

1. Agenda

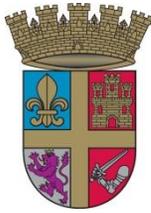
Documents:

[HARBAGENDA08-16-18.PDF](#)

2. Meeting Materials

Documents:

[HARBPACKET081618.PDF](#)



City of St. Augustine

Historic Architectural Review Board



A G E N D A

Thursday, August 16, 2018 1:00 p.m. * Amended

Alcazar Room - City Hall, 75 King Street, St Augustine, Florida

1. Roll Call
2. General Public Comments for Items not on the Agenda
3. Approval of Minutes
4. Modification and approval of Agenda
5. Recommended Expedited Hearing Items (to be recommended one week prior)*
 - a) Certificate of Appropriateness 2018-0106 Elaine H. Darnold, Inc. – Applicant
Larry and Elizabeth Rideman – Owner
28 St. Francis Street
To replace a rear window with French doors and to construct a new landing and stairs in front of the door.
6. Continued Items from the previous HARB meetings
 - a) Opinion of Appropriateness 2018-0042 Keith Andrews – Applicant
Keith and Tina Andrews – Owners
156 Avenida Menendez
To construct a two story porch on the front façade, to replace existing windows with porch entries and new windows, and to paint the structure using pre-approved paint colors. **Withdrawn**
 - b) Certificate of Appropriateness F2018-0064 Crown Castle NG East LLC – Applicant
City of St. Augustine – Owner
NE corner of Cathedral Place and Cordova Street
To construct a 40 foot tall concrete utility pole with an antenna and telecommunications equipment.
Requested a Continuance
 - c) Preliminary Design Approval for the Design Standards for Entry Corridors 2018-0082 Hagos Fissehaye – Applicant & Owner
3150 N. Ponce de Leon Blvd
To review new construction and site development for conformance with Mixed Residential and Commercial Typology.

7. Certificate of Appropriateness

a) 2018-0107

Don Crichlow & Associates – Applicants
18 St. George Street LLC – Owner

[18 St. George Street](#)

To construct new buildings between Spanish and St. George Streets designed with Spanish Colonial character.

b) 2018-0109

Red Moon Properties LLC – Applicant and Owner

[9 Aviles Street](#)

To construct a replacement building based on the Mission Revival character of the historic building that was demolished and on a previous Opinion of Appropriateness. (See also COD 2018-0110).

8. Certificate of Demolition

a) 2018-0110

Red Moon Properties LLC – Applicant & Owner

[9 Aviles Street](#)

To demolish a building constructed in 1911 that is listed in the Florida Master Site File and is a contributing to the St. Augustine Historic District. (After the Fact)

b) 2018-0104

Ronald L. Bailey – Applicant and Owner

[101 South Street](#)

To demolish a building constructed in 1954 that does not contribute to the Lincolnville National Register Historic District and that is not listed in the Florida Master Site File.

9. Opinion of Appropriateness

a) 2018-0111

City of St. Augustine – Owner and Applicant

[20 Spanish Street](#)

To make alterations to an existing parking lot to include adding landscaping, constructing a masonry wall, and installing paving material, lighting, and signage.

10. Other Business

a) Introduction and Discussion related to the Evaluation and Appraisal Report (EAR) for the Historic Preservation Element of the Comprehensive Plan.

11. Review of Conflict Statements from Previous Meetings

12. Adjournment

Notices: In accordance with Florida Statute 286.0105: “If any person decides to appeal any decision made by the Historic Architectural Review Board with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.” In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone: (904) 825-1007 or 1-800-955-8771 (TDD).



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CITY OF ST. AUGUSTINE

Historic Architectural Review Board Regular Meeting
July 19, 2018

The Historic Architectural Review Board met in formal session at 1:00 P.M., Thursday, July 19, 2018, in the Alcazar Room at City Hall, St. Augustine, Florida. Barbara Wingo, Acting-Chairperson, called the regular meeting to order, and the following were present:

1. ROLL CALL:

Barbara Wingo
Jon Benoit
Paul Weaver
Randal Roark, Alternate

Absent:

Toni Wallace, excused
Catherine Duncan, excused

City Staff:

Jenny Wolfe, Historic Preservation Officer
Amy Skinner, Deputy Director, Planning and Building
Isabelle Lopez, City Attorney
Candice Seymour, Recording Secretary

2. General Public Comments for Items not on the Agenda

(None)

3. Approval of Minutes

MOTION

Mr. Benoit MOVED to APPROVE the June 21, 2018 minutes as presented. The motion was SECONDED by Mr. Weaver and APPROVED BY UNANIMOUS VOICE VOTE.

4. Modification and approval of Agenda

Ms. Wingo announced that the applicant for item 6(a) requested a continuance to the August 16, 2018 meeting.

MOTION

Mr. Weaver MOVED to CONTINUE application F2018-0064 to the August 16, 2018 meeting. The motion was SECONDED by Mr. Benoit.

VOTE ON MOTION:

AYES: Weaver, Benoit, Roark, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. Public Comments related to Expedited Hearing items:

Public hearing for each expedited hearing item was opened; however, there were no responses.

5. (a) Certificate of Appropriateness 2018-0089 – Prohibition Kitchen – Applicant Baker Family Revocable Trust – Owner 119 St. George Street

To install an aluminum frame awning with a black canvas cover on the back of the building.

Ms. Wolfe read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** a Certificate of Appropriateness for **119 St. George Street** with the following conditions:

- An elevation drawing is provided to staff to show the location of the awning in the rear façade (condition satisfied by submittal after the deadline)
- A condition assessment will be carried out to verify the lot coverage

Tom Sheltra agreed to staff conditions and waived his presentation.

Ex Parte Communication:

(None)

MOTION

Mr. Weaver **MOVED** to **APPROVE** Certificate of Appropriateness application 2018-0089, 119 St. George Street, to install an aluminum frame awning with a black canvas cover on the back of the building. The motion was **SECONDED** by Mr. Roark.

VOTE ON MOTION:

AYES: Weaver, Roark, Benoit, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (b) Certificate of Appropriateness 2018-0090 – Don Chrichlow & Associates – Applicant David Corneal – Owner 149 Cordova Street

Mr. Weaver recused himself from this application as a consultant for the applicant.¹

To raise the building to a finish floor elevation of 10.1 feet; to make alterations to the building foundation; and to install a coquina wall, new chimney base, porch stairs, raised sitting area, new porch banisters, and wheelchair lift.

Ms. Wolfe read the staff report and said based on a review of the AGHP and without

¹ Form attached to original minutes

the support of evidence to the contrary staff finds that the Board can **APPROVE** a Certificate of Appropriateness for **149 Cordova Street** with the following conditions:

- The wheelchair lift is screened
- The wall height is clarified and the materials are shaped like those in the existing wall
- The material information for the wood sitting area is provided to staff

Don Crichlow agreed to staff conditions and waived his presentation.

Ex Parte Communication:

(None)

MOTION

Mr. Benoit **MOVED** to **APPROVE** application 2018-0090 to lift the existing building with the conditions as requested by staff to screen the wheelchair lift, clarify the wall height and materials for the new wall, and provide the information for the materials to be used for the wood seating area. The motion was **SECONDED** by Mr. Roark.

VOTE ON MOTION:

AYES: Benoit, Roark, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (c) Certificate of Appropriateness 2018-0091 – Marquis Latimer + Halback, Inc. – Applicant University of Florida/Department of State (State of Florida) – Owner 22 St. George Street

To make alterations to the site to include installing curbing, an interpretive wall, planters, walkways, lighting, and fences; altering existing fences and walls; modifying the parking area; and adding landscaping.

Ms. Wolfe read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** a Certificate of Appropriateness for **22 St. George Street**.

Freemont Latimer agreed to staff conditions and waived his presentation.

Ex Parte Communication:

(None)

MOTION

Mr. Weaver **MOVED** to **APPROVE** Certificate of Appropriateness application 2018-0091, 22 St. George Street. The motion was **SECONDED** by Mr. Benoit.

VOTE ON MOTION:

AYES: Weaver, Benoit, Roark, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. Continued Items from Previous Meetings

6. (a) Certificate of Appropriateness F2018-0064 – Crown Castle NG East LLC – Applicant City of St. Augustine – Owner NE corner of Cathedral Place and Cordova Street

To construct a 40 foot tall concrete utility pole with an antenna and telecommunications equipment.

Applicant requested, prior to the meeting, that the item be continued to the August 16, 2018 meeting. See Modifications to the Agenda for motion to continue.

6. (b) Certificate of Demolition 2018-0083 – Arcadian Development – Applicant David Point Enterprises, LLC – Owner 130 De Haven Street

To demolish a building constructed in 1930 that is listed in the Florida Master Site File and is a contributing building to the Lincolnville National Register Historic District.

Ms. Wolfe read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** a Certificate of Demolition for **130 De Haven Street**.

Rodney Harrison was available for questions.

Ex Parte Communication:

(None)

Public hearing was opened; however, there was no response.

The Board discussed as-built drawings of the existing structure which had already been submitted to staff and the replacement structure which was planned to be a two-story multi-family structure.

Mr. Benoit offered suggestions for the front porch/balcony and cautioned the applicant regarding constructing on a slab due to storm water and flooding concerns.

Mr. Weaver noted the following findings:

- The building was a contributing building to the historic district; however,
 - The structure had been substantially altered with a later addition and enclosure of the front porch causing a lack in historic architectural integrity
 - The applicant provided evidence of concerns regarding the structural integrity of the building

MOTION

Mr. Weaver **MOVED** to **APPROVE** application 2018-0083, 130 De Haven Street, based on the findings he previously listed. The motion was **SECONDED** by Mr. Benoit.

VOTE ON MOTION:

AYES: Weaver, Benoit, Roark, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. (c) Preliminary Design Approval for the Design Standards for Entry Corridors 2018-0082 – Hagos Fissehaye – Applicant and Owner
3150 N. Ponce de Leon Blvd

To review new construction and site development for conformance with Mixed Residential and Commercial Typology.

Ms. Wolfe read the staff report and said Preliminary Design Approval applications do not include a staff recommendation because the purpose is to direct staff in subsequent administrative reviews.

Hagos Fissehaye and James Gilgenbach, architect, reviewed the application.

Ex Parte Communication:

(None)

Public hearing was opened.

Charles Pappis noted that the area surrounding the property had been increasing in walkability as it developed. He suggested that the prominent entrance to the structure should be on San Marco Avenue, which did not appear to be the case based upon the plans submitted. He had observed that the Planning and Zoning Board has asked the applicant to be more creative in terms of building placement and the preservation of trees.

Public hearing was closed.

Ms. Wolfe outlined three issues which staff was requesting clarification for from the applicant:

- Page numbers referenced by the applicant did not match the submittal given to staff
- Height compliance issue wherein the parapet roof was over the maximum allowed height
- Differences between newly adopted Design Standards and the previously existing guidelines by which the application was being reviewed.

The Board discussed:

- Building height, how it was measured, and the structure's compliance with the height ordinance
- Walkability of the area and pedestrian access to the property
- Small section of property along San Marco Avenue triggered the Corridor Guideline Review
- Parking shown in site plan was exact number required per code
- Desire to see how the proposed architectural style compliments the architectural style of the corridor and finding possible examples of appropriate architecture along the San Marco Corridor
- Setbacks and building placement
- Possible alternative placements to the structure

Rob Matthews of Matthews Design Group confirmed that there was room to fit a sidewalk along the western side of San Marco Avenue.

Public Comment was re-opened.

Charles Pappis reminded the Board that PZB had asked the applicant to reconsider the standard rectangle for the structure.

Public comment was closed.

The Board continued discussion regarding:

- Positive impact of the current site plan splitting the parking lot
- Options from applicant of false façade and carport or enhanced landscaping along San Marco Corridor
- Possibility of utilizing the new Entry Corridor Design Guidelines for the application review
- Possibility of reducing the height and enlarging the footprint was infeasible due to parking loss
- Location of trees to be saved on the site

Mr. Matthews said he would provide the following for the next hearing:

- Pictures of San Marco Avenue streetscape with report
- Discussion of proposed design elements pulled from San Marco Avenue streetscape
- Color drawings and elevations

MOTION

Mr. Weaver MOVED to CONTINUE Preliminary Design Approval application 2018-0082, 3150 N. Ponce de Leon Boulevard, to the August 16, 2018 meeting. The motion SECONDED by Mr. Benoit.

VOTE ON MOTION:

AYES: Weaver, Benoit, Roark, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

7. Certificate of Demolition

7. (a) 2018-0092 – BEHST Builders, Inc. – Applicant

David Gay – Owner
955 Lew Boulevard

Mr. Benoit recused himself from the hearing as contractor on the project.²

To demolish a structure constructed in 1956 that is listed in the Florida Master Site File but not listed in the National Register of Historic Places.

Ms. Wolfe read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** a Certificate of Demolition for **955 Lew Boulevard** with the following conditions:

- The applicant shall record the structure for archival purposes prior to demolition to include photographs and measured drawings that will be submitted by the applicant to the Florida Master Site File with a courtesy copy provided to staff
- The applicant shall salvage the coquina material from the home

David Gay and Michael Stauffer reviewed the application.

Ex Parte Communication:

(None)

8 certified notices were sent, 1 was returned in favor.

Public hearing was opened; however, there was no response.

The Board discussed:

- No official substantial damage report from the Building Official
- Building was not considered a historic structure under City Code

² Form attached to original minutes

MOTION

Mr. Weaver **MOVED** to **APPROVE** Certificate of Demolition application 2018-0092, 955 Lew Boulevard, with the conditions as outlined in the staff report. The motion was **SECONDED** by Mr. Roark.

VOTE ON MOTION:

AYES: Weaver, Roark, Benoit, Wingo

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

8. Other Business

There was a discussion regarding the City Commission's decision not to remand design review to the HARB for the Confederate Memorial contextualization. Ms. Lopez advised that it was within the Commission's purview to approve the proposed design without such a review.

9. Review of Conflict Statements from Previous Meetings

(None)

10. Adjournment

There being no further business, the meeting was adjourned at 3:04 P.M.³

Antoinette Wallace, Chairperson

³ Transcribed by Candice Seymour



CITY OF
ST AUGUSTINE.
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for August 16, 2018 Meeting



Application F2018-0106

Address: 28 St. Francis Street

Elaine H. Darnold, Inc., Applicant
Larry and Elizabeth Rideman, Owners

Project description: To replace a rear window with French doors and construct a new landing and stairs in front of the door.

Architectural Style: Frame Vernacular	Florida Master Site File: 8SJ1865
National Register: Contributing to the St. Augustine Town Plan	Construction date: 1838
Archaeology Zone: IB	Zoning District: HP-1
Parcel number: 199190 0000	
Agenda Item: 5(a)	Previous Action(s): COA 2015

STAFF SUMMARY AND ANALYSIS:

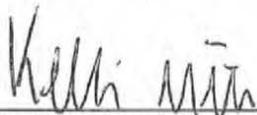
The applicant is presenting a Certificate of Appropriateness to replace a rear window with French doors and construct a new landing and stairs in front of the door.

- Based on Sanborn Maps, the building has had a rear addition since at least 1893, but based on previous permits, the current addition was constructed in 1983 or 1984, which makes it a non-historic element.
- The rear addition is not visible from the street and is partially hidden behind a masonry wall.
- The coquina concrete steps are appropriate as a concrete or coquina concrete material is used for the steps on the front of the building and on the side porch.
- Wood is an appropriate material for the door.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Appropriateness for 28 St. Francis Street** with the following condition:

1. The applicant provides specifications for the door and concrete material to staff.



Kelli Mitchell, Historic Preservation Planner

F2018-0106
28 St. Francis Street
August 16, 2018

SUMMARY SCOPE OF WORK:

- Remove one rear window from the addition
- Install a pair of French doors and coquina concrete steps

F2018-0106
28 St. Francis Street
August 16, 2018

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

Doors and Entrances

Do...

- Place new entrances on secondary elevations away from the main elevation. Preserve non-functional entrances that are architecturally significant.

Don't...

- Fail to provide adequate protection to materials on a cyclical basis so that deterioration of entrances results.
- Replace deteriorated or missing doors with stock doors or doors of inappropriate designs or constructed of inappropriate materials.
- Create a false historical appearance because the replaced entrance is based on insufficient historical, pictorial and physical documentation.

Post-1821

Doors are generally wood. Ornamentation and detailing should be based on historic precedent and be in keeping with the character of the building and entrance design. Modern stock metal doors, metal frame screen doors and sliding glass doors are generally inappropriate.

Secretary of Interior Standards for Rehabilitation

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken. [Recognition of Historic Period]

4. Most properties change over time; those changes have acquired historic significance in their own right shall be retained and preserved. [Retention of Significant Later Alterations and Additions]

9. New additions, exterior alterations, or related new constructions shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. [Compatible Contemporary Design for New Alterations and Additions]

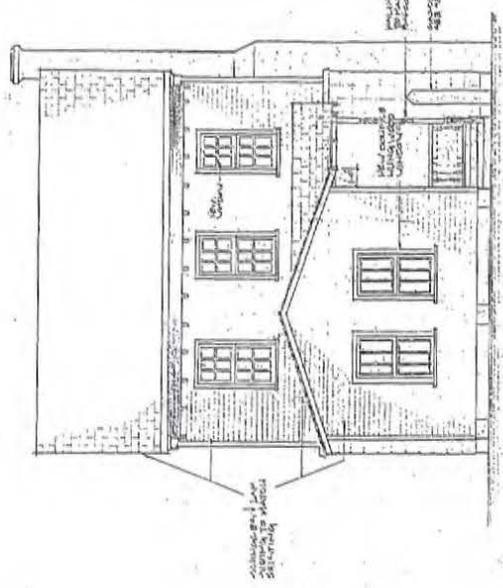
F2018-0106
28 St. Francis Street
August 16, 2018

LIST OF ATTACHMENTS:

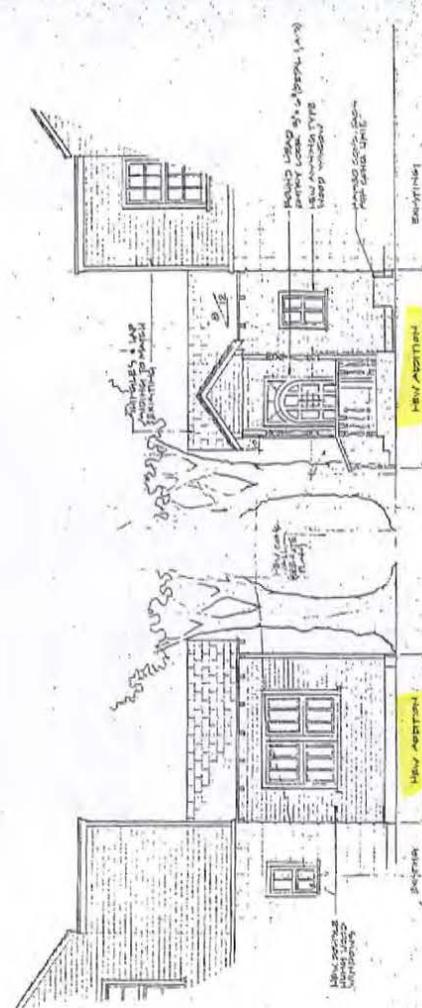
1. Staff Photos
2. Permit for Rear Addition
3. Sanborn Maps
4. Florida Master Site File





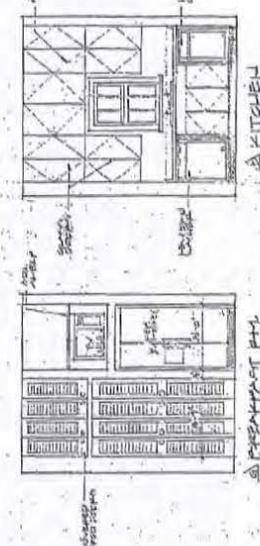


SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



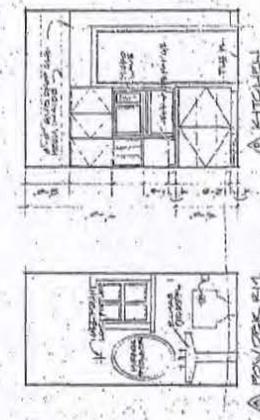
EAST ELEVATION
 SCALE: 1/4" = 1'-0"

WEST ELEVATION
 SCALE: 1/4" = 1'-0"



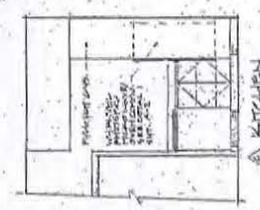
KITCHEN

POWDER RM.

