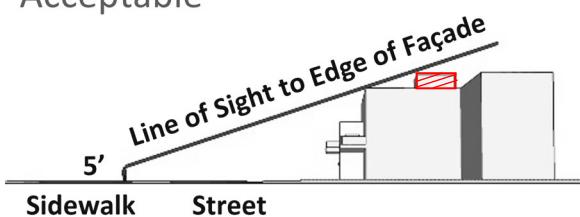


Figure 33. Equipment Screening

Screening rooftop equipment measured from furthest edge of right of way

Top: Unacceptable,

Bottom: Acceptable.

## 5.8 Mechanical Equipment

For the purpose of this section, mechanical equipment shall include, but is not limited to, a heating, ventilation, or air conditioning unit placed outside of a building; vehicular/parking equipment (except for gate arms, if applicable); and any utility-related equipment such as pumps, meters, transformers and similar equipment required to be installed on a development site. **Mechanical equipment** shall be located so that noise and visual impacts upon abutting residential property are minimized.

1. Mechanical equipment shall not be permitted within any required building setback unless the utility company determines this to be the only possible location.
2. Mechanical equipment shall not be located between the building and the street, unless technically infeasible. On corner lots, the location of mechanical equipment along a secondary street may be permitted through the modification of standards process (see *Section 3.7*) subject to the screening requirements stated below.
3. **Screening** (by wall, solid fence or vegetative matter) that **exceeds the height of the equipment** shall be **required if the equipment is visible from the street** or adjacent properties. Certain equipment, such as, but not limited to rain barrels or cisterns, shall not require screening provided they are designed to blend with the building and are constructed with the same materials and colors.
4. Air conditioning units and elevator shafts are permitted to go above the standard building height limit but shall be visually screened from all public rights-of-way as shown in Figure 33. This restriction may limit the number of stories that can be built within the 35 foot maximum building height.



## 5.9 Solid Waste Disposal Facilities

1. Solid waste disposal facilities, solid waste, recycling, yard trash containers, and grease containers must be located to the side or rear of the building and shall be concealed from view from all sides by a wall or fence of up to 7 feet in height. The enclosure shall be made of wood, masonry or vinyl and shall be fitted with an opaque sliding or hinged door and working latch. Gates shall be able to be secured in the open position. No chain link fence is allowed for solid waste enclosures.
2. On corner or double-frontage lots, the disposal facilities shall be accessed from the secondary frontage.
3. Enclosure shall adhere to City Solid Waste requirements.
  - a. Width of 10-12 feet minimum.
  - b. Depth of 10-12 feet minimum.
  - c. Height of 7 feet minimum.
  - d. Overhead clearance over and in front of dumpster shall be clear of obstructions 20' in height.
  - e. Bumper posts: two (2) steel, 4" diameter set in concrete. Placement 12" from back wall of enclosure.



## 5.10 Visibility Triangle

All landscaping within the triangular areas described below shall provide unobstructed cross visibility at a level between three (3) and eight (8) feet above the ground. Trees having limbs and foliage extending into this cross visibility area shall be allowed, provided that they are so located so as not to create a traffic hazard. Landscaping, except grass and ground cover, shall not be located closer than three (3) feet from the edge of any accessway pavement. The triangular areas are:

1. The areas of property on both sides of an accessway formed by the intersection of each side of the accessway, i.e. driveway, and the public right-of-way pavement line with two (2) sides of each triangle being ten (10) feet in length from the point of intersection and the third side being a line connecting the ends of the other sides.
2. The area of property located at a corner formed by the intersection of two (2) or more public rights-of-way with two (2) sides of the triangular areas being measured thirty (30) feet in length along the abutting edges of pavement, from their point of intersection, and the third being a line connecting the ends of the other two (2) lines.



Figure 34. Visibility Triangle



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## Section 6

### SIGNS



## SECTION 6 SIGNS

The Corridor regulates sign types, attachment points on buildings, and illumination as noted below in Section 6. Existing signs not meeting the requirements of this section are subject to the non-conforming provisions of the Code of Ordinances (see Section 3-23(k)).

### 6.1 Number and Types of Signs Allowed

1. The number of business identification signs attached to the building per business frontage on a public street shall be per City code. The types of signs allowed are as follows (see *Section 7, Definitions*):
  - Wall Sign
  - Canopy Sign
  - Awning Sign
  - Projecting Sign
  - Hanging Sign
  - Window Sign
  - Freestanding
  - Architectural Integrated Sign
2. The use of portable signs, streamers and pennants shall follow sign code.
3. Blinking lights, bulbs facing the road, and electronic message signs are not permitted.

### 6.2 Building Sign Size

The total area of all building signs may be distributed among the various building signs allowed. The maximum size of any **individual** building sign shall be per City code.

Figure 35. Permitted Sign Illumination



## 6.3 Sign Illumination

1. Interior-illuminated cabinet or channel letter signs are not allowed. Signs may only be illuminated from an exterior light fixture or backlit to accentuate opaque raised lettering or images.
2. There shall be no illuminated signs facing a single family residential use.