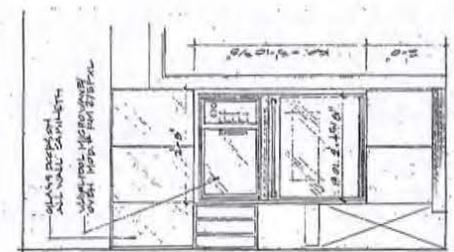


KITCHEN

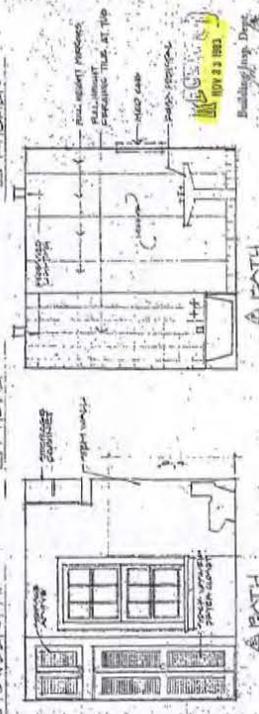
BATH



KITCHEN



CABINET DETAIL
 SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



1879

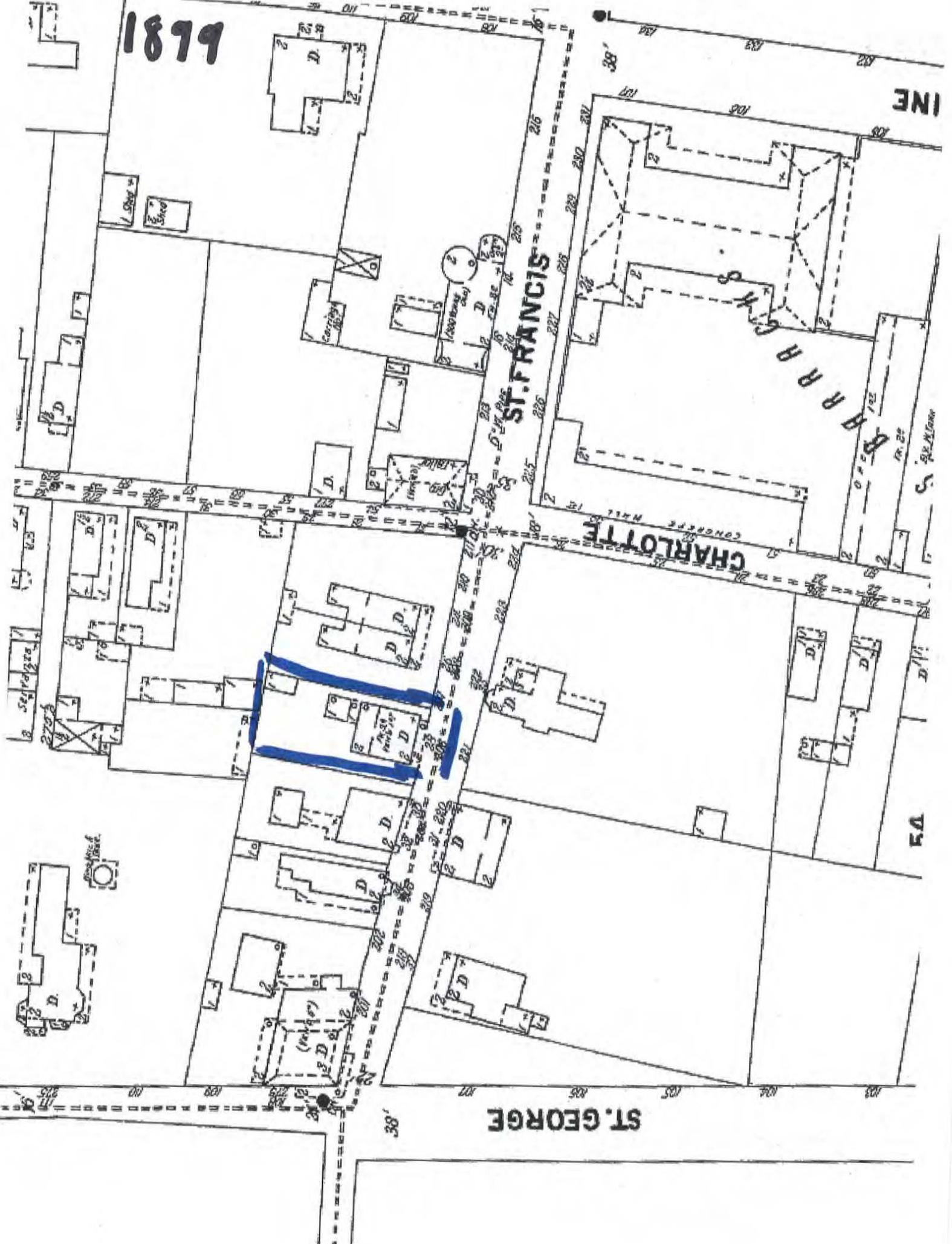
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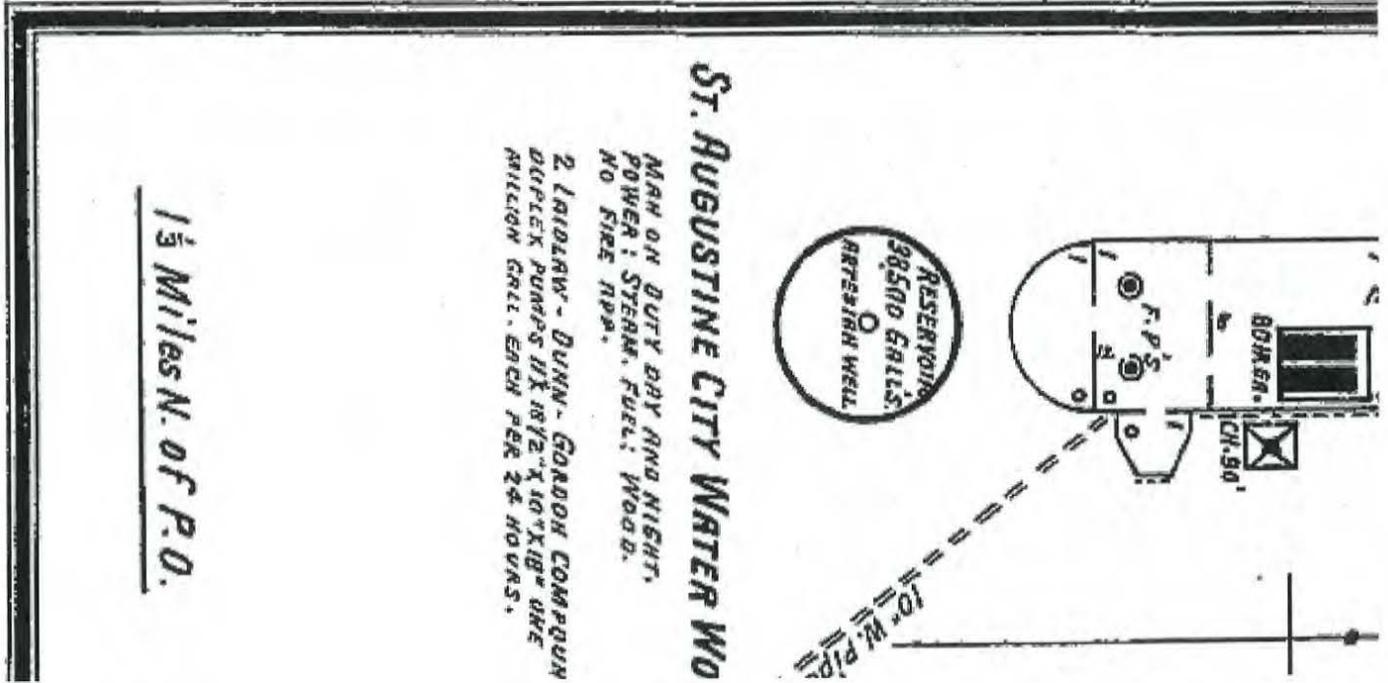
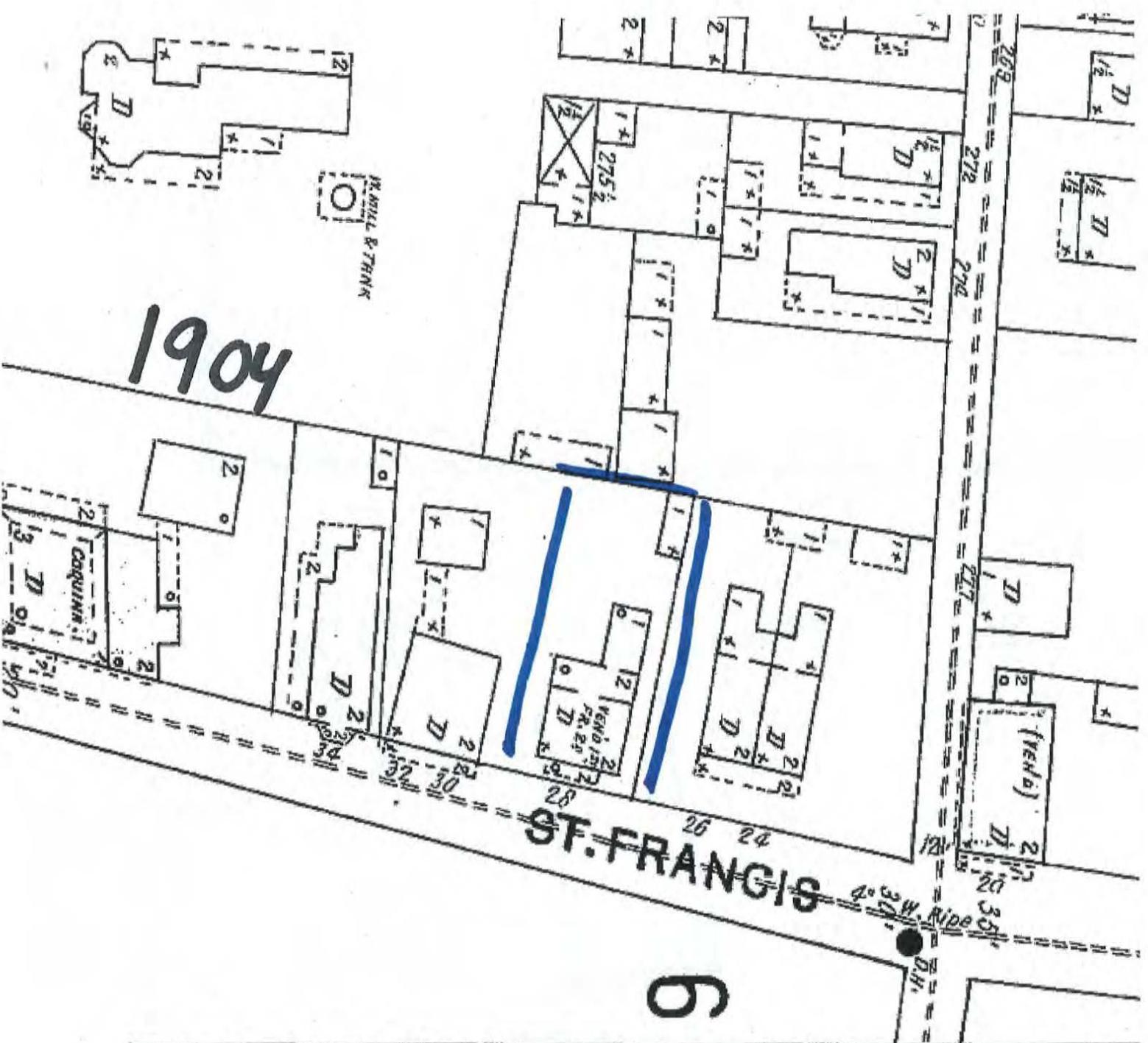
ST. FRANCIS

CHARLOTTE

ST. GEORGE

VA

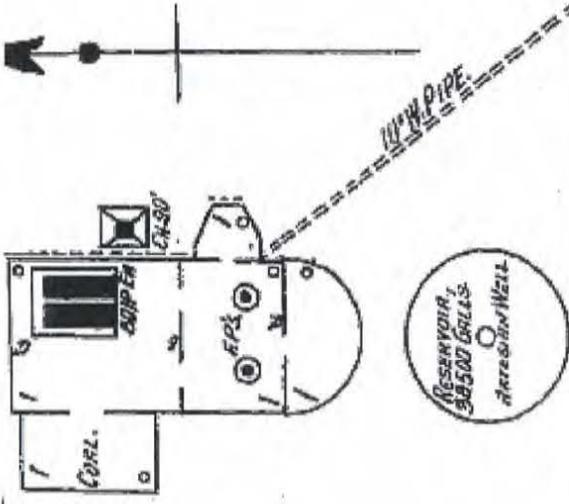




ST. AUGUSTINE CITY WATER WORKS

MAN ON DUTY DAY AND NIGHT,
 POWER: STEAM, FUEL: WOOD,
 NO FIRE H.P.
 2 LARLORW - DUNN - GORDON COMPOUN
 DUPLEX PUMPS 11 1/2" X 10" X 18" ARE
 MILLION GALL. EACH PER 24 HOURS.

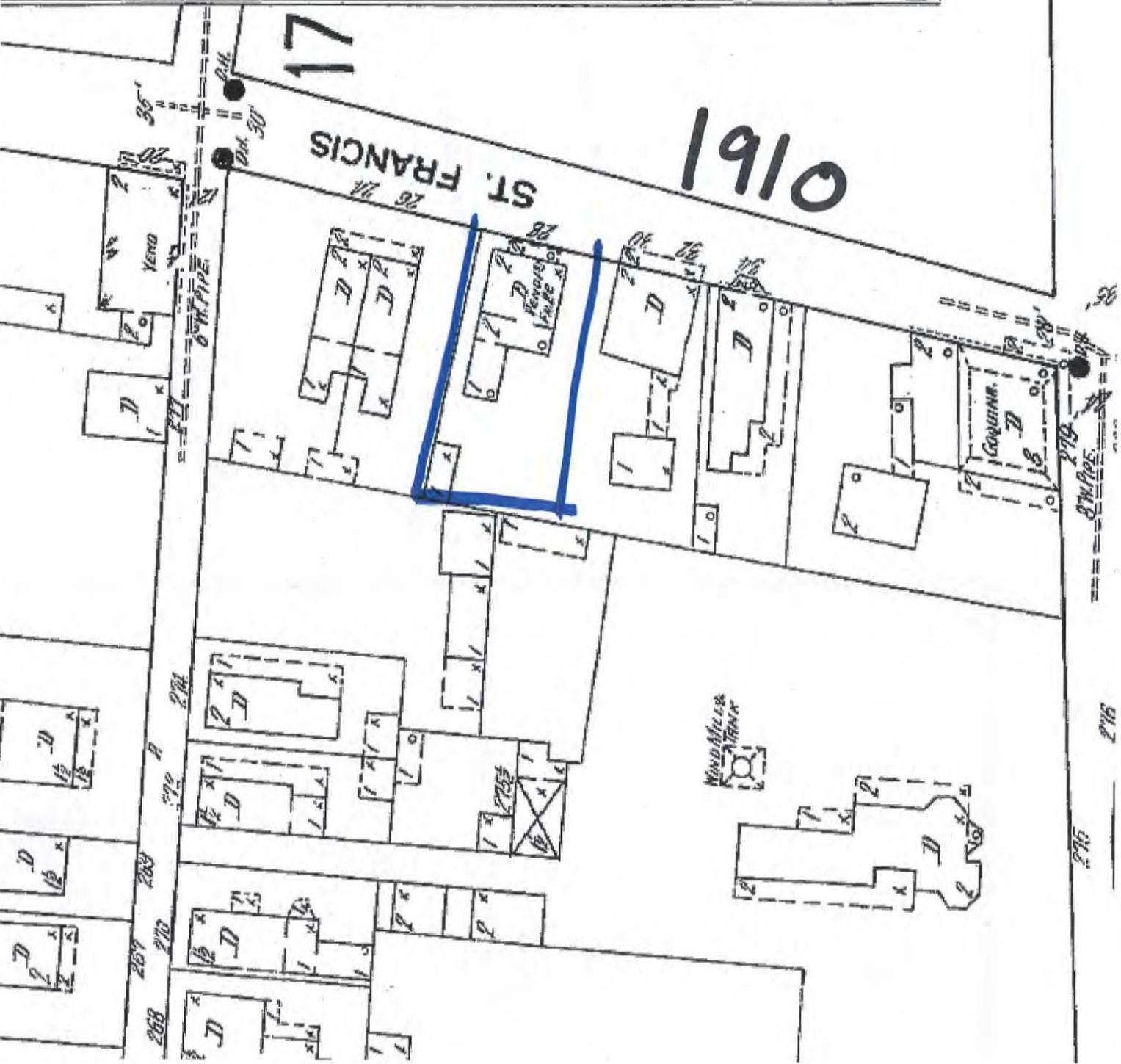
1 1/2 Miles N. of P.O.



RESERVOIR,
30,500 GALLONS
In connection with Well

ST AUGUSTINE CITY WATER WORKS
 MAN ON DUTY DAY & NIGHT. POWER: STEAM.
 FUEL: WOOD. NO FIRE ALARM. 2 LADDER-DUMPS.
 6 WINDMILL COMPOUND DUPLEX PUMPS. 11' x 18' x 10'.
 1 MILLION GALLONS EM IN 24 HOURS.

17



1910

17

ST. FRANCIS

276

275

268

269

270

271

272

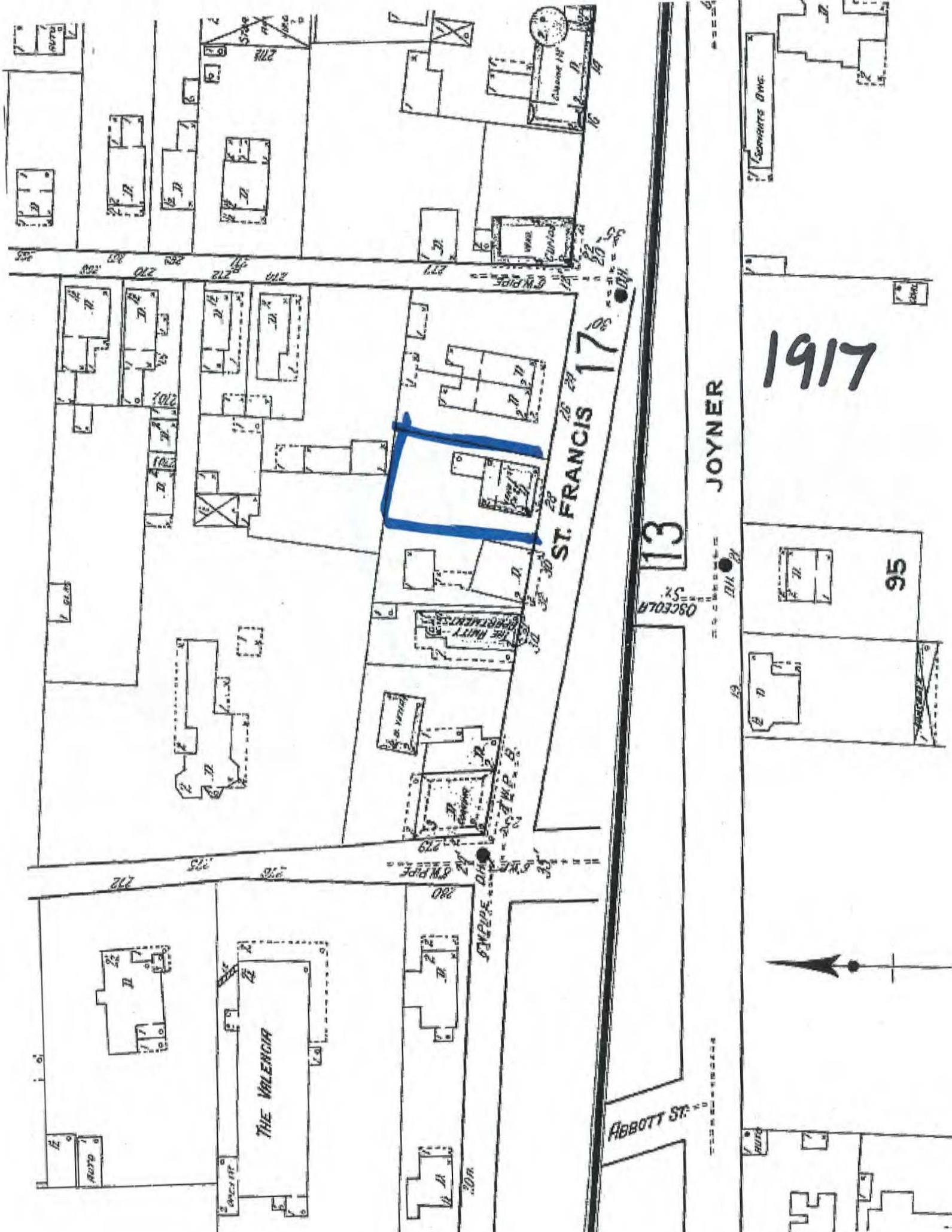
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274

275

276

WINDMILL & TRANK



ST. FRANCIS 17

JOYNER

1917

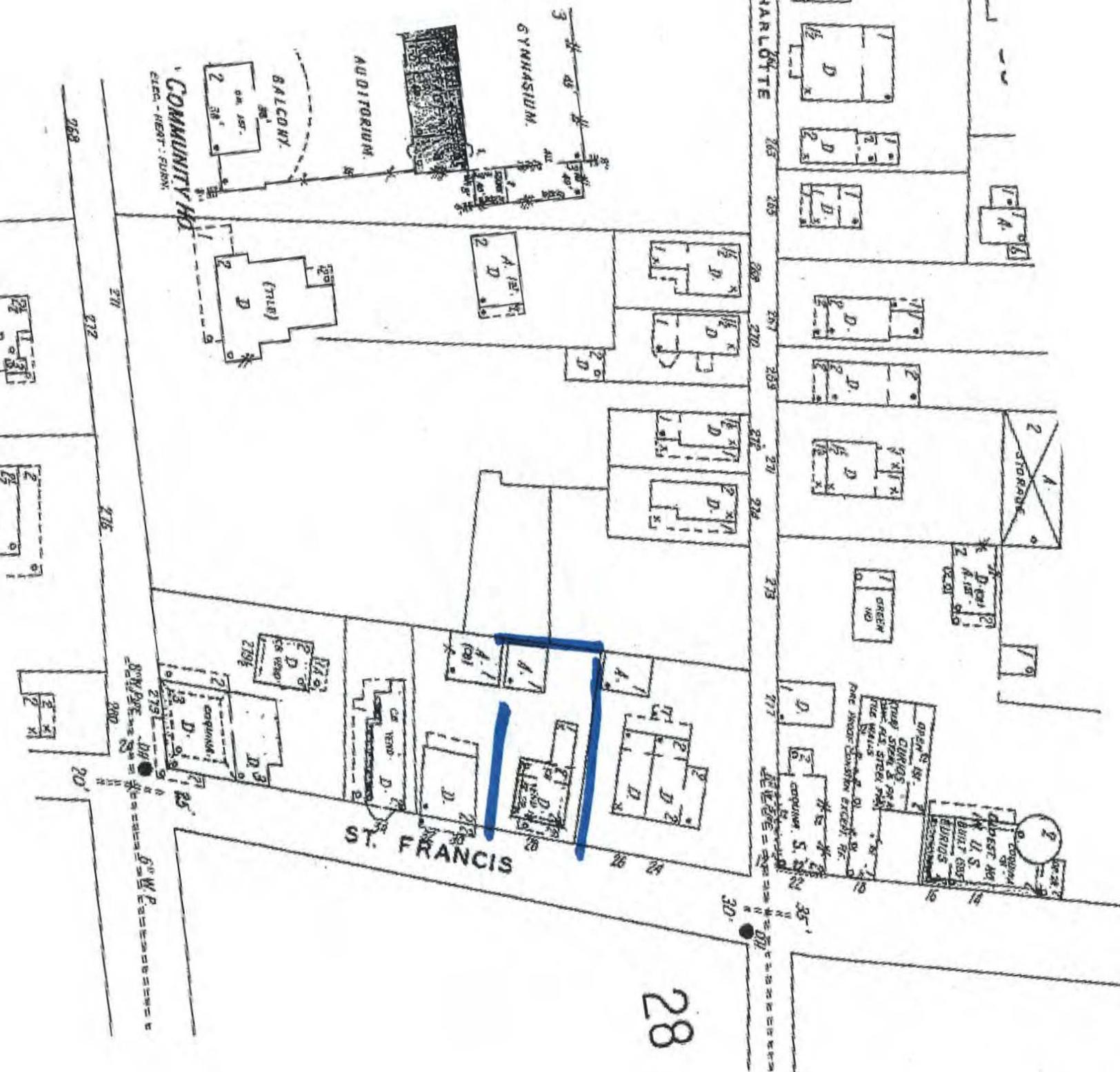
13

95

THE VALENCIA

ABBOTT ST.





1930

CHARLOTTE

265 CHARLOTTE

267

269 CHARLOTTE

271 CHARLOTTE

273

268 231

270

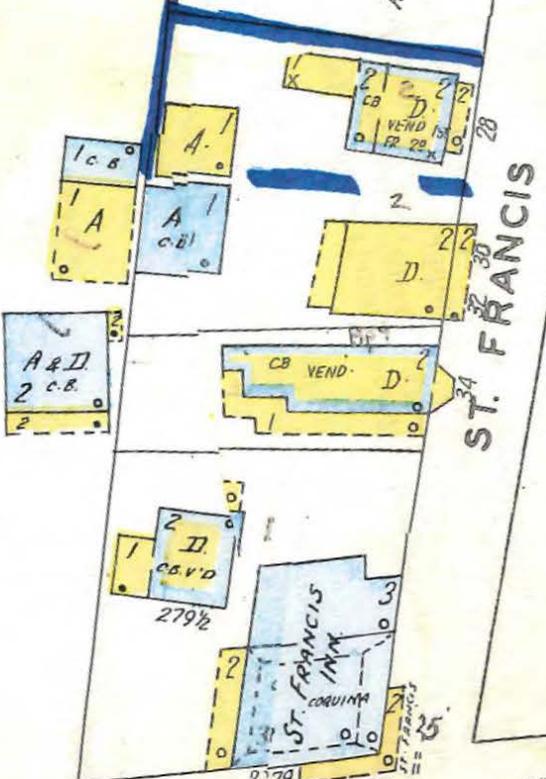
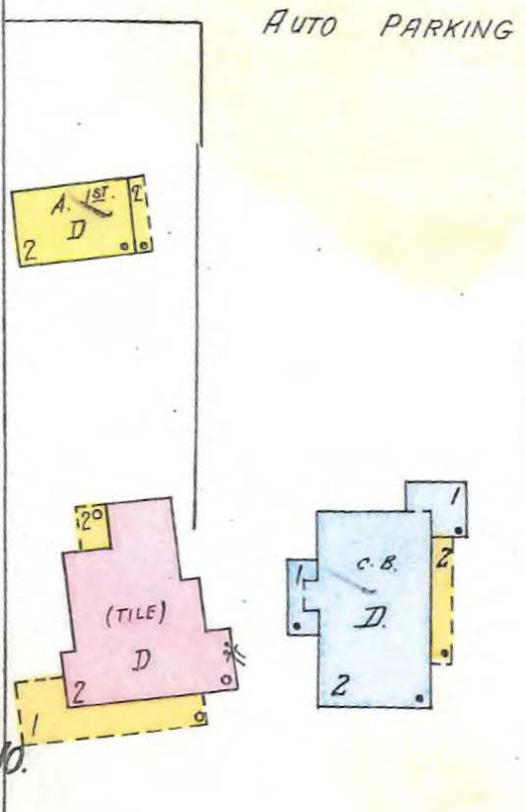
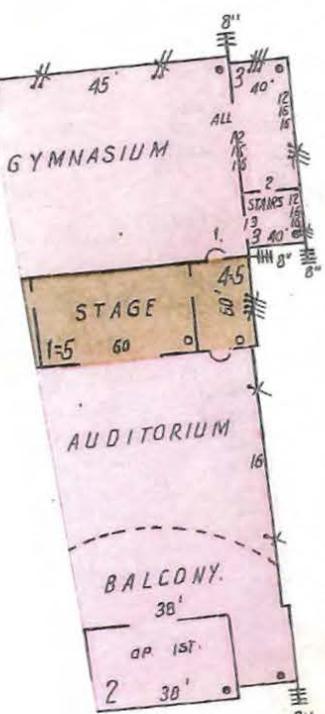
272 CHARLOTTE

6" W. PIPE

35'

30'

28



271

275 ST. GEORGE 277
275

276

268

ST. GEORGE 272

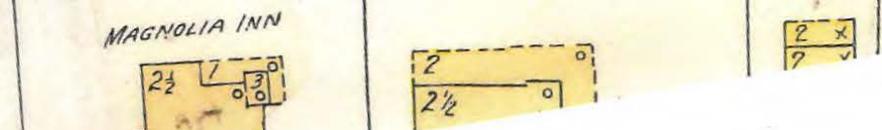
279

ST. GEORGE D.H.

8" W. PIPE

6" W. P.

20'



1953 Edits



City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Planning/Building

July 24, 2018

Elaine H. Darnold, Inc.
9 N. Leonardi Street
St. Augustine, Florida 32084

RE: Project Street Address 28 St. Francis

Ms. Darnold:

Please accept this letter as acknowledgement of your application to the Historic Architectural Review Board meeting scheduled for August 16, 2018. The meeting is scheduled to begin at 1:00 in the Alcazar Room at 75 King Street.

Additionally, this letter notifies you of the sufficiency of your application. The application form includes a checklist which was used to review the documents provided with your application. The formal staff evaluation of the proposed project may recommend additional materials and/or include conditions associated with the staff recommendation. The HARB may request additional information during the course of the public hearing.

Additional materials will be accepted in the Planning and Building Department only up to 10 days before the meeting as per Resolution 2010-09. After that, the HARB has the discretion whether or not to consider any other additional materials presented at the meeting and your application may be continued because of its incomplete status, if applicable.

I look forward to reviewing your application in more detail. A copy of the staff report will be mailed to you at the address provided on the application and if you do not receive it before the week of the meeting please contact our department to obtain a copy.

Sincerely,

Kelli Mitchell

Historic Preservation Planner

IMPORTANT NOTICE: Now that the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the code. Costs associated with legal notice will be assessed by the city and must be paid prior to the issuance of any development permit. Costs associated for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing will also be assessed to the applicant.

75 King Street 32084 - PO Box 210 32085 - Office 904/825-1065 - FAX 904/209-4335

FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM _____ 802== Site No. 8SJ1865 1009==
Site Name: 28 St. Francis Street 830== Survey Date: 7808 820==
Address: 28 St. Francis Street, St. Augustine, FL 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: City of St. Augustine 32 _____ 13 868==
 (subdivision) (block) (lot)
_____ 868==
Owner of Site: Name: Hamilton, Jerre Page & Patricia Ann ;
 Address: P.O. Box 461
 St. Augustine, FL 32084 902==
Occupant or Manager: _____ 904==
Type of Ownership: Private 848== Zoning: HP-1
NR Classification Category: Building 916== Recording Date: _____ 832==
UTM: 17 469980 3306200 890== Location: T07S R30E S18 812==
 (zone) (easting) (northing) (T) (R) (S)
Map Reference: _____ USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David, (Historic Sites Specialist) ;
 Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:		Threats to Site:	
() <u>Excellent</u>	863==	() <u>Zoning</u>	878==
(x) <u>Good</u>	863==	() <u>Development</u>	878==
() <u>Fair</u>	863==	() <u>Deterioration</u>	878==
() <u>Deteriorated</u>	863==	() <u>Borrowing</u>	878==
		() <u>Transportation</u>	878==
Integrity of Site:		() <u>Fill</u>	878==
(x) <u>Altered</u>	858==	() <u>Dredge</u>	878==
() <u>Unaltered</u>	858==	() <u>Other</u>	878==
(x) <u>Original Site</u>	858==		
() <u>Restored - Date:</u>	858==		
() <u>Moved - Date:</u>	858==		

II. SITE DESCRIPTION, continued.

Original Use: Priv. Res. 838== Present Use: Priv. Res. 850==
 Date: +1838 844== Period: 19th cent. 845== Culture: American 840==
 Architect: _____ 872==
 Builder: _____ 874==
 Style: Frame Vernacular 964==
 Plan Type: L-shape 966==
 Exterior Fabrics: Wood weatherboard, with cornerboard, concrete block
(rusticated) 854==
 Structural Systems: Masonry concrete block veneer, wood frame 856==
 Features of Structure: (942)
 Window Type: DHS 2/2, 1/1, 6/6 transom light. 942==
 Foundation: _____ 942==
 Roof Type: Gable 942==
 Secondary Roof Structures: Gable dormers, porch 942==
 Porches & Balconies: Second floor open balcony
 _____ 942==
 Chimney Location: End, exterior, ridge 942==
 Materials: (882)
 Chimney: Stuccoed 882==
 Roof Surfacing: Composition shingles 882==
 Ornament Exterior: Decorative front door, jigsaw brackets, turned
spindle posts & railing 882==
 Quantitative Data: (950-954)
 Chimneys: 1 952== Dormers: 2 954== Stories: 2½ 950==
 Other: _____ 956==
 Surroundings: Residential 864==
 Relationship to Surroundings: Across from restored llambias house and near
Oldest House and St. Francis Barracks, now Headquarters Department of
Military Affairs and National Guard. 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
 Contact Prints



IV. SIGNIFICANCE

Areas of Significance: Architecture, Medicine, Music, Blacks, Commerce,
Women, Literature, Religion, Politics/Government, Social/Humanitarian 920==

Statement of Significance: (911==)

ARCHITECTURE

This two and one-half story Frame Vernacular residence at 28 St. Francis Street was constructed between 1833 and 1838 and is one of the few extant Territorial Period (1821-1845) houses in the city. The structure appears on the 1885 Birds-Eye View as a one and one-half story structure. The 1893 Sanborn Fire Insurance Map indicates the frame building was raised above a concrete first floor. On-site inspection revealed that the upper story was built with wood that bears vertical saw marks, evidence of pre-Civil War construction of that portion of the house. The first floor is also wood frame, with a masonry concrete block veneer. The rusticated concrete is ornamented with an "X" mark scored on each block. A wooden balcony with turned spindle posts and railings is supported by jigsaw brackets. A decorative door opens from the street. Distinctive dormers display weaterboarding running at a 45 degree angle instead of straight across. This style, popular during the Territorial days, is found on two other houses of that era, 76 Spanish Street and 67 Marine Street. Windows in the older section are 6/6, also an indication of age. The first floor living room contains two large wooden columns on either side of the room which appear to be of a decorative nature rather than support elements. The wooden panelling was installed with an angled pattern. Wooden floor boards are set in a pattern of diminishing sizes from the walls to the center of the floor. The pattern is repeated in the ceiling. The house faces the Llabias House, an 18th century structure owned by the city, currently used for club functions and receptions. The Oldest House, a tourist attraction owned by the St. Augustine Historical Society, is on the next block and St. Francis Barracks, now the State Arsenal for the Florida National Guard is nearby.

The area of the colonial city between Bridge and St. Francis Streets is one of mixed usages. Though primarily residential, it includes commercial tourist attractions, religious, and educational buildings. The narrow streets, some still brick, conform to the colonial town plan listed on the National Register of Historic Places. Construction dates in the area range from colonial through modern times. Many of St. Augustine's surviving colonial buildings are located along Marine and St. Francis Streets, including the Oldest House. Along the bayfront and on St. George Street are two of the outstanding Victorian neighborhoods of the city, with many elegant win-

(over)

V. BIBLIOGRAPHY

1. Kathleen Deagan, et. al, "A Sub-Surface Survey of the St. Augustine City Environs," (Tallahassee, 1976); Juan Jose Elixio de la Puente, "Plano . . . de la Plaza de San Agustin," January 22, 1764; Mariano de la Rocque, "Plano Particular de la Ciudad de San Agustin," April 25, 1788; East Florida Papers, Escrituras, 1784-1821; Albert Manucy, The Houses of St. Augustine, 1565-1821 (St. Augustine, 1962), pp. 22-25 and 41-47.
2. Anon., "Copy of a Plan of the City of St. Augustine," 1833; 1885 and 1894 Birds-Eye Views; Sanborn Fire Insurance Maps, 1888-1958.

ter residences from the Flagler era. Some colonial-style buildings have been reconstructed, and other buildings have been remodeled in the St. Augustine Colonial Revival style. The area is bounded on the west by Cordova Street and on the east by the bayfront. The section of Avenida Menendez between Bridge and St. Francis is the major waterfront residential street of the downtown area. The area has suffered many demolitions for parking lots and expanded school grounds over the years. A heavy toll has been taken among Flagler-era buildings. The area continues to feel pressure from the large amount of tourist and school traffic that passes through.

HISTORY

This section of the walled colonial city was first occupied in the 17th century as the early settlement expanded south towards the St. Francis convent. All structures were destroyed in 1702 by the invading South Carolinians, but by mid-century, houses had been rebuilt on all streets except present-day Cordova Street, then the course of the early 18th century Rosario defense line. The northern boundary of the area, Bridge Street, led to one of three late colonial San Sebastian River ferry crossings. The British demolished numerous buildings here, but were the first to build along the bayfront on the east side of Marine Street. The Spanish filled this low-lying land in the 1790's, and substantial residences were thereafter erected on the reclaimed land. The Spanish crown owned considerable property in this section of the colonial city, such as a school building near the southeast corner of Bridge and St. George Streets and the vacant land west of St. George Street where crops were raised by the garrison. Nine colonial buildings have survived in this section, particularly in clusters along Marine and St. Francis Streets: Sanchez, Marin, Puello, Jones and the two Rovira Houses on Marine; Tovar and Oldest House on St. Francis; and the St. Francis Inn on corner of St. George and St. Francis. The Llambias House and the St. Francis Barracks lie on the south side of St. Francis Street.(1) The area remained essentially residential throughout the American period, although several religious structures were built along St. George Street (the non-extant 19th century Presbyterian Church and the 20th century Cathedral Parish School complex) and along Cordova Street (the 20th century Synagogue). Several boarding houses were scattered throughout the area, most notably the St. Francis Inn building and the Valencia Hotel. Taken as a whole, this section has a high concentration of 18th and 19th century buildings on all streets except Cordova which was developed primarily in the 1920's.(2)

This house at 28 St. Francis Street is on the approximate site of the wooden frame house of Antonio Proctor, a "freeman of color" who spanned the British Period (1763-1783), Second Spanish Regime (1784-1821) and Territorial Era (1821-1845) in St. Augustine. The Indian interpreter owned a house and lots 9, 11, 12, and 13 from 1820 until 1830.(3) Proctor sold the "wooden home" to Waters Smith who conveyed the "ground and house" to Joseph Charles Lawton in 1831. No structure appears on the site on the 1833 map, and no house is listed in 1836 land transaction between Samuel Blair, a marshall, and Joshua Joyner, developer of North City.(4) Joyner sold to Mateo Solana in 1838 a "lot of ground with all the buildings, fences, trees, and

improvements thereon". The lot dimensions are the same as those in the Proctor/Smith transaction and the price is a substantial \$1,100, indicating the existence of a house on the lot in question now known to be the adjacent building, 28 St. Francis.(5) In 1872 John L. Wilson acquired the property along with adjacent lots purchased about the same time. The property remained in his name until sold by his heirs in 1923.(6) Frances and John L. Wilson were winter residents of St. Augustine who became deeply involved with the community. A Record article describes Wilson business interests after his marriage in 1837 and the couple's introduction to St. Augustine.

"The couple went to live in Philadelphia, where Mr. Wilson was engaged in the West Indies trade. When an earthquake destroyed Cape Haytien, Hayti, where Mr. Wilson held extensive business interest, he lost every dollar, but he went to that country with his bride. He was soon engaged in exporting coffee and logwood to the firm of A. S. and W. G. Lewis, in Boston, brothers of Mrs. Wilson, and was commission merchant for the Boston firm for the sale of foodstuff in the West Indies. For many years Mr. Wilson was United States consul in Hayti. Mrs. Wilson made thirty voyages in sailing vessels between the West Indies and Boston, visiting her native city nearly every summer. They maintained a yellow fever hospital in Cape Haytien. Gradually Mr. Wilson closed out his interest in the West Indies and retired. In 1855 they came to Framingham and erected an extensive country house on Prospect street, where the woman lived until her death. For many years subsequently to 1868, an account of Mrs. Wilson's health, she and her husband passed the winters in St. Augustine, Florida. There they built a fine home and displayed their interest in the city by presenting a free library to its people, also a selection of choice volumes in it. They had supervision of a home for old colored folk, and gave to the city a clock which was placed in the belfry of the Roman Catholic Cathedral. Mr. Wilson further showed his generosity by causing to be built the first road of oyster shells in St. Augustine.

"In Framingham they generously gave of their fortune to the First Parish (Unitarian) Church, the Home for Aged Men and Women, and endowed a free bed in Framingham Hospital.

"Mr. Wilson died in St. Augustine, April 7, 1899, but it was several years afterward before Mrs. Wilson gave up her winter residence. In the past few years she remained the year round on her estate on Prospect street, and daily

enjoyed a drive in her carriage to town, rain or shine."(7)

A Taler article aptly describes the Wilson's influence and industry in establishing a library in the city.

"St. Augustine may well pride herself upon her public library, practically free, as the small sum of twenty-five cents a year and five cents for renewing a card is the only cost. It is quite true that comparatively few books of reference are on its shelves, nevertheless the library has done incalculable good in the community.

"Mr. and Mrs. John L. Wilson may well be regarded as benefactors, as they first conceived it, interesting others and crowning the good work with the gift of the building the library now occupies, thus preserving one of the old landmarks of the city, and giving the library a home that will last a century. In addition to this, several rooms of the building have been given for the scientific and historical collections, and the donors are greatly interested in securing one worthy of the place.

"The Library Association was first suggested by Mrs. John L. Wilson, who interested winter residents and visitors, who held a meeting on the 16th of April, 1874, when an organization was effected, with the first object to advance knowledge and general intelligence by establishing a free public library, and also to form a historical society to collect and preserve everything pertaining to the history of the city and State. It was also intended to establish a museum of natural history, to erect an edifice with rooms suitable for the different objects to be attained, and also to have a hall for public lectures and social entertainments.