Figure 36. Prohibited Sign Illumination



Figure 37. Canopy Signs

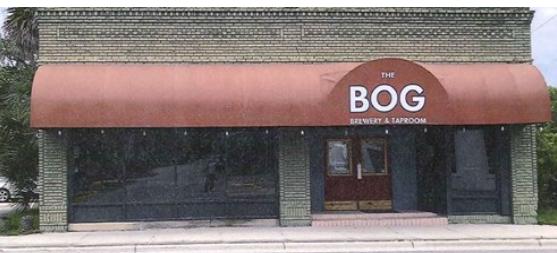


Figure 38. Awning Signs

## 6.4 Building Signs

1. Wall signs shall be either a panel or individual letters applied to the wall, shall not project from the wall by more than 12 inches, shall not extend above the top of the wall where it is located, and in the case of two story buildings, it shall be placed between the first and second floor windows. Signs painted directly onto the façade are not allowed.
2. Projecting signs may be read horizontally or vertically, may extend into the building setback zone, but not over the public right-of-way. They shall have a clearance of 8 feet from the ground and shall not exceed the height of the building wall where installed.
3. Canopy signs may be applied to the face of the canopy and shall not exceed 50 percent of the width of the canopy. They can be placed fully or partially above or below the edge of the canopy, provided the sign consists of individual letters (as opposed to a panel). Canopy signs are also allowed to hang from the bottom of the canopy facing the street. An 8-foot clearance shall be provided.
4. Awning signs shall not cover more than 30% of the vertical face (or near vertical part) of the awning.
5. Window signs (silk screen, vinyl letters, gold leaf, hand painted or neon) shall not occupy more than 25% of the glass window or door, and may be allowed for first and second story businesses.
6. Hanging signs shall not count toward the maximum sign area allowed, provided it is placed under the awning or canopy, perpendicular to the building, and near the front door of the business. Such signs shall have an 8 foot minimum vertical clearance as measured from grade to the bottom of the sign, and a maximum height of 2 feet. While hanging signs do not count towards the maximum sign area, they do count toward the maximum allowed signs per business.
7. Architecturally integrated signs require CRC approval. Such sign, if approved, may be combined with a wall, awning, canopy, projecting or window sign, but not with a freestanding sign. The maximum height of the sign shall not exceed the maximum allowable building height.
8. Portable signs, streamers and pennants are specifically prohibited.
9. Blinking lights, bulbs facing the road, and electronic message signs are not permitted.
10. Signs shall not obscure architectural details such as windows, cornice, decorative brickwork and storefronts.
11. If any sign standards in this document are in disagreement with the existing Sign Code, the standards detailed in this document shall apply.

## 6.5 Free Standing Signs

The need for freestanding signs is based on the placement of the building away from the street. When buildings cannot be seen by passing motorists, they need a larger sign by the street to indicate the location of the business. Freestanding signs are allowed as follows:

1. Pole signs are the only type of freestanding sign allowed. Pole signs shall not exceed a height of 15 feet measured from the adjacent sidewalk and shall provide a clearance of 8 feet from the ground. Pole signs may be supported by one or two poles, or may be suspended from the structure as shown in *Section 2, Definitions*. The supporting poles may not exceed 2 feet x 3 feet.
2. Freestanding signs shall not be placed in front of or within 5 feet from any portion of the building meeting the street setback requirement. They may, however, be allowed in front of parking areas or where the building is recessed.
3. Reader boards used in conjunction with the pole sign are allowed and shall not exceed 36 inches by 40 inches.