"Mr. Holmes Ammidown was the first president, with Mr. John L. Wilson secretary and treasurer. At the time of the organization, it was necessary to pay \$25 in order to become a member; that rule, however, has been modified, as members passed away and it became necessary to fill the places. This, however, does not increase the revenue of the association, while the needs of the library are constantly increasing. The library greatly needs a new dictionary and encyclopedia and other books of reference. There are no doubt many visitors to the city who would gladly contribute to such a worthy object were the matter brought to their notice. Will not some of the visitors take that matter in hand and aid the good work?

The library building is a perfectly free gift from Mr. and Mrs. Wilson, in addition to many other generous gifts of money and books, besides managing the library for more than twenty years, and it seems only just that others should endeavor to supplement the good work."

Both the Wilson's worked closely with the Colored Industrial School, John as president and Frances as vice president of the Ladies Executive Board.(8) Occupants during the time of Wilson's ownership included T. E. B. Kernan, a drugist around the turn of the century, and William Rolleston, a jeweler. In 1925 the house was purchased by Maye and Charles C. Bagwell. Charles Bagwell was a dentist who operated the dental clinic at the Florida School for the Deaf and the Blind as well as running a private practice. Maye Bagwell was the Cathedral organist for many years and grand regent of the Catholic Daughters of America.(9) She remembers hearing tales of a library functioning from the first floor of her house before they resided there. Possibly it was an interim resting place for the volumes before finding a permanent home in the Kirby-Smith building. Mrs. Bagwell also remembers being told that John Wilson raised the one and one-half story house to another level in 1890, a fact supported by the existence of a one and one-half story building on the 1885 Birds-Eye and a two and one-half story residence on the 1893 Sanborn. Oral legend also states that a plaque with "Wilson, 1890" hung beside the front door. A plain piece of masonry east of the entrance could have held a plaque.(10) The Bagwell family remodeled at various times with the expert assistance of carpenter and contractor Charles Leyvraz. Leyvraz, a neighbor for a time was also city commissioner in 1946.(11) A fire in 1927 destroyed the original livingroom mantel piece, probably resulting in a replacement fashioned by Leyvraz. The Bagwells also built the garages in an area formerly a bamboo yard. They sold the house around 1960 to Mrs. Ruth Beagle, the proprietress of an Antique Shop. The current owner, Patricia Hamilton, has restored much of the old wood, particularly the wide-board floors, of the original house to its natural appearance.(12)

ARCHAEOLOGY

For archaeological significance of the walled colonial city see Master Site File Form 8SJ10.

-
3. Malcom B. Johnson, Red, White, and Bluebloods (Tallahassee, 1976), pp. 118-128; St. Johns County Courthouse Deed Records, Book I-J, p. 13.
 4. Deed Book I-J, p. 13; Book I-J, p. 191; Anonymous map, 1833; Book N, p. 72.
 5. Deed Book N, p. 71.
 6. *Ibid.*, Book T, p. 503; Book 49, p. 363.
 7. St. Augustine Record, March 8, 1920.
 8. Tatler, March 13, 1897, p. 3; St. Augustine City Directory, 1885.
 9. Elliot's Florida Encyclopedia, 1889; City Directory, 1904, 1927-28, 1930, 1934.
 10. Interview with Sister Saint Charles by Karen Harvey, April 12, 1980; H. Wellge, eng., "View of the City of St. Augustitne, Florida, 1885" (Boston, Massachusetts); Sanborn, 1893.
 11. City Directory, 1947.
 12. *Ibid.*, 1962; Interview with Sister Saint Charles.

SITE DATA SHEET

CITY DIRECTORY LISTINGS

Address 28 St. Francis Street

CITY OF ST. AUGUSTINE
Block & Lot Block 32, Lot 13

Other Addresses _____

Year	Principal Resident	Occupation	Race	Other Residents	Occupation	Race
1977	Hamilton, Jerre P.	Ham's Nurseries	W X	Hamilton, Patricia	Owner	
1976	"					
1975	"					
1974	The Beagle Antiques	---		Beagle, Ruth E.	Owner	
1973	"					
1972	"					
1971	"					
1970	"					
1969	"					
1968	"					
1966	"					
1965	"					
1962	Vacant					
1960	Bagwell, May P. (Mrs.)	Owner-Widow Charles C.	W X			
1959	"					
1957	"					
1955	"					
1953-4	"					
1951	"					
1949	"					
1947	"					
1945	"					

SITE DATA SHEETCITY DIRECTORY LISTINGSAddress 28 St. Francis Street, continued.

Block & Lot _____

Other Addresses _____

Year	Principal Resident	Occupation	Race	Other Residents	Occupation	Race
1940	Bagwell, Mae (Mrs.)	Widow-Charles C., Clerk				
1937	Bagwell, Charles C.	Dentist				
1934	"	"				
1930	"	Dental surgeon				
1927	"	Dentist				
1924-25	"	"				
1922-23	Adams, J.S. (Mrs.)	Widow-Hamilton C. - Editor - The Programme				
1920-21	"	---				
1918-19	"	Widow-H. Seagrave				
1916-17	Shallibra, C.J. (Mrs.)	Widow-Fordham				
1914-15	"	Dressmaker				
1911-12	Vacant	("Shallibra, Clara J. - dressmaker - 20 St. Francis St., h same")				
1904	Rolleston, William	Jeweler		Rolleston, Lillian	Millinery	
1899	No listing for 28 St. Francis St.			("Rolleston, W. - jeweler 138 St. George St.")		
1885	---	("Rolleston, William - watchmaker - St. George St.")				

City of St. Augustine, Block 32, Lot 13,

28 St. Francis

Grantor	Grantee	Date	Source	Lot
① Anthony Proctor	Waters Smith	10/13/30	IJ 13	Pl 9, 12, 13
② Waters Smith	J.C. Lawton	3/24/31	IJ 191	Pl 9, 11-13
③ Hrs. of Placedo	Joshua Joyner	3/7/35	M481	9, 11-13
Sotelo				
④ Joshua Joyner	Mateo Sotelo	2/12/38	N 71	11-13(7)
⑤ " "	Chas. Lawton Jr. Tr.	9/13/36	M444	11-13
⑥ A.C. Hernandez	John L. Wilson	8/12/72	T503	12, 13
⑦ Isadora Masters	John L. Wilson	3/20/90	PP 588	13
⑧ " " Gdn.	John L. Wilson	3/20/90	PP 590	13
et al				
⑨ Isadora Masters	John L. Masters Wilsons	3/20/90	QQ 128	13
⑩ Gustavus Clapp Ex + Th. Est. F.L. Wilson	Daisy F. Hendrick + Edgar Pilgrim	4/7/23	49-363	9-21
⑪ Frank N. Clapp + Edith	"	3/31/191-	49-365	"
⑫ Francis W. Humphrey + H.G. Whitney, widows	"	3/23/191-	49-367	"
⑬ Amy D. Lottorot (ne Clapp)	"	3/20/23	49-370	"
⑭ Georgina L. Weis, et al	"	3/27/23	49-374	"
⑮ Frederick L. Weis, singh	Daisy F. Hendricks + Edgar A. Pilgrim	6/6/23	49-593	"
⑯ Daisy F. Hendrick + hus, Edgar Pilgrim + wife	W.H. Nobles	11/1/23	50-378	"
⑰ W.H. Nobles + Mary E.	Charles C. Bagwell + Mary Paris	6/12/24	51-601	"
⑱ Charles C. Bagwell + Mary P. Bagwell	Sophia E. Blake + hus.	4/28/25	58-192	12, 13
⑲ Mary Paris Bagwell, wid.	Ruth E. Beagle	10/3/60	260-559	13
⑳ Ruth E. Beagle	Jerro Page Hamilton	7/11/73	OR 235-190	13
㉑ Jerro Page	Patricia	3/28/78	OR 369-373	13

THE DEATH OF MRS.
FRANCES L. WILSON

Thanks to the thoughtfulness of Mrs. Ernest Sabin, of Beverly, Mass., formerly Miss Anna Enslow, of St. Augustine, a copy of a newspaper has been sent to The Evening Record containing reference to the death of the late Mrs. Frances L. Wilson, one of the best friends St. Augustine ever had, because of her interest in establishing the St. Augustine Public Library. This paper prints a dispatch from Framingham, under date of March 2, as follows:

"Mrs. Frances Wilson, Framingham's oldest resident, who celebrated her 100th birthday anniversary on November 5, 1919, died yesterday at her home on Prospect street of pneumonia. She was stricken on Sunday, and death resulted in less than thirty-six hours. The funeral will take place on Wednesday afternoon, with Rev. Dr. Calvin Stebbins, retired minister of First Parish (Unitarian) Church, officiating.

"Mrs. Wilson was born in Boston on November 5, 1819, the daughter of Mr. and Mrs. Thomas Lewis. Her grandfather, Thomas Lewis, built Lewis wharf, in Boston, and during many years was in the foreign shipping trade in that city. The story of Mrs. Wilson's early life is that of early Boston, with no Back Bay, as now; no railroads and no steamships. Roxbury was out in the country and cows pastured on Boston common. She came of a long-lived family. Her mother died at the age of 86, her grandmother at 96, and her great-grandmother at 94, and her great-great-grandmother at 95. She traced her ancestry back to the Mayflower three times—to William Brewster, James Tilley and John Howland. Her father was thrice married and there were nine children, Mrs. Wilson being one of three by the last wife. When Mrs. Wilson was four years old her father was killed, being thrown from a carriage. Mrs. Wilson attended Miss Martha Twing's school on Beacon street and subsequently the school of George B. Emerson, brother of Ralph Waldo Emerson, while another pupil at the time was Mrs. Julia Ward Howe. While traveling down the Mississippi by boat and across Florida by stage, with Mr. and Mrs. S. S. Lewis, her brother-in-law and sister, she met her future husband, John L. Wilson, of Charleston, S. C., and they were married October 26, 1837, in the First Unitarian Church, Roxbury, by the Rev. Dr. George Putnam. Mrs. Wilson was the first bride in the new edifice

The couple went to live in Philadelphia, where Mr. Wilson was engaged in the West Indies trade. When an earthquake destroyed Cape Haytien, Hayti, where Mr. Wilson held extensive business interests, he lost every dollar, but he went to that country with his bride. He was soon engaged in exporting coffee and logwood to the firm of A. S. & W. G. Lewis, Boston, brothers of Mrs. Wilson, and was commission merchant for the Boston firm for the sale of foodstuffs in the West Indies. For many years Mr. Wilson was United States consul in Hayti. Mrs. Wilson made thirty voyages in sailing vessels between the West Indies and Boston, visiting her native city nearly every summer. They maintained a yellow fever hospital in Cape Haytien. Gradually Mr. Wilson closed out his interests in the West Indies and retired. In 1855 they came to Framingham and erected an extensive country house on Prospect street, where the woman lived until her death. For many years subsequent to 1868, on account of Mrs. Wilson's health, she and her husband passed the winters in St. Augustine, Florida. There they built a fine home and displayed their interest in the city by presenting a free library to its people, also a selection of choice volumes for it. They had supervision of a home for old colored folk, and gave to the city a clock which was placed in the belfry of the Roman Catholic Cathedral. Mr. Wilson further showed his generosity by causing to be built the first road of oyster shells in St. Augustine.

In Framingham they generously gave of their fortune to the First Parish (Unitarian) Church, the Home for Aged Men and Women, and endowed a free bed in Framingham Hospital.

Mr. Wilson died in St. Augustine, April 7, 1899, but it was several years afterward before Mrs. Wilson gave up her winter residence. In the past few years she remained the year round on her estate on Prospect street, and daily enjoyed a drive in her carriage to town, rain or shine."

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sale.

St. Augustine Record
March 8, 1920

sa-32-13

Page 2, The St. Augustine Record This Week, February 9-10, 1974

Hail Victorian! A New Life For Old Home

By ANNE CARLING
Women's Editor

"I don't think there will ever be a before and after, they'll always be a project," Jerre Hamilton admitted of the Victorian-style home he and his wife, Patti, moved into about six months ago.

Interested in antiques ever since they began obtaining furniture when they were first married, the young Hamiltons describe their 28 St. Francis St., residence as the "ultimate antique."

BUILT AROUND 1880-1890, the home was discovered by the couple last March.

"It was too easy," smiles Patti, recounting that they saw a small "for sale" sign in the window one night while attending a meeting of the Arts and Crafts Council in the nearby Lambias House.

Jerre inspected the home several days later, and "we entered into a contract immediately," he says. It took about four or five months until they could move in, however, because they first had to sell their Davis Shores home.

"**PEOPLE ARE MORE** interested in Spanish, but I think they should show more of an interest in Victorian, too," says Jerre. "This is typically Victorian with the paneling," he explains pointing to the living room walls. "These walls were originally varnished," but the lady from whom they purchased the dwelling painted them "because she had an antique shop" and needed brighter walls.

We hope to eventually paint the molding a contrasting color, Patti adds.

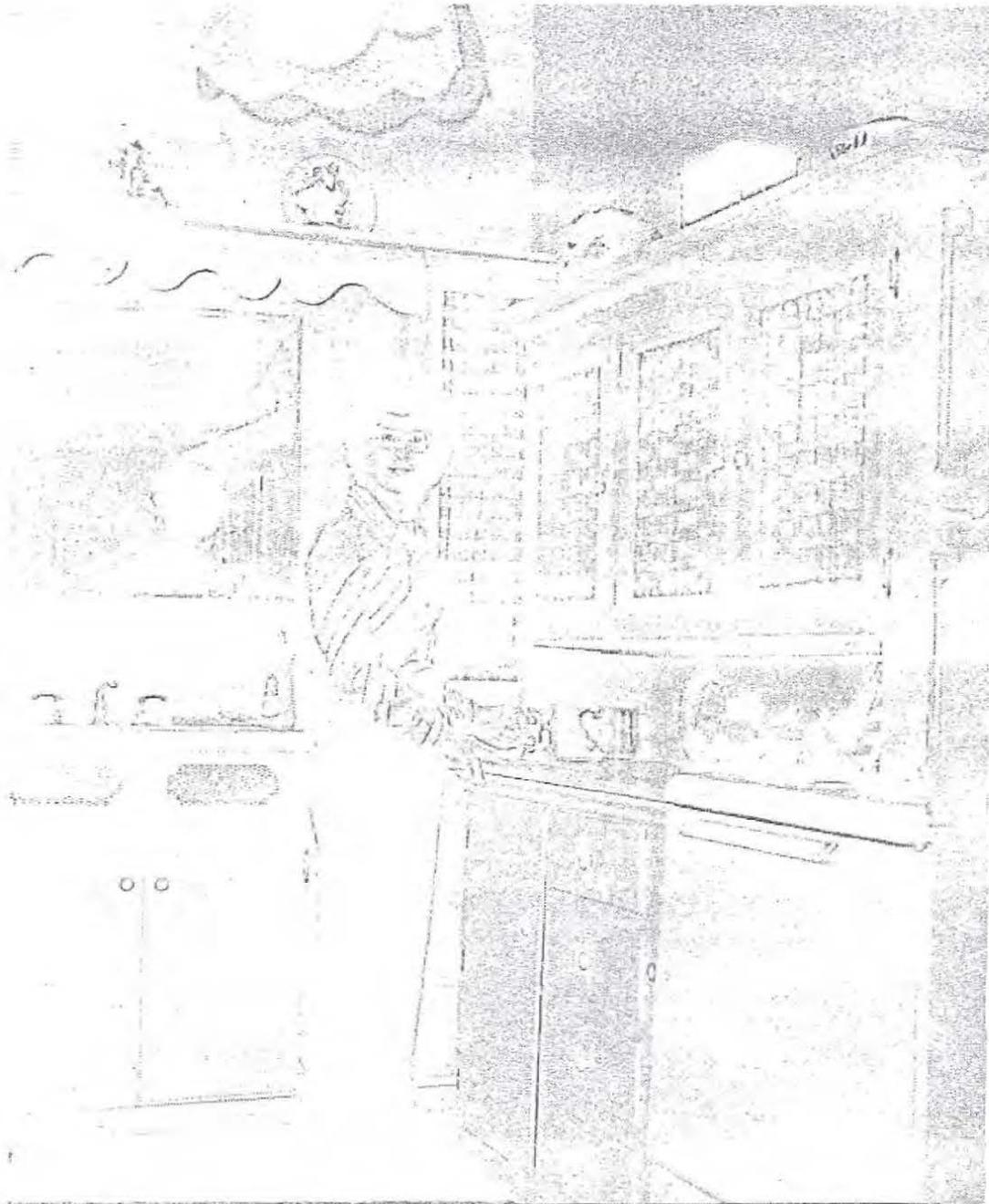
"**THIS IS THE** ultimate antique" Jerre quips, explaining that they became interested in antiques out of "self defense . . . We didn't have anything to speak of" in the way of



Record Photos By Anne Carling

FIRST FLOOR LIVING ROOM HAS ONE OF TWO FIREPLACES IN HOME

furniture, so they started going to house sales and became



PATTI ENJOYS ATTRACTIVE RED AND WHITE KITCHEN

interested through those sales.

Now, they spend their vacations along the east coast hunting for antiques. They've found, though, says Jerre, that Florida is a much better market because people retire here and bring "their really good pieces of furniture with them."

They've acquired their antiques "here and there," some in town, some in Orlando and some in Williamsburg.

THE HOUSE IS in "real good shape" structurally, Hamilton explains. It only needs "sprucing up."

"We've got about 15 projects going" he says of the eight rooms and full attic. The house has been fully draped, they've finished painting the upstairs sitting room, dressing room and bedroom.

And, Patti and her parents, Mr. and Mrs. Virgil Wright, also of St. Augustine, scraped the floor by hand.

HAMILTON'S ALREADY begun painting the outside. After tearing down a lot of ivy, he put new screens in and did a little landscaping.

Right now, though, he grins, he's still got the "Christmas olddrums," and "it takes me three hours to get in gear."

With the only heat for the three-story home provided by two fireplaces, one in the downstairs living room and the other in the second-story sitting room, Hamilton describes the house as one in "which you've got to walk slowly, anyway. It's a little warm in the summer, and you have to turn yourself in the winter" in front of the fire, he admits. But wife, Patti adds, "our electric bill is only between \$9-11." A friend in Jacksonville who has a one bedroom apartment pays between \$36 to \$46 per month!

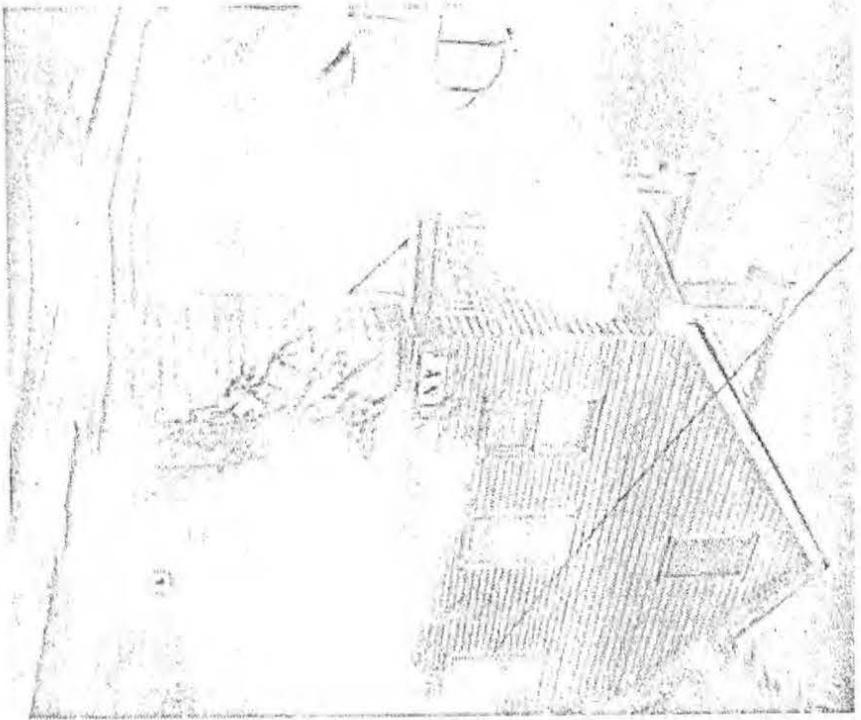
BEING ON ST. FRANCIS Street near the Oldest House — it's right next door to the Oldest House parking lot — the Hamiltons have found themselves greeted by numerous tourists who are hunting the Oldest House!

"We've had to put a sign on the door saying 'private residence,'" says Patti. Before they put it up, "people just trooped in the house," Jerre adds, so now he's careful about locking the door.

"You didn't ask about the ghosts," he continues, explaining that ghosts are the only logical explanation for the leak from the second to first floors.

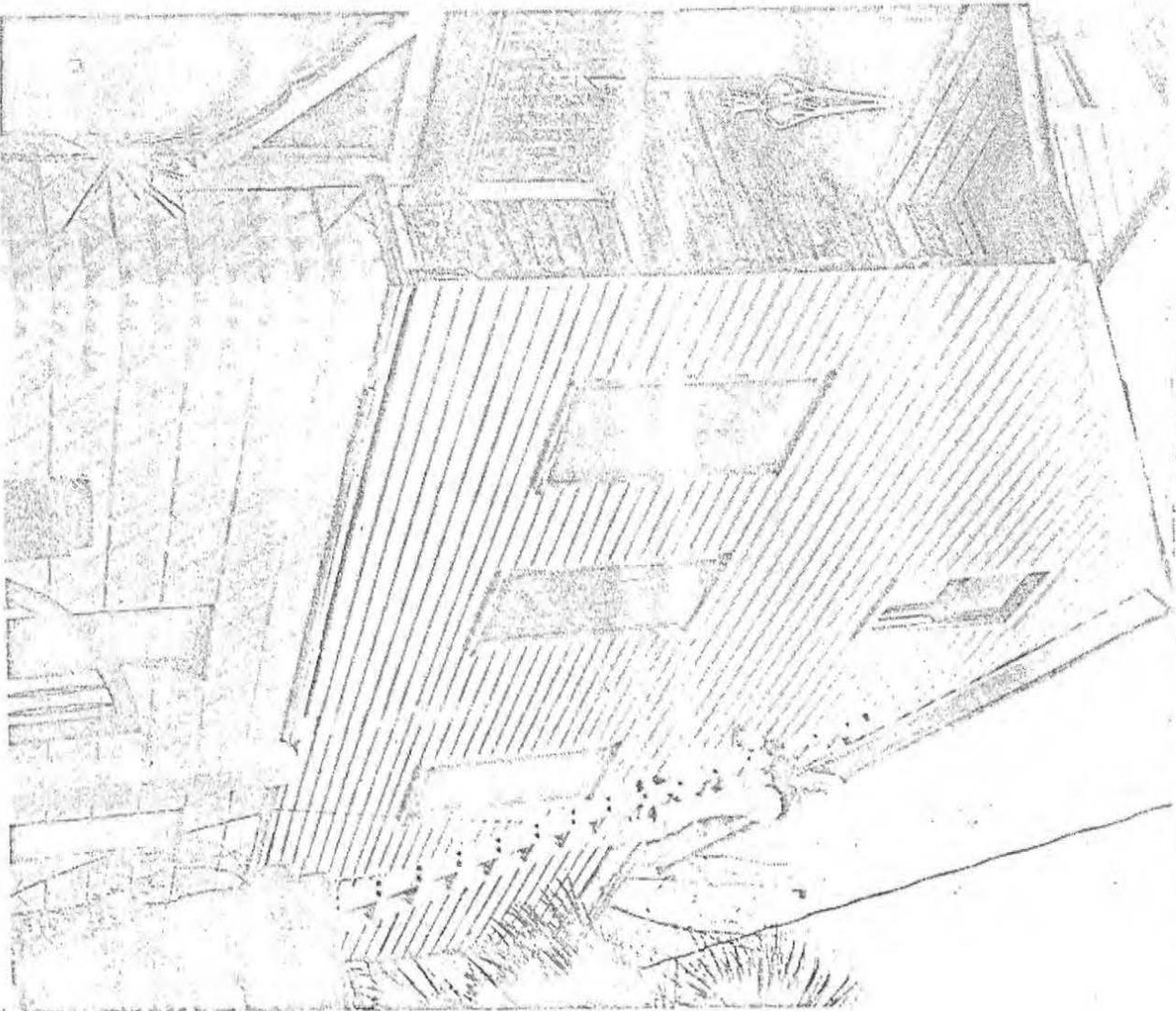
It can rain "cats and dogs for days and there is not one drop." But, let a little squall come, and "it rains quarts."

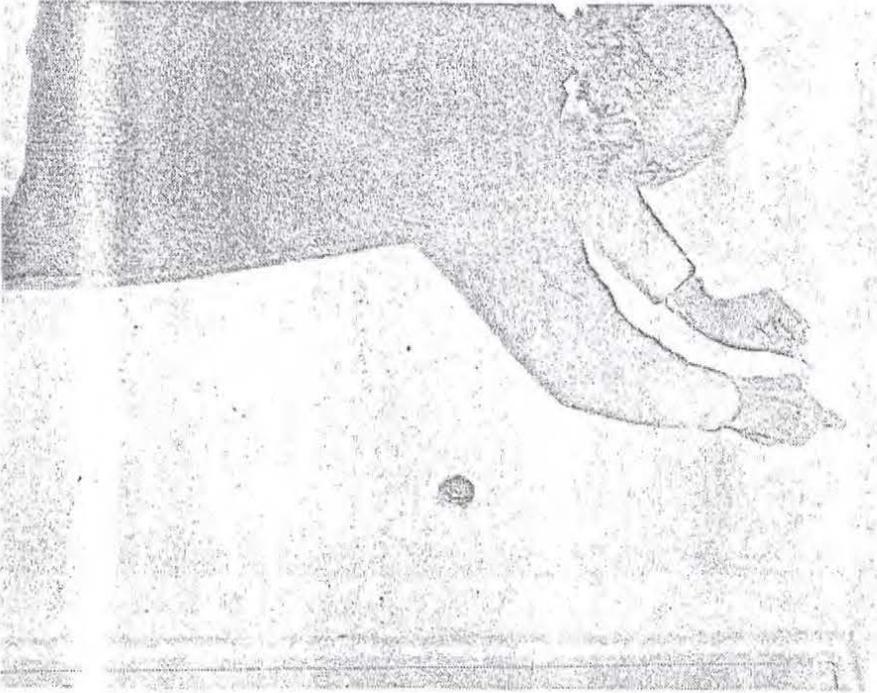
"It's got to be ghosts," he shrugs, grinning.



Before And During

The photo above shows how the Victorian home looked when the couple purchased it, in obvious need of repair. At right, a more recent photo shows Jerre adding another coat of paint. He already has removed some of the ivy from side of building and the adjoining fence.





SCRAPING OFF OLD PAINT A REGULAR JOB

(1)

10	11	12	13	14
74	39-6	41-6	41	51-6

SITE DATA SHEETDEED RECORDSAddress 28 St. FrancisBlock & Lot SA 32/13

Date	Grantor	Grantee	Price	Remarks	Source
10/13/1830	Anthony Anthony Newton "free man of color of middle Florida"	Waters S.M.M.	\$400	"wooden home S - St Francis W - lot of Daniel Fleischman + lot of Colonel James Grant Forbes N - lot of William Bulmer E - lots of Benjamin Alvord, Joseph Manning + Magdalena Day E-W = 24 1/2 varas N-S = 53 1/2 varas	I-J, p 13
3/24/1831	Waters S.M.M.	Joseph Charles Lawton (Charleston, S.C.)	\$400 (correct)	"ground & house of St Francis St"	I-J, p 191
		lots 9, 11-13			

2

SITE DATA SHEET

DEED RECORDS

Address 28 St. Frances

Block & Lot 507 32/13

Date	Grantor	Grantee	Price	Remarks	Source
2/12/1835 Feb, 12 1836	Joshua Samuel Blau, Marshall	Joshua Turner	-	property conveyed to Turner by Blau	N, p 72
2/12/1835	Joshua Turner	Mateo Solana Deed in Trust investing trust money "in the purchase of certain real estate"	Bills (copy)	"lot of ground with all the buildings, fences, trees & improvements thereon" S - St Frances / Barron St W - lot formerly of heirs of Vicente Casaly E - lot formerly of Antonio Mestre N - lots of Daniel Jones & Josephina Pacheco + formerly owned by John Ryder E-W = 24 1/2 varas N-S = 53 1/2 varas	N, p 71

SITE DATA SHEET

DEED RECORDS

Address 28 St Francis

Block & Lot 5th 32/13

Date	Grantor	Grantee	Price	Remarks	Source
5/12/1872	Angelina C. Hernandez + Ramon Hernandez her husband	John L. Wilson	\$600	"corner lot or parcel of land" S - St Francis E - lots 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32 + E of St Francis N - land of Wilson W - Wilson + J. Hernandez E-W = 46' N-S = 166'	T, p 503
2/20/1890	Isadore Manders	John L. Wilson	\$1800	buys 46'0" to the east along St Francis	D.D., p 508-90
11/7/1923	Estate of John Wilson	Daisy E. Hendrick + Edgar Dignin	\$25,000	lots 9-21 Block 32	49, p 363

City of St. Augustine, Block 32, Lot 13, 28 St. Francis

Grantor	Grantee	Date	Source	Lot
① Anthony Proctor	Waters Smith	10/13/30	① IJ 13 X	Pl 9, 12, 13
② Waters Smith	J & C. Lawton	3/24/31	② IJ 191 X	Pl 9, 11-13
③ Mrs. of Placido / Sotelo	Joshua Joyner	3/7/35	③ M48P X	9, 11-13
④ Joshua Joyner	Mateo Sotelo	2/12/38	④ N 71 X	11-13 (5)
⑤ " "	Chas. Lawton Jr. & Tr.	9/13/36	⑤ M444 X	11-13
⑥ A.C. Hernandez	John L. Wilson	8/12/72	⑥ T503 X	12, 13
⑦ Isadora Masters	John L. Wilson	3/20/90	⑦ PP 588 X	13
⑧ " " (wid)	John L. Wilson	3/20/90	⑧ PP 590 X	13
⑨ Isadora Masters	John L. Masters ^{Wilson}	3/20/90	⑨ QQ 128 X	13
⑩ Gustavus Clapp Ex + Tr. Est. F.L. Wilson	Parsy F. Hendrick + Edgar Pilgrim	4/7/23	⑩ 49-363	9-21
⑪ Frank N. Clapp + Edith	"	3/31/191-	49-365	"
⑫ Francis W. Humphrey + H.G. Whitway, widows	"	3/23/191-	49-367	"
⑬ Amy D. Lottbroff (ne Clapp)	"	3/20/23	49-370	"
⑭ Georgina L. Weis, et al	"	3/27/23	49-374	"
⑮ Frederick L. Weis, single	Daisy E. Hendricks + Edgar A. Pilgrim	6/6/23	49-593	"
⑯ Daisy E. Hendrick + hus, Edgar P. Pilgrim + w. Fe	W.H. Nobles	⑯ 11/1/23	50-378	"
⑰ W.H. Nobles + Mary E.	Charles C. Bagwell + Mary Paris	6/12/24	51-601	"
⑱ Charles C. Bagwell + Mary Bagwell	Sophia E. Blake + hus.	4/28/25	58-192	12, 13
⑳ May Paris Bagwell, wid.	Ruth F. Beagle	10/3/60	260-559	13
㉑ Ruth F. Beagle	Ferro Page Hamilton	7/11/73	OR 235-190	13
㉒ Ferro Page	Patricia	3/28/78	OR 369-373	13

The following account of Uncle John and Aunt Frances Wilson was handed me recently and I am making copies for relatives and friends. Robert Lewis Weis.

FRAMINGHAM IN FLORIDA

Residents of Framingham who have transferred their residence to points in Florida, those who spend their winters in that delightful peninsula or who go for vacation visits, find many local influences that date back for more than a century.

At the present time, the Perini Corp. has a substantial interest in Florida and the chairman of their board, Louis R. Perini, Sr., has some interesting comments on Florida, reported recently in the Perini News, a quarterly published at Framingham.

"FLORIDA is the belle of our 50 United States and 10 Canadian provinces and 20 close-by Latin American countries," according to Chairman Perini, who has visited in every corner of the Globe. "Florida is becoming equally attractive to millions of Europeans. She has a potential of 30,000,000 permanent suitors by the turn of the next century, provided we 'care now.'"

"It's a brand new environmental era, and one which is speedily creating its own, its totally new generation image. Basically and fundamentally, Florida, standing alone, has the capabilities and bears our continent's responsibility to excel the entire world in meeting all future environmental demands and human amenities," according to Mr. Perini. His comparisons with other sections of America and with countries in every hemisphere tells why he rates Florida at the peak.

Other Framingham residents had similar feelings a century ago. They first associated with Florida in 1869. Before Mrs. Frances Lewis Wilson died at her Prospect Street home, in Framingham, fifty years ago she had attained the age of 101 years. (Actually, 100 years 4 months. RLW)

MRS. WILSON maintained a lovely home on Prospect Street in the Centre. During her life time she and her husband, John L., saw stirring times in the Island of Haiti, West Indies. Until late in her life, this Framingham centenarian maintained a winter home in St. Augustine.

Visitors in St. Augustine can find a plaque on the public library building recording the fact that the picturesque building was donated to the city by Mrs. Wilson and her husband. The library was established in its present building in 1894.

A Framingham visitor in St. Augustine several years ago met a resident there who had a copy of the News of Nov. 5, 1919, noting the celebration of Mrs. Wilson's 100th birthday at her home on Indian Head Hill.

THE STORY IS TOLD that Mr. and Mrs. Wilson were both striking and rather dominant personalities. There are residents of Framingham now who recall Mrs. Wilson as she drove about town in a stately horse drawn carriage with Gud Clapp as the driver.

Mr. and Mrs. Wilson arrived in St. Augustine about 1869 where they built a winter home. It is said that they did not reach this decision without having previous acquaintance with the city.

For years they resided on St. George Street, just north of the old Dummittle house, now the Graham house, at the corner of St. Francis Street in St. Augustine.

The Wilsons finally owned all the property on the north side of St. Francis Street and west side of Charlotte including the land acquired by the St. Augustine Historical Society and Institute of Science for its parking lot.

Although Mr. Wilson passed away in 1899, while in St. Augustine, Mrs. Wilson continued to return to spend her winters until extreme old age compelled her to remain at her Indian Head Hill home in Framingham, where she died just fifty years ago.

BOTH MR. WILSON and his wife, Frances Lewis Wilson, came from notable ancestry. Her father and grandfather were China and India merchants and built and owned Lewis Wharf, Boston. Earlier ancestors had active part in Massachusetts history and some are interred in the Old Burying Ground on Boston Common. (But more at Copp's Hill Cemetery. RLW). Among Mr. Wilson's ancestors (see note) who suffered imprisonment in the Fort in Boston in revolutionary times.

Less than half a century ago some of the monied men of Framingham took part in a land boom in Florida. They, too, saw the possibilities in Florida, described by Mr. Perini. They joined with Dr. Edward Dammers of Wayland and Framingham in establishing the city of Coral Gables. Dr. Dammers was the first mayor of Coral Gables. They had envisioned Florida what has developed today--a belle among the states of America and the nations of the world.

(Note: Aunty Wilson has explained about her husband's first paternal American ancestor as follows: "My husband's grandfather, Major John Wilson, was on the staff of Sir Archibald Campbell; of the 72nd Highlanders; and taken prisoner at the battle of Lexington, sent prisoner to Concord; afterward exchanged by Lord Howe, on whose staff he remained until the close of the American Revolution. In later years, his son Major John Wilson, was on the staff of our own General, afterward President, Jackson." As I mentioned in "Letters from John Littlejohn Wilson, etc.", Uncle John's brother Hazel Wilson, Chief Engineer of the Pennsylvania Railroad, was also given the title Major by President Lincoln for meritorious service to him.)

(The Rev.) Robert Lewis Weis
734 Mount Pleasant Avenue
Providence, Rhode Island 02908

26th June A.D. 1970

JUL 19 2018

CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION

Planning/Building Dept.



OPINION CERTIFICATE OF APPROPRIATENESS

\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0104

Receipt No. 1408045

Advertising Costs \$ _____

Paid on 7/19/18

Meeting Date: 8/16/18

Receipt No. _____

1. NAME OF APPLICANT Elaine H. Darnold
 Business (if applicable) Elaine H. Darnold, Inc.
 Address 9 N. Leonardi Street
 City St. Augustine State FL Zip Code 32084
 Daytime telephone 904-669-5518 Other phone/email darnolddesign@bellsouth.net

The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER Larry and Elizabeth Rideman
 Business (if applicable) N/A
 Address 830 A1A North STE 13 PMB 243
 City Ponte Vedra Beach State FL Zip Code 32082-3215
 Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS 28 St. Francis Street

4. LEGAL DESCRIPTION: Lot 13 Block 32 Subdivision COSA Parcel 199190 0000

5. EXISTING USE SFR PROPOSED USE SFR

6. PROPOSED PROJECT WORK

A. DEMOLITION (If historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) YES NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

REPAIR REPLACE

- Roof _____
- Roof structures (dormers, chimneys, etc.) _____
- Exterior finishes (stucco, masonry, siding) _____
- Porch/Deck/Balcony _____
- Awning/Canopy _____
- Exterior Doors _____
- Windows REPLACE (1 WINDOW) w pair of French doors.
- Shutters _____
- Foundation (including infill) _____
- Exterior lighting & other appurtenances _____
- Existing fences, walls & gates _____
- Existing parking, walkways & other site features _____

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building _____
- New addition _____
- New roof structures (dormers, chimneys, etc.) _____
- New porch/deck/balcony _____
- New awning/canopy _____
- New entrances _____
- New window opening/sashes _____
- New exterior lighting _____
- New fence/wall/gate _____
- New parking/walkways/other site features _____
- Exterior utility service/mechanical equipment _____

D. PAINT COLORS (check one)

- Scheme with pre-approved paint colors (exterior colors available upon request)
- Custom color scheme (provide color samples & building elevations showing color placement)
- No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Remove (1) existing window unit & Replace w (1) French door unit AS per attached drawing. Add NEW exterior landing & steps AS per drawing.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME

Elaine H. DARNOLD

SIGNATURE OF APPLICANT

Elaine H. Darnold

DATE

July 19, 2018

PRINT OWNER'S NAME _____

SIGNATURE OF OWNER _____

DATE _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

COMPLETENESS REVIEW CHECKLIST

A Certificate or Opinion of Appropriateness application and related plans shall be submitted for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any building in designated historic preservation zoning districts (HP-1 through HP-5). In addition, a Certificate of Appropriateness shall be required for any proposed work on buildings immediately adjacent and in view of historic preservation zoning districts HP-1, HP-2, and HP-3. All proposed work items shall be reviewed for consistency and compliance with the 2011 edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. Copies of this document are available for a fee upon request and on the website at: http://www.staugustinegovernment.com/your_government/documents/AGHP2.pdf

Relevant information necessary for Certificate or Opinion of Appropriateness review shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Architectural Guidelines for Historic Preservation*. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

- | OK | Need | N/A |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing roof and affected features
 - Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
 - Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
 - Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)

EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

- | OK | Need | N/A |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing surface or feature including close-up and full building perspective
 - Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
 - Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
 - Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture

PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

- | OK | Need | N/A |
|-------------------------------------|-------------------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
 - Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
 - Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
 - Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
 - Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.

AWNING/CANOPY

- | OK | Need | N/A |
|--------------------------|--------------------------|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing awning/canopy or location of proposed awning/canopy
 - Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
 - Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade
 - Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
 - Documentation of justification for changing the existing awning/canopy and the extent of the affected area

EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

- | OK | Need | N/A |
|-------------------------------------|-------------------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- Photographs of existing door(s) or location of proposed new door opening(s)
 - Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
 - For new openings, a scaled wall section
 - Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
 - Documentation of justification for changing the existing door(s) and the extent of the affected area.

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section with proposed window |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

Need a wall section. The board may also want to see the type of door being installed & may request a photograph, specification, or similar information.

See above checklist

Project number: 2018-0106 Project Address: 28 St. Francis St.
 Reviewed by: Kelli Mitchell Date: July 24, 2018

Owner's Authorization For Agent

Elaine H. Darnold is/are hereby authorized TO ACT ON BEHALF OF ELIZABETH RIDEMAN, the owner(s) of 28 St. Francis Street St. Augustine, FL 32084, in applying to the City of St. Augustine's Historic Architectural Review Board, planning or zoning or permitting with the City of St. Augustine.

BY: Elizabeth Rideman
Signature of Owner

ELIZABETH RIDEMAN
Print Name of Owner

904-377-1368
Telephone Number

State of South Carolina

County of Richland

Signed and sworn before me on this 20th day of July, 2018.