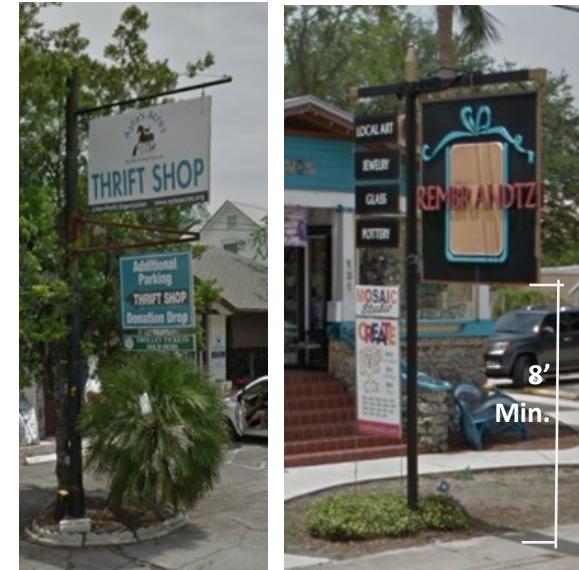
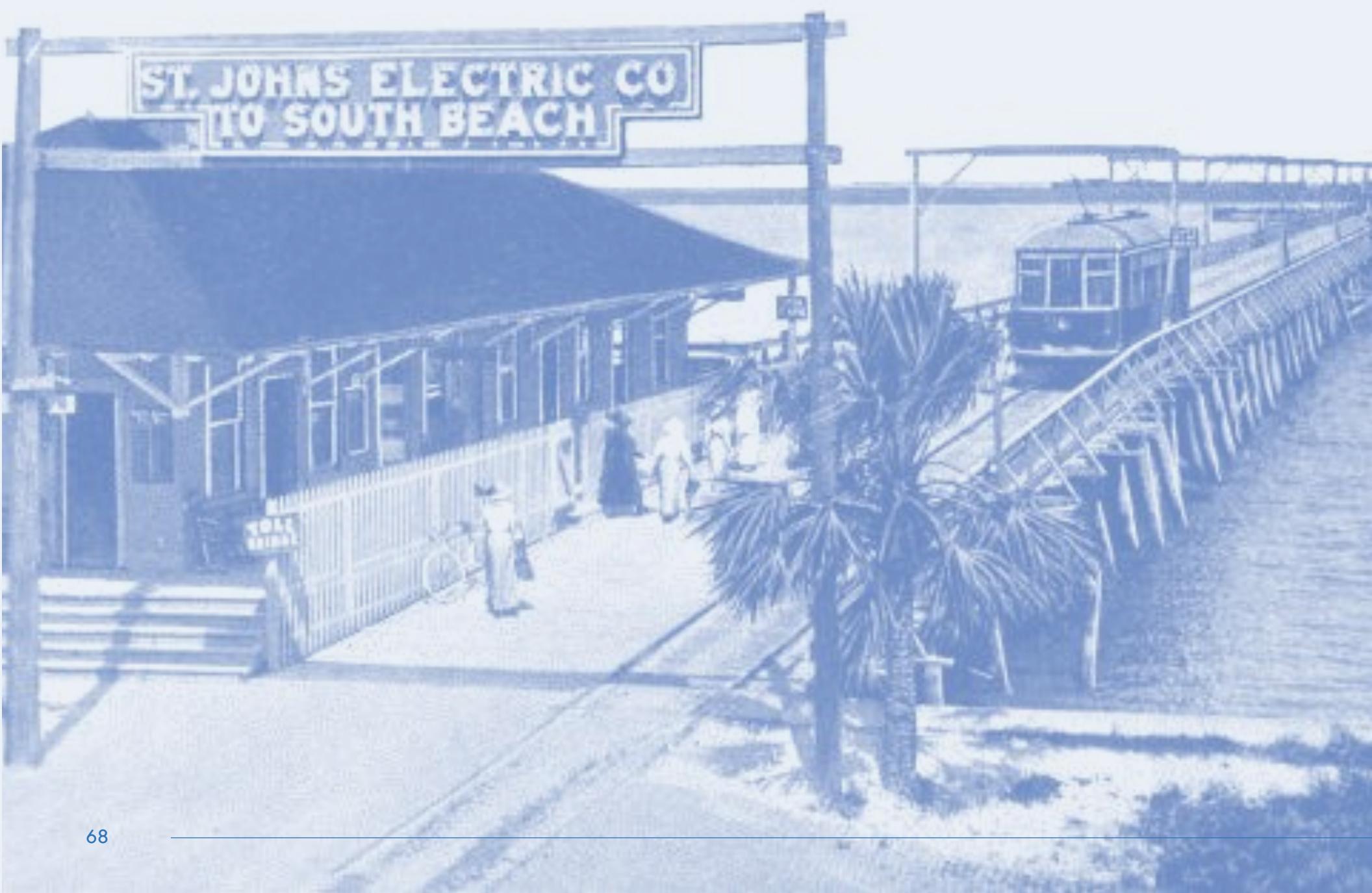


Figure 39. Examples of Pedestrian Pole Signs

(Note that all new signs shall not extend over the public sidewalk)

Station for Anastasia, South, Chautauqua  
Crescent Beaches, St. Augustine, FL





## Section 7

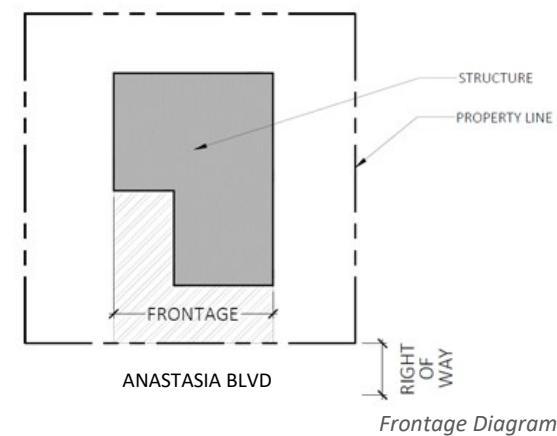
### DEFINITIONS



Awning



Canopy



Definitions

## SECTION 7. DEFINITIONS

**Accessory:** a supplementary material object or feature that enhances the main focus

**Adjacent:** next to or adjoining something else.

**Ancillary:** a subsidiary area that supplements and is integral to the functions of the primary area, but is in no way the foremost purpose of the building

**Appurtenances:** spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, elevator shafts or other appurtenances required to be placed above the roof level

**Arcade:** series of arches supported by a colonnade of vertical supports, such as columns or piers

**Awning:** a rectangular or curved shelter extending from a building and supported entirely from the exterior wall of a building and composed of non-rigid materials except for supporting framework.

**Canopy:** a structure constructed of rigid materials including, but not limited to metal, wood, concrete, plastic or glass, which is attached to and supported by a building or by columns, poles or braces extended to the ground.

**Corridor Review Committee:** development review board as designated by the City Commission

**Design Flood Elevation (DFE):** The elevation of the highest flood (generally the Base Flood Elevation including freeboard) that a retrofitting method is designed to protect against.

**Development Site:** a parcel or lot of land that has been designated and initiated work for any development projects

**Dimensional Requirement:** the code guidelines for numerical measurement conditions for which development has to abide by, such as setbacks, structure widths & heights, lot coverage area, etc.

**Facade:** the face of a building, especially the principal front that looks onto a street or open space

**Facility:** a structure, amenity, or place that houses and supports a specific function

**Frontage:** the facade of a building, specifically abutting King Street.

**Full Cut Off:** a lighting fixture from which none of its lamp's intensity is emitted at or above a horizontal plane drawn through the bottom of the fixture and no more than ten percent of the lamp's intensity is emitted between eighty (80) degrees and that horizontal plane.



**Land Development Regulations:** the land development and zoning codes contained in the City of St. Augustine Code of the Ordinances.

**Licensed Professional:** a person who has been granted legal authority by their governing body to practice within the designated scope of their profession

**Anastasia Boulevard:** the main vehicular corridor that front setbacks relate to, also known as A1A

**Non-dimensional:** the code guidelines for non-numerical measurement conditions for which development has to abide by, such as landscape and building color

**One-Story:** having one floor or level

**Parking Structure:** a building, generally enclosed, of which the principle function is for vehicular parking

**Parapet:** a low wall or protective barrier projecting from the edge of a building roof, balcony, terrace, or similar structure

**Permanent Accent Lighting:** light fixtures such as uplights, downlights, and strip lighting designed to accentuate architectural or landscape features (holiday / Christmas lighting not included)

**Photometric:** a plan showing the simulated lighting coverage of a proposed development, helping designers assess if a plan will be sufficient in lighting a space while not creating a lighting disturbance to the surrounding properties

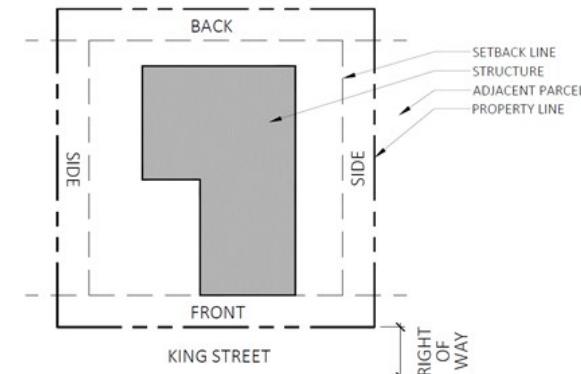
**Porte-Cochere:** a covered entrance large enough for vehicles to pass through

**Rendering:** a graphic (developed by a licensed professional) depicting a proposed structure in an existing context

**Redevelopment:** construction, policies, or programs with the overall process of improving upon existing sites or structures

**Right of Way (R.O.W.):** publicly owned lands, typically with roadway, sidewalks, etc., which is often immediately adjacent to a property line.

**Seasonal or Holiday Lighting:** a series of clear, white or colored lights, either bare or shielded within a enclosure.





City of St. Augustine  
**Anastasia Boulevard Design Standards**



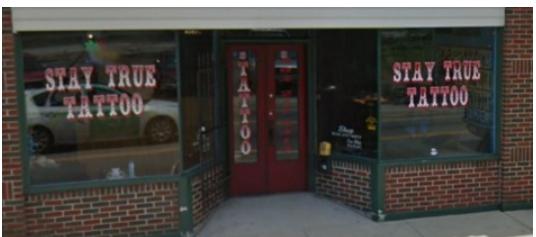
Sign, Hanging



Sign, Projecting



Sign, Wall



Sign, Window

**Setback:** means the mean horizontal distance between the front line of the building (excluding steps and unenclosed porches of not more than sixteen (16) square feet) and the front line of the lot.

**Sign, Awning:** a sign that is painted, silk-screened, stitched on, imprinted on, or otherwise applied directly onto the fabric of the awning.

**Sign, Canopy:** a sign which is suspended from, attached to, supported from or forms a part of a canopy.

**Sign, Freestanding:** a sign supported by a sign structure secured in the ground and which is wholly independent of any building, fence, vehicle or object other than the sign structure for support. This sign type is prohibited on King Street (see Pedestrian Pole Sign for residential typology).

**Sign, Hanging:** a sign that is placed under a canopy, awning or arcade, perpendicular to the building façade, and not intended to be seen by motorists.

**Sign, Pedestrian Pole Sign:** a sign supported by one or two poles in the ground fully independent of any building, fence, vehicle, or object, not to exceed the dimensions included in the King Street Design Standards, where applicable.