By Elizabeth Rideman

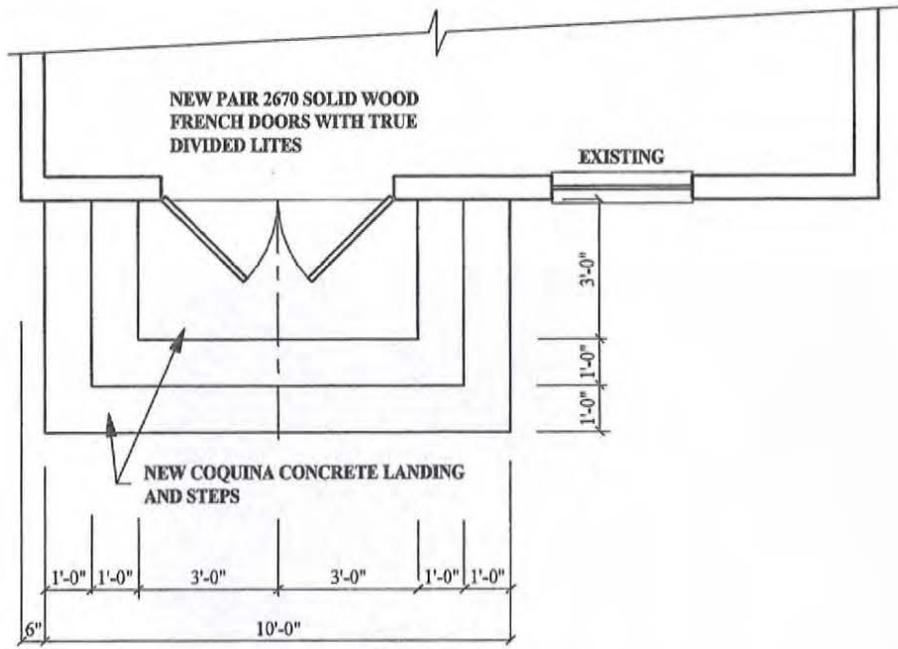
Identification verified: FL DL R355-220-SI-969-0 or Personally known: _____

Notary Signature: Ashley McGehee

My Commission expires: 12/20/2020







FLOOR PLAN

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELAINE H. DARNOLD, INC.
restoration. new construction. design
 CBC 1251309

904.829.0790
 darnolddesign@bellsouth.net

28 ST. FRANCIS STREET
 CITY OF ST. AUGUSTINE
 FLORIDA

DATE: JULY 10, 2018



St. Johns County, FL

Quick Links

- My Tax Bill
- Tax Estimator
- Proposed Hx

TRIM Notice

- TRIM Notice

Summary

Parcel ID 1991900000
Location Address 28 ST FRANCIS ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CTY ST AUG (610)
Tax Description* CITY OF ST AUGUSTINE LOT 13 BLK 32 OR1286/25 & 2042/1464
 *The Description above is not to be used on legal documents.
Property Use Code Single Family (0100)
Subdivision City of St Augustine
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.080
Homestead N

View Map

Owner

Owner Name Rideman Elizabeth H Etal 100%
 Rideman Larry A 100%
 Simon Carol Ann 100%
Mailing Address 830 A1A N STE 13
 PMB 243
 PONTE VEDRA BEACH, FL 32082-3215

Valuation

	2018
Building Value	\$167,532
Extra Features Value	\$6,592
Total Land Value	\$129,437
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$303,561
Total Deferred	\$0
Assessed Value	\$303,561
Total Exemptions	\$0
Taxable Value	\$303,561

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$173,855	\$6,592	\$129,437	\$0	\$0	\$309,884	\$309,884	\$0	\$309,884
2016	\$180,176	\$6,592	\$117,670	\$0	\$0	\$304,438	\$291,738	\$12,700	\$291,738
2015	\$167,850	\$6,592	\$90,774	\$0	\$0	\$265,216	\$265,216	\$0	\$265,216
2014	\$127,935	\$6,592	\$81,697	\$0	\$0	\$216,224	\$216,224	\$50,000	\$166,224
2013	\$132,200	\$6,592	\$81,697	\$0	\$0	\$220,489	\$220,489	\$50,000	\$170,489
2012	\$134,332	\$6,592	\$81,697	\$0	\$0	\$222,621	\$222,621	\$50,000	\$172,621
2011	\$138,597	\$6,592	\$90,774	\$0	\$0	\$235,963	\$235,963	\$50,000	\$185,963
2010	\$175,901	\$6,592	\$100,860	\$0	\$0	\$283,353	\$283,353	\$50,000	\$233,353

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	1251	Roof Cover	Composite Shingle
Conditioned Area	2336	Interior Flooring	Carpet, Pine Wood

Actual Year Built	1838	Interior Wall	Drywall
Use	Single Family Residence	Heating Type	Air Duct
Style	01	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Concrete Block, Wood	Baths	

Category	Type	Pct
Exterior Wall	Concrete Block	40%
Exterior Wall	Wood	60%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	50%
Interior Flooring	Pine Wood	50%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	12 Fixtures	100%
Electrical	Good	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
2.5 STORY	1688	675
2 STORY	432	216
BASE AREA	216	216
F OPN PRCH	0	24
F OPN PRCH	0	92
F OPN PRCH	0	28
Total SqFt	2336	1251

Extra Features

Code Description	BLD	Length	Width	Height	Units
MS/CB WALL	0	0	0	0	966

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	41	78	41	EF	\$129,437

Sales

Recording Date	Sale Date	Sale Price	Instrument				Qualification	Vacant/Improved	Grantor	Grantee
			Type	Book	Page					
7/8/2014	7/8/2014	\$0.00	MC	3901	412	U	I	RIDEMAN ELIZABETH H	RIDEMAN ELIZABETH H	
	9/2/2003	\$123,200.00	WD	2042	1464	U	I	RIDEMAN ELIZABETH H	RIDEMAN ELIZABETH H, LARRY A & SIMON CAROL ANN	
	12/19/1997	\$245,000.00	WD	1286	25	Q	I	KEEFER ROBERT L & MARQUIS ARTHUR E	RIDEMAN ELIZABETH	
	12/6/1995	\$169,000.00	WD	1143	1195	Q	I	BAKER HUGH B	KEEFER ROBERT L ETAL	
	5/17/1995	\$0.00	OI	1109	1279	U	I	BAKER HUGH B, JOANNE G DIED 5/8/95	BAKER HUGH B	
	5/8/1995	\$0.00	WL	1109	1272	U	I	BAKER HUGH B, JOANNE G (DIED 5/8/95)	BAKER HUGH B, JOANNE G DIED 5/8/95	
	6/1/1981	\$85,000.00		496	293	U	I		BAKER HUGH B, JOANNE G (DIED 5/8/95)	
	1/1/1978	\$0.00		369	373	U	I			

Area Sales Report

Recent Sales in Area

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

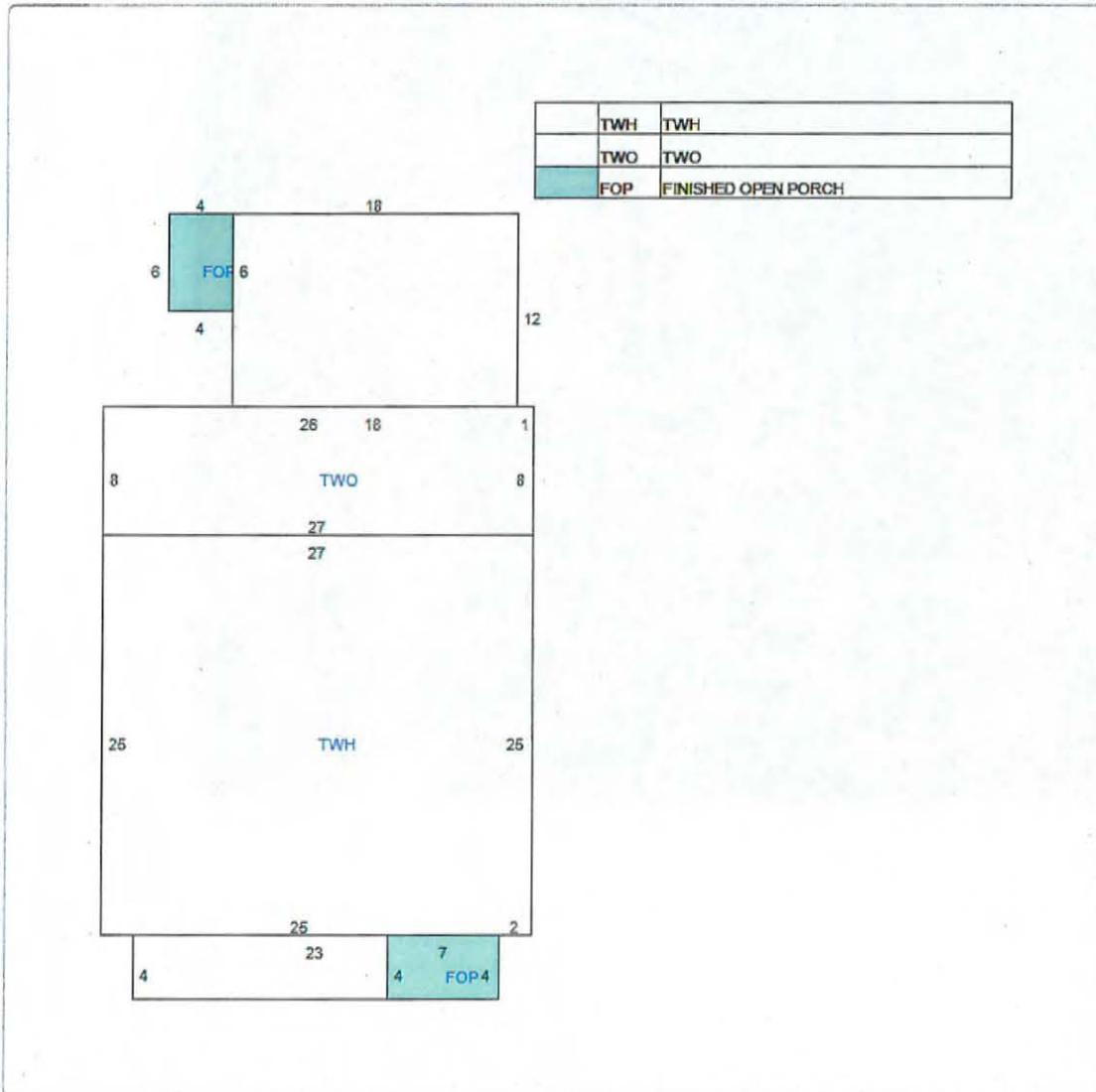
Tax Estimator

[Tax Estimator](#)

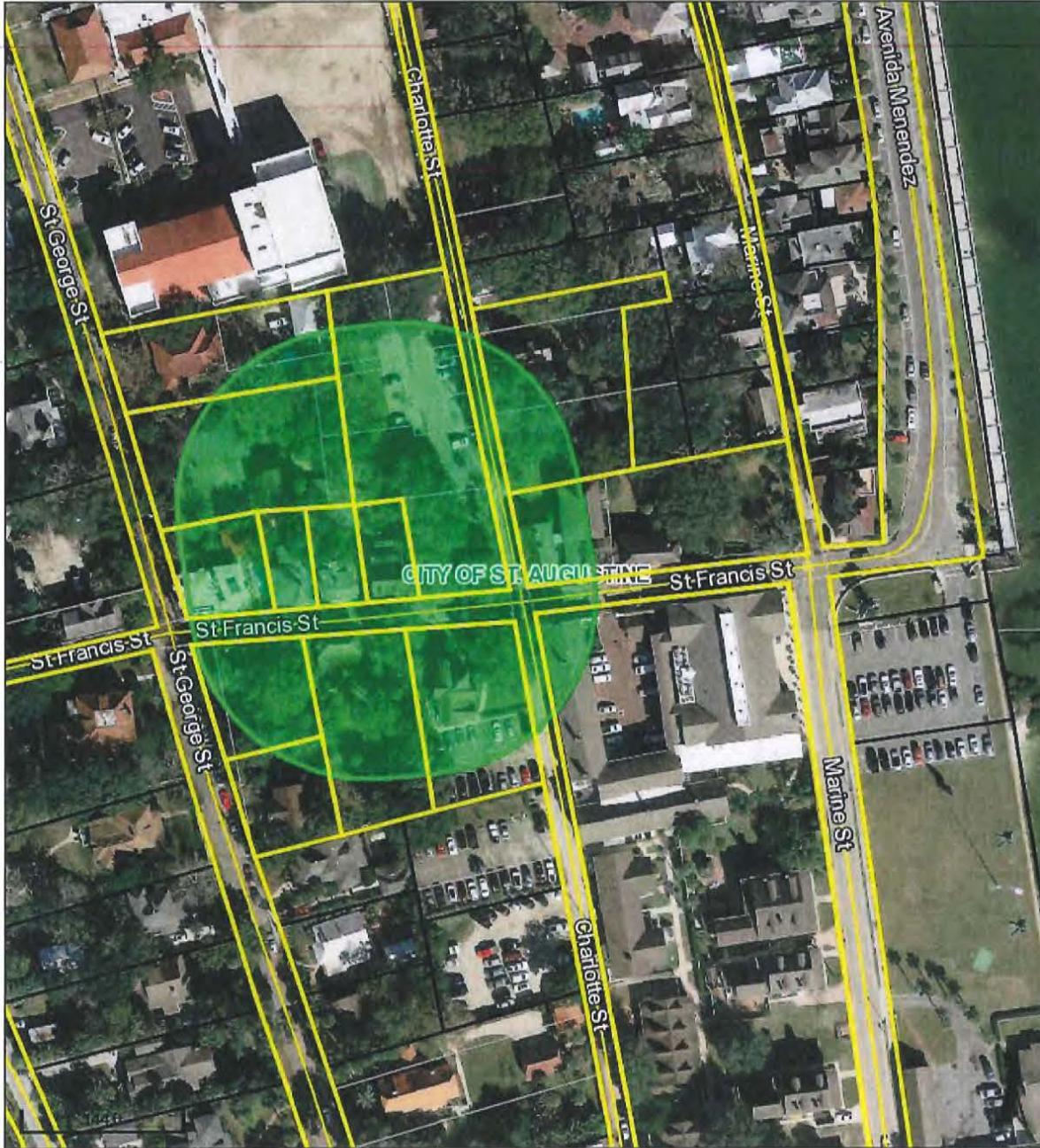
Map



Sketches



No data available for the following modules: Exemptions.



Overview



Legend

- Parcels
- Cities

Date created: 7/19/2018
Last Data Uploaded: 7/18/2018 11:31:33 PM

Developed by  **Schneider**
GEOSPATIAL

Public Records of
 St. Johns County, FL
 Clerk# 03-066100
 O.R. 2042 PG 1464
 08:08AM 09/10/2003
 REC \$9.00 SUR \$1.50
 Doc Stamps \$862.40

①
 2009
 bc

Prepared by and return to:
 Michael A. Siragusa
 Upchurch, Bailey & Upchurch, P.A.
 780 N. Ponce de Leon Blvd.
 Saint Augustine, FL 32084

File Number: 3806.503390

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 2nd day of September, 2003 between Elizabeth H. Rideman, a single woman, whose post office address is 28 St. Francis Street, St. Augustine, Florida 32080, grantor, and Elizabeth H. Rideman, a single person, Larry A. Rideman, a single person and Carol Ann Simon, a single person, collectively as joint tenants with the right of survivorship, whose post office address is 28 St. Francis St., Saint Augustine, FL 32084, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Saint Johns County Florida** to-wit:

Beginning at a point on South property line of Block 32, according to Official Map of City of St. Augustine, Florida, filed October 4, 1923, this point of being 79 feet 9 inches Westerly from the intersection of the property lines at the Southeasterly corner of said Block 32; run thence Westerly on the North line of St. Francis Street, 45 feet; thence Norther 84 feet; thence Easterly 42 feet; thence southerly 85 feet 71/2 inches to the North line of St. Francis Street, the Point of Beginning and known as Lot 13, Block 32, of said Official Map of said City, filed October 4, 1923, in Clerk's Office of the Circuit Court of St. Johns County, Florida.

Parcel Identification Number: 199190-0000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

SCRIVNER'S NOTE: Documentary Stamp Tax on this transfer has been calculated based upon two-thirds of the outstanding mortgage balance. No additional consideration has been paid.

OR2042PG1465

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Handwritten Signature]

Witness: MICHAEL A. SIRAGUSA

[Handwritten Signature]
Witness: VICTORIA P. GARD

[Handwritten Signature]
Elizabeth H. Rideman

STATE OF FLORIDA
COUNTY OF ST. JOHNS

The foregoing instrument was acknowledged before me this 2nd day of September, 2003, Elizabeth H. Rideman, a single woman, who is () personally known to me, or () has produced 4/A as identification.

[Handwritten Signature]

Notary Public
Printed Name: _____
My Commission Expires: _____





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation
ELAINE H. DARNOLD, INC.

Filing Information

Document Number	P03000139881
FEI/EIN Number	20-0424909
Date Filed	11/25/2003
Effective Date	11/25/2003
State	FL
Status	ACTIVE

Principal Address

9 N. LEONARDI STREET
ST. AUGUSTINE, FL 32084

Mailing Address

9 N. LEONARDI STREET
ST. AUGUSTINE, FL 32084

Registered Agent Name & Address

DARNOLD, ELAINE H
7 PALM ROW
ST. AUGUSTINE, FL 32084

Officer/Director Detail

Name & Address

Title P

DARNOLD, ELAINE H
9 N. LEONARDI ST
ST. AUGUSTINE, FL 32084

Title VP

DARNOLD, KENNETH W
9 N. LEONARDI ST
ST. AUGUSTINE, FL 32084

Title VP

BEVILL, ELEANOR M
9 N. LEONARDI ST

THE ST. AUGUSTINE RECORD
Affidavit of Publication

CITY OF ST AUGUSTINE
PO BOX 210

SAINT AUGUSTINE, FL 32085

ACCT: 15560
AD# 0003073291-01
PO#

PUBLISHED EVERY MORNING SUNDAY THROUGH SATURDAY
ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF ST. JOHNS

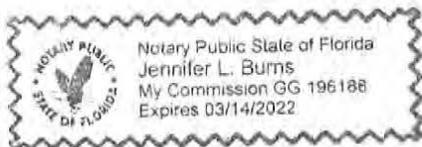
Before the undersigned authority personally appeared JAMIE WILLIAMS who on oath says he/she is an Employee of the St. Augustine Record, a daily newspaper published at St. Augustine in St. Johns County, Florida; that the attached copy of advertisement being a **NOTICE OF HEARING** in the matter of **HARB 28 St. Francis Street** was published in said newspaper on **08/06/2018**.

Affiant further says that the St. Augustine Record is a newspaper published at St. Augustine, in St. Johns County, Florida, and that the said newspaper heretofore has been continuously published in said St. Johns County, Florida each day and has been entered as second class mail matter at the post office in the City of St. Augustine, in said St. Johns County, Florida for a period of one year preceding the first publication of the attached copy of advertisement; and affiant further says the he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing this advertisement for publication in said newspaper.

Sworn to and subscribed before me this ____ day of **AUG 06 2018**

by Jamie Williams who is personally known to me or who has produced as identification

Jennifer L. Burns
(Signature of Notary Public)



**NOTICE OF
PUBLIC HEARING**

Notice is hereby given of a public hearing by the Historic Architectural Review Board to be held at 1:00 PM, Thursday, August 16, 2018, in The Alcazar Room at City Hall, St. Augustine, Florida, at which time comments are invited on the following:

CERTIFICATE OF APPROPRIATENESS TO REPLACE A REAR WINDOW WITH FRENCH DOORS AND TO CONSTRUCT A NEW LANDING AND STAIRS IN FRONT OF THE DOOR; CITY OF ST AUGUSTINE LOT 13 BLK 32 OR1286/25 & 2042/1464; also known as 28 St. Francis Street.
APPLICANT'S NAME: Elaine H. Donald, Inc.
SUBMITTED BY CITY CLERK'S OFFICE

0003073291 August 6, 2018



Kelli Mitchell

From: Keith kandrews3 <kandrews3@bellsouth.net>
Sent: Friday, July 27, 2018 11:48 AM
To: Kelli Mitchell
Subject: 156 Avenida Menendez

To whom it may concern Please accept my withdrawal of my wife Tina 's and my application for an Opinion of Appropriateness for construction of porches in front of our home at 156 Avenida Menendez St Augustine Due to several personal factors at this time. We appreciate your assistance with this process and hope to apply again when our circumstances improve. Thank you Keith and Tina Andrews

RECEIVED
JUL 27 2018
Planning/Building Dept.



GUNSTER
FLORIDA'S LAW FIRM FOR BUSINESS

Writer's E-Mail Address: DBruce@gunster.com

August 8, 2018

VIA E-MAIL KMITCHELL@CITYSTAUG.COM

Kelli Mitchell
Historic Preservation Planner
City of St. Augustine
PO Box 210
St. Augustine, FL 32085

Re: Certificate of Appropriateness -- NE Corner of Cathedral Place and Cordova Street
Case #: F2018-0064

Dear Kelli:

This law firm represents Crown Castle NG East, LLC ("Crown Castle") in connection with the above-referenced application to the Historic Architectural Review Board ("HARB").

Crown Castle's application for a Certificate of Appropriateness to construct on the NE corner of Cathedral Place and Cordova Street is set to be heard at the next HARB meeting on August 16, 2018. However, Crown Castle is currently in the process of re-evaluating its options for possible locations.

Crown Castle therefore requests the continuation of the hearing on its Certificate of Appropriateness application until HARB's next regularly scheduled meeting on September 20, 2018.

If you have any questions, please do not hesitate to let me know.