**Sign, Projecting:** a sign which is affixed and displayed perpendicular to any building wall or structure with a bracket

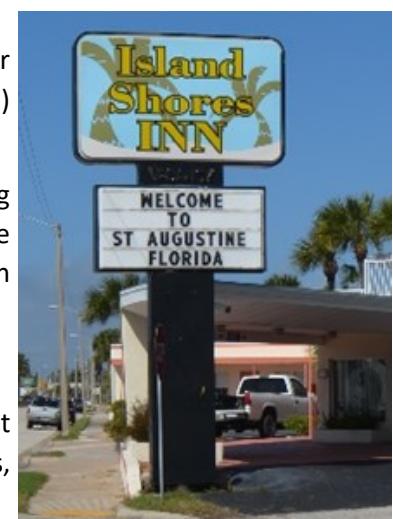
**Sign, Wall** – a sign that is attached flat to a building wall.

**Sign, Window** – a permanent sign affixed to, or painted on either face of a window or glass door that leads to the exterior of the building. Signs suspended within three (3) feet behind the glass are also deemed window signs.

**Substantial Redevelopment:** site and building improvements not subject to the building code (design/aesthetic improvements) that exceed 50% of the building value over a five year period will be deemed a substantial improvement for the purposes of the Design Standards and subject to review for compliance.

**Two-Story:** having two floors or levels

**Vehicular Use Area:** all paved surfaces connected to or associated with an off-street parking area included but not limited to access driveways, aisles, curbs, islands, ramps, and vehicle parking spaces



Sign, Pole



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## APPENDICES



## LOCAL EXAMPLES

# APPENDIX B: ARCHITECTURE - MID-CENTURY MODERN BACKGROUND

The Anastasia Boulevard Design Standards promote the adoption of the Mid-Century Modern Style for new buildings and renovations. This section describes the style and development patterns from that period to communicate the desired character for the district.

An architectural survey of Anastasia Island conducted in 2015 identified the style of buildings built prior to 1965 and noted that the predominant style in the corridor is Mid-Century Modern, which in this area reflects the influence of the automobile. There are several hotels/motels and gas stations/auto repair buildings along Anastasia Boulevard with architecture and site design characteristic of that period of development.

Even though the auto-oriented buildings along Anastasia Boulevard, or a great majority of each building, are set back away from the street, they provide a physical connection to the street in the form of canopies and porte-cocheres, or extending portions of the building to the street (U or L-shape building plan). This differentiates them from the more contemporary suburban auto-oriented development that places the buildings behind large expanses of surface parking.

The design of the older buildings along the corridor is simple, with very little ornament and minimal facade expression. Volumes are relatively small and horizontal/rectangular in form. However, some include **geometrical shapes** that contrast with the simplicity of the building.

## ROOFS

Roofs are varied (flat, gable, hip), but with a predominance of flat roofs. Some buildings have deep overhangs. Other types of roofs in the area include shed roofs and mansard roofs.

## SIGNS

The Anastasia Boulevard corridor has a very varied mix of sign types. There are pole signs, monument signs, signs on buildings, and most characteristic of the area – signs that are an integral part of the building architecture.



## FACADE

Typical façade materials include brick, stone, stucco, and wood. There are some examples of decorative concrete block screens. The use of stone and wood provides an interesting contrast on the façades.

## FENESTRATION

**Fenestration is often irregular and asymmetrical.** Some buildings display large plate glass windows. Some of the old gas stations have been converted into retail establishments or restaurants, preserving the large bay doors.

The 2015 survey identified the architecture of the older buildings as mid-century modern and vernacular. **The combination of the older buildings with the newer buildings and renovations have resulted in an eclectic character in the area.** Buildings do not necessarily follow the rules of the classical styles, but instead borrow from the elements of the modern, art deco and even craftsman architecture. Building materials are used to provide variety and color on the façade.

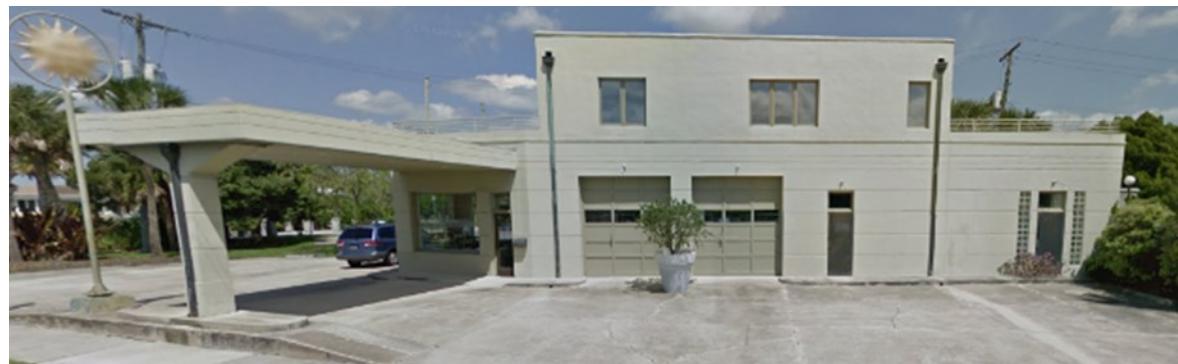
1. Large plate glass windows,
2. Accent walls,
3. Flat roofs with wide reaching overhangs or fly-away roof lines,
4. projecting wings,
5. decorative concrete screens,
6. streamline railings
7. stand-alone signage with similar characteristics.