Sincerely,

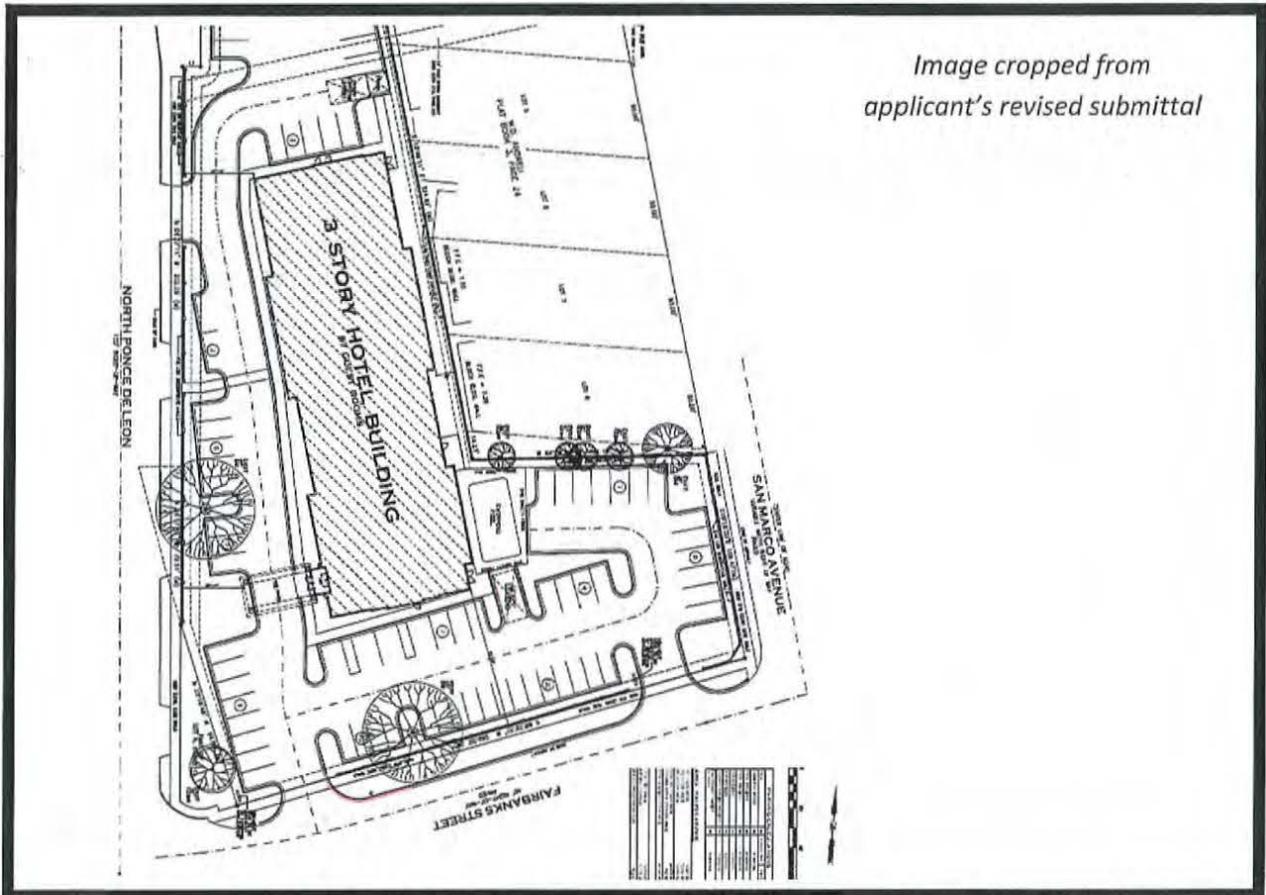
Derek E. Bruce
Shareholder

WPB_ACTIVE 8661289.1



CITY OF
STAUGUSTINE.
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for August 16, 2018 Meeting



*Image cropped from
applicant's revised submittal*

Application F2018-0082 Address: 3150 N Ponce de Leon Blvd

Hagos Fissehaye, owner and applicant

Project description: To review new construction and site development for conformance with Mixed Residential and Commercial Typology.

Architectural Style: Vacant lot	Florida Master Site File: N/A
National Register: N/A	Construction date: N/A
Archaeology Zone: N/A	Zoning District: CM-2
Parcel number: 155260-0000, 154880-0010	Typology: Mixed Residential/ Commercial
Agenda Item: 6(c)	Previous Action(s): (Continued)

STAFF SUMMARY AND ANALYSIS:

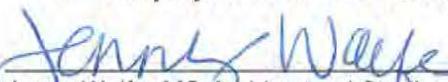
The applicant is presenting a Preliminary Design Approval (PDA) application for the San Marco Avenue Entry Corridor for the property which is categorized "Mixed Residential and Commercial." The staff interpretation of this typology is that it is a mix of the "Residential Conversion" and "Traditional Commercial" typologies which are outlined in the Design Standards. These sections are copied in the following pages.

- The applicant should be prepared to address how this design relates to the historic character of the city and complements the character of existing architectural styles of the historic districts.
- The building face on San Marco Avenue is not situated at the front setback and parking is shown at the street front of San Marco Avenue contrary to the intent of the Design Standards. The project narrative describes the difficulty of preserving trees and working with the unique shape and orientation of the property. (the ancillary structure at the San Marco Avenue street front was deleted)
- The building is shown as 3 stories, with modified height set to the 35' maximum.
- A landscape plan was submitted and proposed plants are compatible and there is screening along most of the perimeter of the parking areas.
- Some light fixture details were provided which fit the character but more details are needed regarding the height, light source, finish, and photometric character.
- No glazing calculations were provided to show that glazing requirements could be met.
- There is one pedestrian connection from the right-of-way shown at the Ponce de Leon Blvd r/w.
- There are select 'storefront' windows on the ground floor.
- Exterior finish materials of stucco and brick are listed as appropriate materials.
- The overall building character is similar to the previous submission.

STAFF RECOMMENDATION:

The Preliminary Design Approval requires a finding by HARB and does not include a staff recommendation because the purpose is to direct staff in subsequent administrative reviews. Therefore, HARB should evaluate this application for conformance with the below and determine if the application can proceed with an administrative level of review:

- 1. The project meets the intent of the Design Standards**
- 2. The project meets the standards for the associated urban design typology**
- 3. The project meets the character of the specific corridor where the project is located**


Jenny Wolfe, MS Architectural Studies
Historic Preservation Officer

SUMMARY SCOPE OF WORK:

- building footprint is situated on a piece of property that has an exposure on North Ponce de Leon Blvd, Fairbanks Street, and San Marco Avenue
- designed as a three story rectangular building under a flat roof with a parapet trim
- porte cochere is shown projecting from the west elevation on the southern end of the building
- rectangular building blocks divided with plate glass windows at regular intervals, 4' recess/projections of the main façade and variations of finish materials
- building material finishes are shown as horizontal scored stucco, smooth stucco, and brick veneer and metal awnings
- parking/paved area surrounds the building on the subject property
- decorative stucco knee wall with brick columns and black aluminum fence shown along portions of Ponce de Leon Blvd at 4' high and 6' decorative brick wall/columns with black aluminum fencing shown at the San Marco street front
- interior concrete privacy walls shown at 6' high

CITY CODES/DESIGN GUIDELINES:

CITY OF ST. AUGUSTINE CODE OF ORDINANCES

Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, as originally prepared by Herbert-Halback, Inc., dated January 24, 2000, and subsequently amended by resolution from time to time ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible. When an alteration to a building or facility that incorporates exterior renovation constitutes fifty (50) percent or more of the assessed value of the building or facility, the entire building or facility shall be made to conform to these standards.

DESIGN STANDARDS FOR ENTRY CORRIDORS

3.1 Site Development

The character of the corridors is affected by surrounding development. Much has developed over time and lacks consistency. Several major building and site development types exist. These are commercial, residential (conversions), institutional and highway commercial.

Prior to construction one should refer to the urban typology map on page 18 to establish the category. After establishing typology, please refer to applicable standards identified in the following text. In limited cases it may be necessary to amend the assigned typology based upon the architectural or historic character of the existing building and lot configuration, the architectural character of existing historic buildings on the same site, or the historic and architectural character of the corridor. Requests for such amendments can occur with a Preliminary Design Approval presented to the Historic Architectural Review Board. Amendments will be associated only with the proposed development and will terminate after the established termination date when the development has been abandoned by failure to timely commence and complete development. An example of a qualifying case includes large parcels with frontage on multiple streets where the architectural or historic character is different than the assigned typology on the other street frontage. Compatible new development can be accomplished by maintaining the assigned typology to the street frontage immediately facing the corridor and incorporating another typology for construction not visible or highly screened from the corridor on other areas of the property. In another example, the continuity of the individual corridor's characteristics may be reinforced with an alternate typology than what was assigned to the property based upon the existing use of the property instead of the character of the corridor and the immediately adjacent properties. Preservation of historic resources on site or immediately adjacent to the site and compatibility of the new development with these resources shall take precedence in considering any amendment to the assigned site typology.

Each category is introduced with General Conditions and may be followed with specific standards to that corridor/typology. The specific standards for the corridor/typology supersede the general conditions where they conflict.

URBAN DESIGN TYPOLOGY

3.2.1 Architectural Styles and Periods

This section is a general guide to the predominant architectural styles found in the corridors. The purpose is not to direct the style of new construction, but to provide a sense of the building's relationship with the site, general features, architectural form, and building details.

To preserve our architectural heritage and protect the authenticity of historic structures, one must acknowledge each building as a product of its own place and time. The styles of existing buildings, become form givers for the development of the urban design typologies previously identified.

Residential Architectural Styles

Architectural styles include: Frame Vernacular, Masonry Vernacular and Garage Apartment to name a few

Traditional Commercial Styles

The predominant commercial architectural style is twentieth century commercial and examples are located within the King, San Marco and Anastasia corridors.

3.2.2 Site Development Patterns by Typology

Each site development type may have a respective site development pattern and architectural styles. It is the intent of the standards to use these typologies as the framework for renovation, new development and site improvements that are consistent with these character types. These are outlined.

Residential

Within San Marco Avenue and the King Street corridor lie several areas of mixed residential conversions. Many of these structures are old enough to be historic, however, their designs have been somewhat compromised by incompatible surrounding development and unsympathetic additions. Residential buildings are one to two-and-one-half stories, frame construction, placed on raised foundations, have regular window and door fenestration, include pitched hip and gable end roofs, and porches with sled roofs. The buildings are developed on sites in a manner that reserves a small front yard. Wooden fences separate the yards from the sidewalk environment.

Traditional Commercial

Buildings normally have a horizontal expression and are constructed to the front street setback/property line as well as the side property lines. They contain typical storefront commercial elements including, bulkheads, storefront glass windows covering the majority of the street frontage, transom windows, parapet walls, copings, awnings or fixed canopies. Buildings are predominantly one and two stories. Little site landscaping exists with the exception of rear parking areas or in some cases small side yards.

3.2.3 Driveways and Parking Areas

General Conditions

To provide better pedestrian access driveways, parking areas and curb cuts shall not be encouraged on the primary street facings for the King Street and San Marco Avenue. Alternative access and cross access shall be first explored for mid block parcels. Where no opportunities exist for joint access, separate access shall be provided according to the following requirements. A single drive shall be allowed for each primary frontage. Single, one-way drives shall be no larger than 14 feet in width. Double or two-way shall be no larger than 24 feet. Turning radii shall vary between 10 and 20 feet depending on application. Parking and site retention shall be allowed only to the rear sides of lots and cross access easements shall be promoted to link rear parking areas. Parking lots shall meet the city's parking lot landscaping codes. Parking exposure on Anastasia should be minimized and properly screened with landscaping to better separate pedestrians from the vehicles and reduce negative visual impacts on the sidewalk.

Parking visible to the rights-of-way and side streets must be screened by a wall at least 18 inches, but not greater than 30 inches in height. Mid block and other sites requiring curb cut access shall be approved only if it is proven that other site access, or cross-access is not possible. The city shall pursue with the FDOT Access Management Study to assess curb and access placement.

King Street and San Marco Avenue

King Street and San Marco Avenue were developed at roughly the same time and had a site development pattern that was less automobile oriented initially with fewer curb cuts and front yard parking areas

Traditional Commercial Areas

It is the intent of commercial buildings to be constructed to the front and side property lines and landscaping is not required between the building and the front or side facing street. A landscape buffer yard with a minimum of 5 feet in width is required for the remainder of the length of properties facing front streets.

Parking Lot Landscaping

Landscape plants and planter areas shall be compatibly sized. Where parking abuts sidewalks, parking buffer shall run the length of the sidewalk and have a low knee wall with a decorative cap 18 to 30 inches in height in combination with a single row of hedge material (10 inches wide) on the street side. If there is no wall, a minimum of a 5 foot wide buffer with a double staggered hedge row is required. The wall does not exempt the requirements as identified in the existing city landscape code.

3.3 New Building and Site construction

The varying building and site conditions necessitate creation of a more uniform and visually appealing district. To do this, several actions are necessary; and include providing consistency with the site-planning idiom; uniform sign design regulations, and improved enforcement of building and zoning code violations. In tandem with the site development regulations it is necessary to develop new building standards to better focus site and building development. Each of the corridors, especially San Marco and King, shall be recognized to have buildings that contribute to the historic character of the city representing the turn-of-the century architectural styles.

New construction shall complement the existing architectural styles of the historic districts when possible. This may be done through sensitive planning and design. Reinforcement of architecture and setbacks may strengthen the character of the corridors. Building infill and redevelopment should respect existing character giving architectural forms previously mentioned and relate new designs in height, materials, roof form, massing, setbacks, and rhythm of openings.

Buildings shall be placed on sites with respect to creating uniformity of setbacks where possible. New construction on the three corridors should not attempt to recreate, but respect historical style traditions found within the original walled city. Construction of Colonial Style Architecture (1565 to 1821) is not permitted outside the historic districts or within the entry corridors.

Prior to construction, one should refer to the urban typology map on page 18 of the DSEC to establish the category. After establishing typology, please refer to applicable standards identified in the following text. Each category is introduced with General Conditions and may be followed with specific standards to that corridor/typology. The specific standards for the corridor/typology supersede the general conditions where they conflict.

3.3.2 Site Plans and Building Setbacks

Buildings often share common front and side setbacks. Commercial buildings should be set directly on the property lines creating a unified building wall along street fronts. Many buildings in the San Marco Avenue and the King Street corridors demonstrate this placement. In general, new buildings shall maintain and reinforce this setback character.

For the most part, the King Street and San Marco Avenue corridors have a commercial character which calls for buildings to be brought up to the building setback line creating a continuous line of retail storefronts. Several exceptions are large institutional buildings, campuses or residential conversions. Both of these have landscaped setback conditions.

3.3.3 Roofing

General Conditions

Roofs are to be of three types: hip, gable, or flat roofs, with parapets. Mansard roofs are not allowed. Approved sloped roof materials are fiberglass shingles, wood shakes, clay tile, concrete tile and standing seam metal roofs. Approved flat roof materials are single ply membrane systems and tar/gravel roofs.

Roof design, pitch and detail shall be in keeping with the overall design of the building. Orientation of gabled roofs shall be with gables to side yards, not facing public rights-of-way. Undulating rooflines or crenellated parapets are not allowed.

Residential Prototype (King Street and San Marco Avenue)

- Acceptable roof profiles are gable-ended.
- Attic louvers may be incorporated in the gable ends.

Traditional Commercial (King Street and San Marco Avenue)

- Roof types are flat with a parapet

3.3.4 Plan Form and Building Heights

General Conditions

A range of plan forms is seen along the various corridors. Buildings shall be limited to the height set forth under the city zoning ordinance. In general, all buildings are to comply with FEMA (Florida Emergency Management Agency) Regulations. The maximum allowable height is 35 feet unless otherwise allowed by special zoning. Buildings with sloped roofs may have 2 and 1/2 floors with a maximum height of 35 feet. Flat roof buildings can have 3 floors to a maximum height of 35 feet. Air conditioning units and elevator shafts are not permitted to go above the standard height limit and need to be visually screened from the public right-of-way. The allowable building height for new construction shall be regulated by the individual typology listed below and subject to the above mentioned maximums. New construction will complement the height and mass of the corridor as established by surrounding buildings and the corridor characteristics described in the Appendix.

Residential Prototype (King Street and San Marco Avenue)

- Building plans shall be rectangular, L-shaped, or irregular in form.
- Buildings shall range from one to two-and-one-half stories in height but respect the scale of the surrounding architecture.
- Buildings shall be constructed on raised foundation piers of brick masonry with stucco.

Traditional Commercial (King Street and San Marco Avenue)

- Buildings shall be either one or two stories, of horizontal expression and be built to the appropriate sidewalk setback line.
- First Floor Condition: Interior first floor vertical clearance shall be between 12 and 14 feet high to allow adequate exterior street level scale and adequate room for overhead retail utilities in ground floor spaces.

3.3.5 Exterior Finishes, Details and Colors

General Conditions

Allowable exterior finishes include stucco, brick, painted wood siding, and simulated wood siding. Pre-engineered buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, high gloss metal panels and other veneers are not allowed. These materials are limited to signs. Unpainted wood siding is not allowed. Building exterior colors are to be taken from the pre-approved colors on file with the city of St. Augustine. Copies of these colors are available upon request.

Residential Prototype (King Street and San Marco Avenue)

- Lattice shall be used to infill areas between foundation piers. Diagonal latticework is discouraged.
- Exterior finish shall be wooden horizontal siding or finished shingles.
- Simple detailing including bracketing and gingerbread is permissible on or around eaves, and corbels on chimneys.

Traditional Commercial (King Street and San Marco Avenue)

- Building materials shall be brick, stucco, or concrete block finished with tile.
- Raised parapets with horizontal expression are encouraged.
- Appropriate pilasters, edging or other architectural treatments as may be necessary shall frame buildings.
- Both awning and flat canopy treatments are acceptable as long as they are uniformly applied to the same building.

3.3.6 Windows

General Conditions

The size and division of windows shall reflect the style of architecture. No unfinished aluminum window framing is allowed. Aluminum framing must be finished. Multiple pane glass is allowed up to the allowed percentages of glass for any one facade. Windows that abut a city right-of-way or street right-of-way are to be arranged to enhance the pedestrian's viewing ability. Allowable glazing types are to be clear float, gray light, and solar glazing. Reflective or heavily tinted glass is not allowed. Glass panes shall not exceed a maximum size of 6 feet by 8 feet. Windows should not be obscured by excessive signs and other attachments including neon lights, naked fluorescent or incandescent lights. Display windows shall be clear of all merchandise between 4 feet and 7 feet in height and shall not exceed 25 percent of the available glass area.

The maximum percent of glazing at ground floor for windows abutting city rights-of-way shall vary between 40 and 65 % of the ground floor facade area. The percent of glazing on second floors abutting city rights-of-way shall vary between 20 and 40% and the maximum percent of glazing on third floor windows abutting city rights-of-way shall vary between 20 and 40%.

Window sills are to extend to a minimum of 24 inches above the finished floor. Window heads are to extend to a maximum of 10 feet above the finished floor. High transom windows that do not have glazing below them are not allowed.

Residential Prototype (King Street and San Marco Avenue)

- Windows shall have a vertical expression, be located at regular intervals not more than 10 feet apart on the façade, be double hung sash two-over-two, one-over-one, six-over-six, six-over-one, eight-over-one, four-over-one or three-over-one.

Traditional Commercial (King Street and San Marco Avenue)

First Story Condition

- Large, clear glass, storefront type windows shall be mounted above 18 inch bulkheads (covered with a finish material such as tile). The storefront shall have 50 to 65% glazing for the total ground floor façade area of the building. Storefront windows shall be topped with continuous transom windows that are in scale with the remainder of the building. Storefront windows shall be mounted in either wooden or finished metal frames.

Second Story Condition

- Second story windows shall be uniformly spaced, have a vertical expression and be located as to be in scale with the building and its surroundings.
- Second story windows shall at a minimum incorporate a sill and appropriately configured header.
- Second floor windows shall have a maximum of 35% glazing for the total second floor façade area.

3.4.7 Balconies and Porches

Residential Prototype (King Street and San Marco Avenue)

- Single or two story porches are required for not less than 50% of the building street face. Porches shall be covered by hip or shed roofs in a complementary pitch to that proposed for the primary building.
- Porches shall have finished turned or square banisters

Traditional Commercial (King Street and San Marco Avenue)

- Both awning and flat canopy treatments are acceptable when they are uniformly applied to the same building.

3.3.8 Doors

General Conditions

Door types shall be in keeping with the style of architecture. Entries shall be recessed from the main facade to provide for a cover. Doors may be solid or glazed. Doors with partial glazing shall have a maximum glazing of 80%. The acceptable door materials include wood, painted steel, and painted aluminum. Solid glass doors, clear aluminum, clear steel or plastic doors are not allowed.

Residential Prototype (King Street and San Marco Avenue)

- Doors may be symmetrical or asymmetrical to the façade to accommodate user needs. Entries flush with the front of the building or setback are both allowable. Entries shall be uniformly one way or the other on a single building with multiple tenants.