## LOCAL EXAMPLES



City of St. Augustine  
Anastasia Boulevard Design Standards



## LOCAL EXAMPLES



## ARCHITECTURE - MEDITERRANEAN REVIVAL

### BACKGROUND

The Anastasia Boulevard Design Standards recognizes the influence of Mediterranean Revival buildings in certain areas. This section contains a description of the style intended to communicate the desired building characteristics for those areas.

Mediterranean Revival buildings in Florida display considerable Spanish influence. The style was popular during the 1920s, and its use continued after the real estate collapse of the boom and in the 1930s. Identifying features of the style include flat or hip roofs, usually with some form of parapet; ceramic tile roof surfacing; stucco facades; entrance porches, commonly with arched openings supported by square columns; casement and double hung sash windows; and ceramic tile decorations. One of the largest examples of the style in the survey area are the original 12 structures (ten remaining) built during the D. P. Davis era. The buildings display irregular massing with flat and gable roofs trimmed with ceramic barrel tiles. Textured stucco serves as the exterior wall fabric, and arches accent the doors and windows along the first story. Shields and canales adorn the wall surfaces. (from 2015 Architectural Survey of Anastasia Island Structures, Environmental Services, Inc.)

See the 2015 Architectural Survey of Anastasia Island Structures, compiled by Environmental Services, Inc., for more information on the development, architectural styles, and composition of the Anastasia Boulevard Corridor.



### LOCAL EXAMPLES



## APPENDIX C: LANDSCAPE PLANTS

Botanical Name	Common Name	Botanical Name	Common Name
<b>Street Trees</b>			<b>Accent Trees and Palms</b>
<i>Quercus laurifolia</i>	Laurel Oak	<i>Acer rubrum</i>	
<i>Quercus virginiana</i>	Live Oak	<i>Bambusa</i> spp.	Red Maple
<i>Quercus shumardii</i>	Shumard Oak	<i>Butia capitata</i>	Bamboo (clumping)
<i>Platanus occidentalis</i>	Sycamore	<i>Cercis cananadensis</i>	Pindo Palm
<i>Taxodium distichum</i>	Bald Cypress	<i>Ilex cassine</i>	Redbud
<i>Ulmus parrifolia</i>	Drake Elm	<i>Ilex opaca</i>	Dahoon Holly
<b>Street Palms</b>			American Holly
<i>Phoenix canariensis</i>	Canary Island Date Palm	<i>Juniperus silicicola</i>	Yaupon Holly
<i>Phoenix dactylifera</i>	Date Palm	<i>Juniperus virginiana</i>	Southern Red Cedar
<i>Phoenix sylvestris</i>	Sylvestris Date Palm	<i>Lagerstroemia indica</i>	Eastern Red Cedar
<i>Sabal palmetto</i>	Sabal Palm	<i>Ligustrum</i> spp.	Crape Myrtle
<i>Washingtonia robusta</i>	Washington Palm	<i>Liquidambar styraciflua</i>	Ligustrum
		<i>Livistonia chinensis</i>	Sweetgum
		<i>Magnolia grandiflora</i>	Chinese Fan Palm
		<i>Myrica cerifera</i>	Southern Magnolia
		<i>Phoenix reclinata</i>	Wax Myrtle
		<i>Prunus agustifolia</i>	Senegal Date Palm
		<i>Prunus calleryana</i>	Chickasaw Plum
		<i>Prunus caroliniana</i>	Bradford Pear
		<i>Trachycarpus fortunei</i>	Cherry Laurel
			Windmill Plum



**Botanical Name**      **Common Name**

**Hedges\*, Shrubs\*, Cycads and Palms**

(\*To be used as a screen for parking lots.)

<i>Abelia grandiflora</i> *	Abelia
<i>Camellia japonica</i>	Camellia
<i>Camellia sasanqua</i>	Sasanqua Camellia
<i>Cassia</i> spp.	Cassia
<i>Cortaderia selloana</i>	Pampas Grass
<i>Crinum</i> spp.	Crinum Lily
<i>Eleagnus pungens</i> *	Silverthorn
<i>Eragrostis spectabilis</i>	Purple Lovegrass
<i>Feijoa sellowiana</i> *	Feijoa
<i>Galphimia glauca</i>	Thryallis
<i>Gardenia jasminoides</i>	Gardenia
<i>Hibiscus</i> spp.	Hibiscus
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex cornuta</i> *	Chinese Holly
<i>Ilex cornuta</i> * "Burfordi"	Burford Holly
<i>Ilex crenata</i>	Japanese Holly
<i>Ilex vomitoria</i> "nana"	Dwarf Yaupon Holly
<i>Illicium anisatum</i> *	Star Anise
<i>Illicium parviflorum</i> *	Yellow Anise
<i>Juniperus chinensis</i> *	Chinese Juniper
<i>Juniperus</i> spp.	Juniper
<i>Lantana camara</i>	Lantana
<i>Ligustrum japonicum</i> *	Japanese Privet
<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia
<i>Muhlenbergia capillaris</i>	Muhly Grass
<i>Nandina domestica</i>	Heavenly Bamboo

**Botanical Name**      **Common Name**

**Hedges\*, Shrubs\*, Cycads and Palms**

<i>Nerium oleander</i>	Oleander
<i>Philodenron selloum</i>	Split Leaf Philodendron
<i>Photinia fraseri</i>	Fraser's Photinia
<i>Pittosporum tobira</i> *	Pittosporum
<i>Plumbago auriculata</i>	Plumbago
<i>Podocarpus macrophyllus</i> *	Podocarpus
<i>Pyracantha coccinea</i>	Firethorn Pyracantha
<i>Raphiolepsis indica</i>	Indian Hawthorn
<i>Rhipidophyllum hystrix</i>	Needle Palm
<i>Rhododendron indica</i> *	Indica Azaleas
<i>Rhododendron obtusum</i>	Dwarf Azaleas
<i>Rhododendron kurume</i>	Kurume Azaleas
<i>Serenoa repens</i>	Saw Palmetto
<i>Spartina</i> spp.	Cordgrass
<i>Thuja occidentalis</i>	American Arborvitae
<i>Viburnum odoratissimum</i> *	Sweet Viburnum
<i>Viburnum suspensum</i> *	Sandankwa Viburnum
<i>Viburnum Tinus</i>	Laurustikus Viburnum
<i>Yucca elephantipes</i>	Spineless Yucca
<i>Yucca smalliana</i>	Bear Grass
<i>Zamia floridana</i>	Coontie
<i>Zamina furfuracea</i>	Cardboard Plant



## APPENDIX C: LANDSCAPE PLANTS

Botanical Name Common Name

### Street Trees

<i>Quercus laurifolia</i>	Laurel Oak
<i>Quercus virginiana</i>	Live Oak
<i>Quercus shumardii</i>	Shumard Oak
<i>Platanus occidentalis</i>	Sycamore
<i>Taxodium distichum</i>	Bald Cypress
<i>Ulmus parrifolia</i>	Drake Elm

### Street Palms

<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Phoenix sylvestris</i>	Sylvestris Date Palm
<i>Sabal palmetto</i>	Sabal Palm
<i>Washingtonia robusta</i>	Washington Palm

Botanical Name Common Name

### Accent Trees and Palms

<i>Acer rubrum</i>	Red Maple
<i>Bambusa</i> spp.	Bamboo (clumping)
<i>Butia capitata</i>	Pindo Palm
<i>Cercis cananadensis</i>	Redbud
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex opaca</i>	American Holly
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Juniperus silicicola</i>	Southern Red Cedar
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Ligustrum</i> spp.	Ligustrum
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Livistonia chinensis</i>	Chinese Fan Palm
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Myrica cerifera</i> ( <i>Morella cerifera</i> )	Wax Myrtle
<i>Phoenix reclinata</i>	Senegal Date Palm
<i>Prunus agustifolia</i>	Chickasaw Plum
<i>Prunus calleryana</i>	Bradford Pear
<i>Prunus caroliniana</i>	Cherry Laurel
<i>Trachycarpus fortunei</i>	Windmill Plum

## Botanical Name Common Name

**Hedges\*, Shrubs\*, Cycads and Palms**

(\*To be used as hedge or screen for parking lots.)

<i>Abelia grandiflora</i> *	Abelia
<i>Camellia japonica</i>	Camellia
<i>Camellia sasanqua</i>	Sasanqua Camellia
<i>Cassia</i> spp.	Cassia
<i>Cortaderia selloana</i>	Pampas Grass
<i>Crinum</i> spp.	Crinum Lily
<i>Eleagnus pungens</i> *	Silverthorn
<i>Eragrostis spectabilis</i>	Purple Lovegrass
<i>Feijoa sellowiana</i> *	Feijoa
<i>Galphimia</i> (or <i>Thryallis</i> ) <i>glaucia</i>	Thryallis
<i>Gardenia jasminoides</i>	Gardenia
<i>Hibiscus</i> spp.	Hibiscus
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex cornuta</i> *	Chinese Holly
<i>Ilex cornuta</i> * "Burfordi"	Burford Holly
<i>Ilex crenata</i>	Japanese Holly
<i>Ilex vomitoria</i> "nana"	Dwarf Yaupon Holly
<i>Illicium anisatum</i> *	Star Anise
<i>Illicium parviflorum</i> *	Yellow Anise
<i>Juniperus chinensis</i> *	Chinese Juniper
<i>Juniperus</i> spp.	Junipers
<i>Lantana camara</i>	Lantana
<i>Ligustrum japonicum</i> *	Japanese Privet

<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia
<i>Muhlenbergia capillaris</i>	Muhly Grass
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nerium oleander</i>	Oleander
<i>Philodendron selloum</i>	Split Leaf Philodendron
<i>Photinia fraseri</i>	Fraser's Photinia
<i>Pittosporum tobira</i> *	Pittosporum
<i>Plumbago auriculata</i>	Plumbago
<i>Podocarpus macrophyllus</i> *	Podocarpus
<i>Pyracantha coccinea</i>	Firethorn Pyracantha
<i>Raphiolepsis indica</i>	Indian Hawthorn
<i>Rhapidohyllum hystrix</i>	Needle Palm
<i>Rhododendron indica</i> *	Indica Azaleas
<i>Rhododendron obtusum</i>	Dwarf Azaleas
<i>Rhododendron kurume</i>	Kurume Azaleas
<i>Serenoa repens</i>	Saw Palmetto
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<i>Viburnum odoratissimum</i> *	Sweet Viburnum
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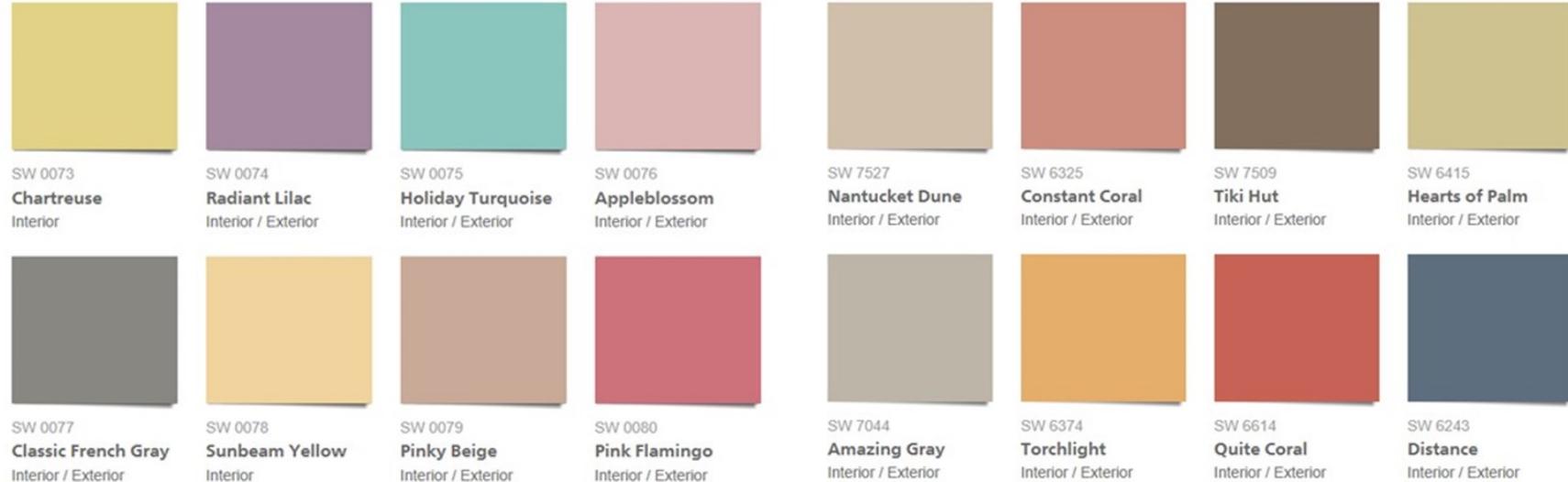
## APPENDIX D: COLORS

NOTE: Colors may be increased or decreased in saturation 10% from color sample.

### Sherwin Williams Color Palette: 1950's



The exuberant post war boom was a mix of styles with mid-century modern and Scandinavian influences making the most impact. Pastels are the norm with pink and turquoise appliances adorning the kitchen and laundry room. Lilac and Chartreuse are very popular.



### Sherwin Williams Color Palette: Seaside





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NOTE: Colors may be increased or decreased in saturation 10% from color sample.

*Sherwin Williams Color Palette: Vintage*



*Nature/Subdued Color Palette: Mid-Anastasia Colors*

Everyday White SW 6077	Biscuit SW 6112	Navajo White SW 6126	Muslin SW 6133	Sagey SW 6175	Top sail SW 6217	Ibis White SW 7000	Ceiling Bright White 7007
Realist Beige SW 6078	Interactive Cream SW 6111	Voile SW 6127	Netzuke SW 6134	Liveable Green SW 6176	Tradewind SW 6218	Marshmallow SW 7001	Alabaster SW 7008
Diverse Beige SW 6079	Bagel SW 6114	Blonde SW 6128	Ecru SW 6135	Softened Green SW 6177	Rain SW 6219	Dowdy SW 7002	Pearly White SW 7009
Utterly Beige SW 6080	Totally Tan SW 6115	Restrained Gold SW 6121	Harmonic Tan SW 6136	Clary Sage SW 6178	Interesting Aqua SW 6220	Toque White SW 7003	White Duck SW 7010
Down Home SW 6081	Tatami Tan SW 6116	Mannered Gold SW 6120	Burlap SW 6137	Artichoke SW 6179	Moody Blue SW 6221	Snowbound SW 7004	Natural Choice SW 7011
Cobble Brown SW 6082	Smokey Topaz SW 6117	Chamois SW 6131	Artifact SW 6138	Oakmoss SW 6180	Riverway SW 6222	Pure White SW 7005	Creamy SW 7012
Sable SW 6083	Leather Bound SW 6118	Relic Bronze SW 6132	Mossy Gold SW 6139	Secret Garden SW 6181	Still Water SW 6223	Extra White SW 7006	Ivory Lace SW 7013



City of St. Augustine  
**Anastasia Boulevard Design Standards**

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**Prepared by**



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