Traditional Commercial (King Street and San Marco Avenue)

First Story Condition

- Doors may be symmetrical or asymmetrical to the façade to accommodate user needs. Entries flush with the front of the building or setback are both allowable. Entry shall be uniformly one way or the other on a single building with multiple tenants.

3.3.9 Lighting

General Conditions

- Lighting shall be compatible with architectural design.
- No exposed exterior light is to be used. No lights are to glare directly at the right-of-way.
- Accent lighting applied for the Night of Lights celebration are to be installed and used following the same rules and regulations as required within the historic preservation district of St. Augustine. This regulation also includes the period of operation, which is from November through February.
- Permanent accent lighting designed to accentuate building details is encouraged.
- Exposed interior and exterior fluorescent bulbs that are visible from the public right-of-way are not allowed.
- No neon lighting shall be attached to the building exterior to accentuate building frame, profiles or details.
- Neon lighting shall be used as signs only.

3.4.11 Parking

General Conditions

Parking located within the design corridors is to be enclosed on all four sides to visually screen it from rights-of-way. Elevated parking facilities and parking canopies are to be enclosed on all four sides. Parking facilities are to have openings for ventilation, as required by the code. No single story parking canopies that are open sided are allowed.

4.3 – Preliminary Design Approval

A Preliminary Design Approval (PDA) is the determination by the architectural review official that the general concept, preliminary construction plans, details or specifications of a project meet the requirements. The information submitted shall be sufficient to meet the requirements for a final design approval or to obtain a building permit. Plan requirements for a Preliminary Design Approval are the same as for a Final Design Approval.

The following types of projects are required to present an application for Preliminary Design Approval to the Historic Architectural Review Board (HARB):

- a) new construction exceeding 500 square feet of lot coverage

DSEC F2018-0082
3150 N Ponce de Leon Blvd
August 16, 2018

- b) new construction which meets or exceeds the size of the existing lot coverage
- c) new construction that includes parking structures or parking canopies

The HARB shall make a finding that the project meets the intent of the Design Standards, the standards for the associated urban design typology, and the character of the specific corridor where the project is located. All materials necessary to make this determination shall be included with the application package submitted for the PDA by the applicant. If the PDA is approved, the project will continue forward with administrative review typical to any other project and building permit. The HARB determination may be appealed, as per Section 4.7.

This review process will provide public notice of construction projects that occur on the Entry Corridors which may have a large impact on the architectural and historic character of the city. Additionally, this process will evaluate the standards being applied to the project by the Architectural Review Official.

The applicant may request a PDA before completing final detailed drawings. If a variance to the requirements of the zoning code is required, the applicant may request a PDA prior to applying to the planning and zoning board for the zoning variance.

RECEIVED

AUG 06 2018

Planning/Building Dept

COMFORT SUITES – ST AUGUSTINE, FLORIDA

(Design Standard for Entry Corridors dated 24 January 2000)

The site for the proposed Comfort Suites Hotel is a 1.72 acre parcel located on the North end of the San Marco Avenue corridor having 3 street frontages. This is very unusual. The site has 105 feet of frontage on San Marco Avenue, 269 feet of frontage on Fairbanks Street and a little over 500 feet of frontage on Highway US#1 (Ponce de Leon Boulevard). The placement of the building was a compromise with the Planning & Zoning Board in order to save 2 old large Oak trees, shown and designated on the Site Plan.

Access to the site is provided with 2 driveways off of Fairbanks Street and another on Ponce de Leon Boulevard, minimizing dead-end accesses for the Fire Department equipment, at their request. The Design Standards Section 3.1.3 states that in order to “provide better pedestrian access” along the corridor, driveways shall not be encouraged on the primary street facings for San Marco Avenue which is what we are proposing for this project.

Encouraging pedestrian access and circulation along the corridor, new sidewalks and landscaping will be provided along the frontage of San Marco Avenue and Fairbanks Street. There is an existing sidewalk along Ponce de Leon Boulevard, so all 3 frontages will be provided with pedestrian circulation, decorative walls and landscaping. In the Design Standards Section 3.1.6 states, the “walkways shall link public sidewalks to the front door entries”. We have connected the building entry with a walkway from the building to the sidewalk along Ponce de Leon Boulevard.

As a result of the location of the building on the site, the parking is spread out across the site with parking areas to the East, South and North of the building. This situation avoids the situation where the total parking for the project would be located into one large paved parking lot, a mass of pavement & automobiles.

The Design Standard Section 6.1.5 states “where parking abuts the sidewalk (along the corridor street), a low knee-wall with decorative cap along with hedge materials”. Such wall is proposed along the 3 street frontages, and a low wall with precast decorative cap and decorative metal rail/fence over the low walls. These walls are broken up at regular intervals by larger piers extending +/- 12” taller than the rail/fence. Examples of this type of wall along San Marco Avenue frontage to mask the parking area beyond are as follows:

1 - Florida School for the Deaf and the Blind has 2 types of these walls, one with low wall, decorative rail/fence over and piers at regular intervals, another with brick knee-walls and brick piers.

2 - Davenport City Park has low masonry wall with masonry piers and a rail/fence set directly behind and above the walls.

3 - Old Town Center at 167 San Marco Avenue has low stucco finished walls with decorative cap and larger/taller piers with decorative caps at regular interval.

4 - The Hampton Inn Hotel has low stucco finished walls with decorative caps and large piers at intervals along with hedge landscaping.

NEW COMFORT SUITES BUILDING

Design Standard Section 3.3 states that "new construction on the three corridors should not attempt to recreate, but respect style traditions". Section 3.3.2 states that "for the most part, the San Marco Avenue corridor have a commercial character which calls for buildings be brought up to the building setback line of "retail" storefronts. Also noted are several exceptions to the retail setback line which tend to be large sites like our hotel site, but have wall/rail/fence landscaped setback conditions like the School of the Deaf and Blind.

Following Design Standards Section 3.3.4, the hotel building itself is a 3 story, 35 foot tall structure with flat roof and parapets of varying heights. The height is measured from the finished first floor (set at FEMA + 1 foot) to the top of the raised parapet walls. The first floor of the hotel building is shown at 13 feet high floor to floor, meeting the suggested height of 12 to 14 feet for the ground floor (Section 3.3.4). The 2nd and 3rd floors are 9'-6" high floor to floor. The building is a rectangular shaped, horizontal in expression and broken into several sections with facades that step forward and back at interval and parapets that are at different heights for each section. The parapets are trimmed at the top by decorative moldings.

The exterior finishes of the building consist of Design Standard Section 3.3.5 suggested materials for commercial occupancies, namely brick and painted stucco finished masonry walls with textures like our horizontal expression. Colors for the building will be burnt orange brick veneer. The stucco finishes will be painted with Sherman Williams SW6158 Sawdust (yellowish brown) for the building base, SW6127 Ivoire (yellowish tan) and SW6129 (Restrained Gold) for the building body, SW7757 High Reflective White for the trims, and SW6419 Saguaro green for the awnings. The windows and doors will have grey tinted glazing with bronze colored aluminum framing. Storefront windows as stated in Section 3.3.6 should line the 1st floor of the building as we propose for the West front of the hotel building. The fenestration calculation for the first floor is: 740 sq ft glass area / 1808 sq ft wall area = 41% meeting the Design Standard limit of 40% to 65% of the facade. These fixed glass storefront windows are divided by mullions into 2 vertical panes with 2 horizontal transom panes above in the common areas of the hotel. The first floor guest room windows are fixed glass storefront windows divided by a vertical mullion into

2 vertical panes. Horizontal awnings are proposed above the first floor windows in intervals of the façade sections of the building. The horizontal awnings over the first floor windows are very common on buildings along the San Marco Avenue corridor. Examples of a few awnings are as follows:

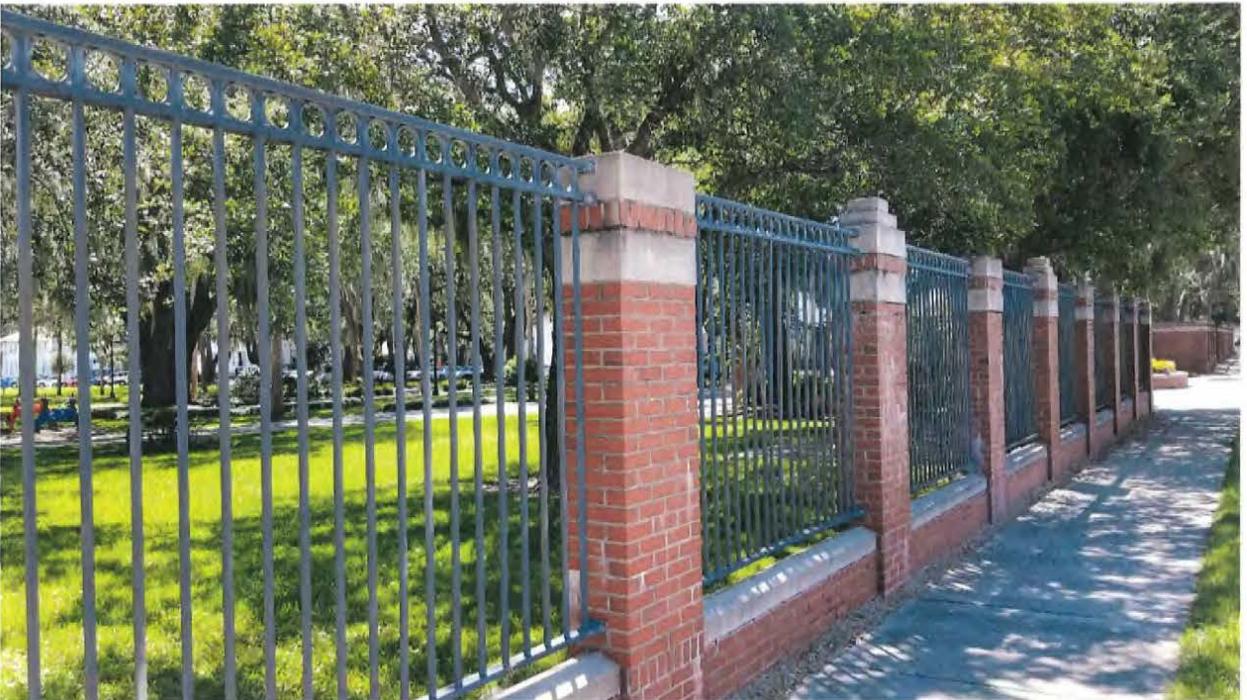
- 1 - Crème de la Cocoa building at 299 San Marco Avenue – canvas awnings over first floor windows
- 2 - Art'n Motion building at 283 San Marco Avenue - flat louvered awnings over first floor windows
- 3 - Accounting and Taxes building at 214 San Marco Avenue
- 4 - Office/Retail building at 149 San Marco Avenue
- 5 - 1927 Retail Building at 147 San Marco Avenue – fixed roof overhang over first floor windows
- 6 - Painted Lady Retail building at 72 San Marco Avenue
- 7 - Coastal Trader Retail building at 58 San Marco Avenue

The upper floor windows have horizontal mullions dividing the fixed glass window into upper & lower panes, replicating the appearance of double hung windows. The fenestration calculation for the upper floors is: 450 sq ft glass area / 1808 sq ft wall area = 25%, meeting the Design Standard requirement of maximum of 35% glazing for upper floor façade area. Examples of this configuration with storefront windows on the first floor level and double hung windows on the upper floor are found on the following buildings along the San Marco Avenue:

- 1 - Retail building at 63 San Marco Avenue – masonry building with flat roof and parapet walls, storefront windows on the first floor and double hung windows on the upper floor.
- 2 - Accounting and Taxes Retail building at 214 San Marco Avenue – fixed glass storefront window at first floor retail store and double hung window at upper floor.
- 3 - North building of the School of the Deaf and Blind – larger and more numerous windows on the first floor and fewer and smaller double hung windows on the upper floor.
- 4 - San Marco Center at 247 San Marco Avenue – Fixed glass windows larger and more numerous on the first floor retail level and smaller double hung window on the upper level.
- 5 - Art'n Motion building – large tall windows at the first floor and smaller shorter windows on the upper floor.

All the doors for the hotel building are storefront glass doors which blend into the first floor storefront window appearance. These will have the same shade of glazing and color of the aluminum framing which is consistent with the Design Standards and numerous businesses along the San Marco Avenue corridor.

1. Florida School for the Deaf and the Blind (FSDB)



(FSDB)



(FSDB)



(FSDB)



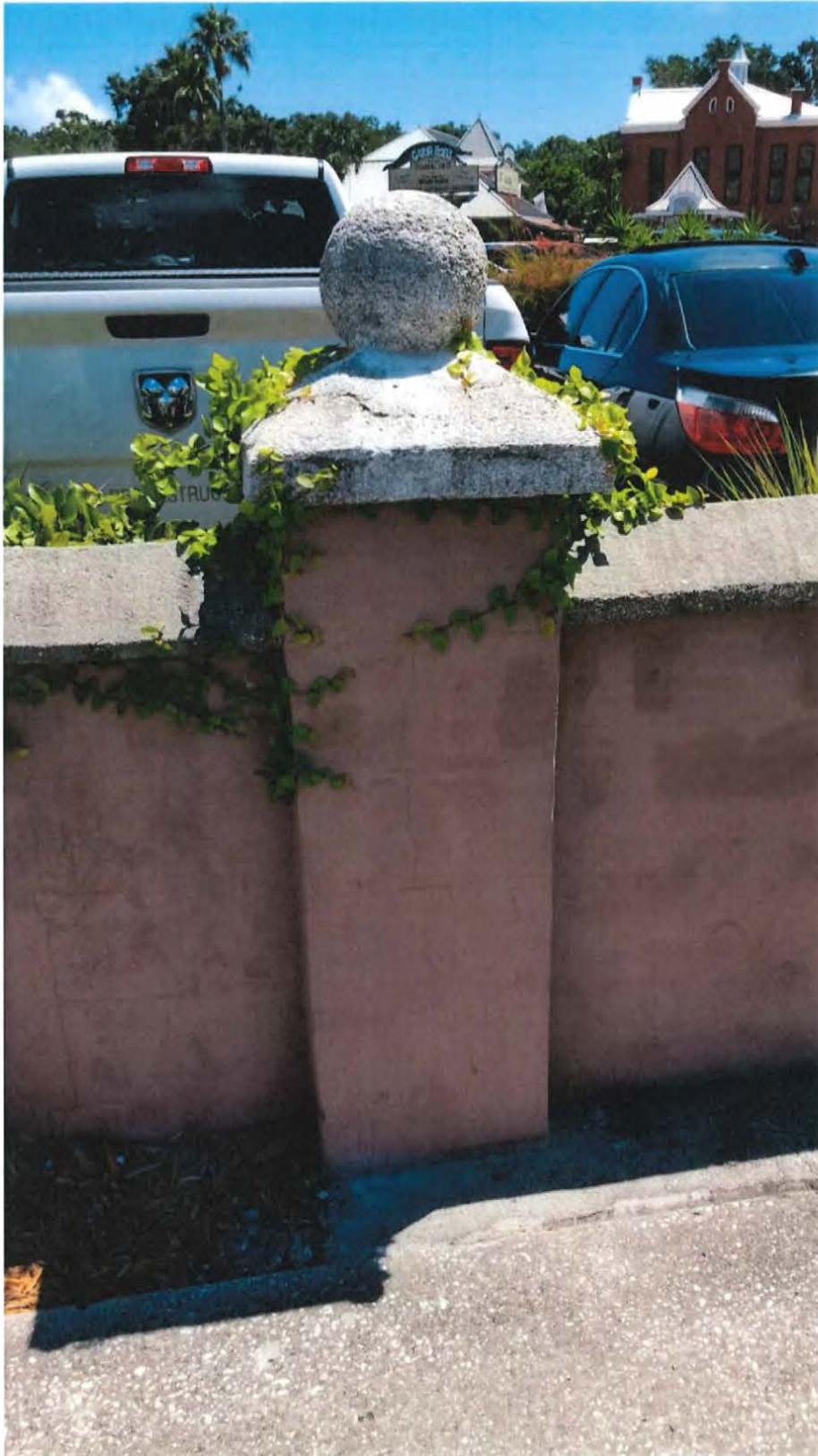
2. Davenport City Park



3. Old Town Center (Old Jail)



(Old Jail)



(Old Jail)

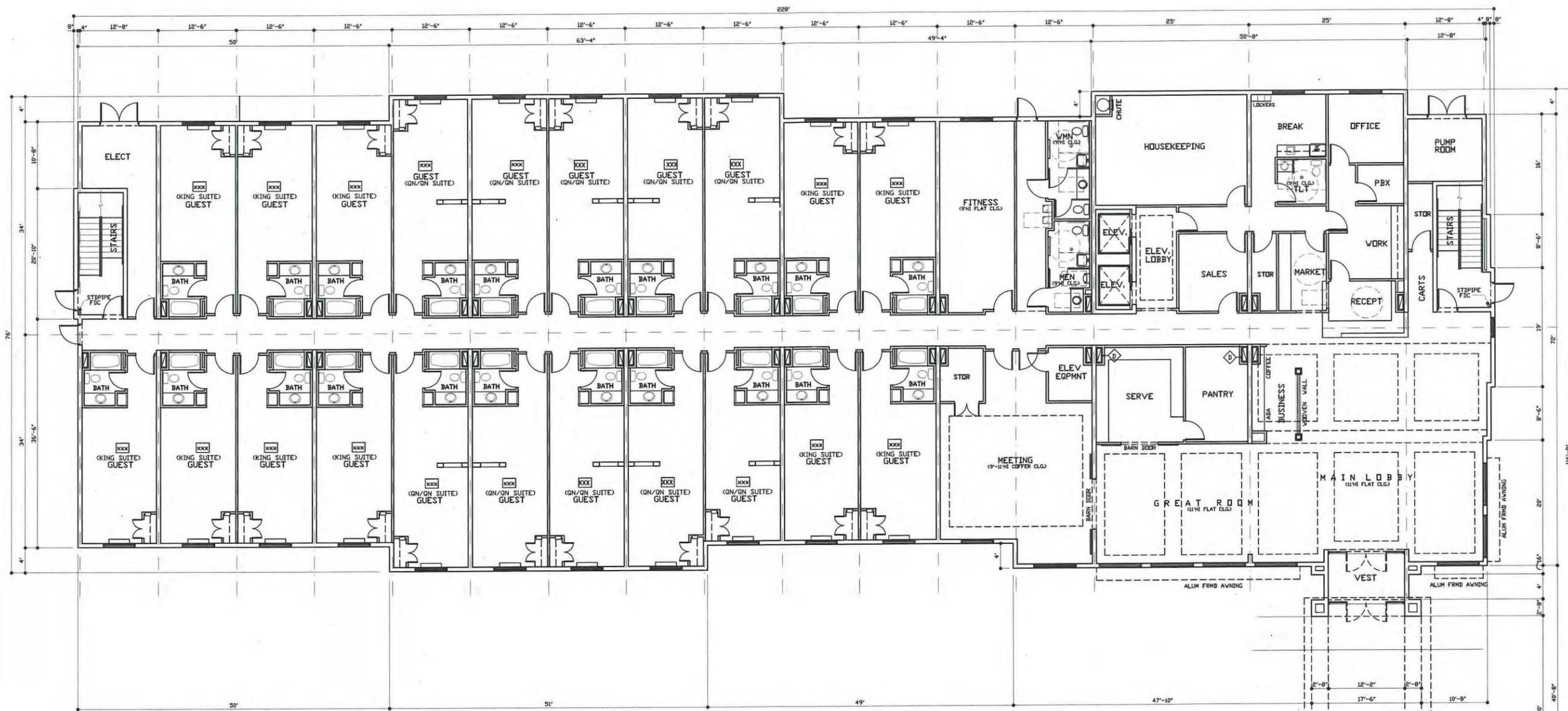


4. The Hampton Inn



(Hampton)





**FIRST FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**

SCALE: 1/8" = 1'-0" NORTH

ROOM TYPE SUMMARY

GUEST UNIT TYPE	STANDARD	MOBILITY FEATURE	MOBILITY & COMMUNICATION FEATURE	TOTALS	
KING SUITE	35	1	1	4	41
DBL QUEEN SUITE	41	1	1	3	46
LICENSED UNITS = 87		ACTUAL TOTAL UNITS = 87			

GUEST ROOM INFORMATION:

FIRST FLOOR GUEST RMS	21 ROOMS
SECOND FLOOR GUEST RMS	33 ROOMS
THIRD FLOOR GUEST RMS	33 ROOMS
TOTAL GUEST ROOMS	87 ROOMS

FIRE PROTECTION NOTE:

Ⓣ FIRE EXTINGUISHER TO BE A MINIMUM "AABC" WITH ANNUAL SERVICE TAG LOCATED IN FRONT & REAR DR. (ALL RECEIVED IN WALL)

PANIC HARDWARE & EXIT SIGNAGE IS REQUIRED AT ALL EGRESS DR. LEADING TO THE EXTERIOR.

LINEN CHUTE NOTE:

1. LINEN CHUTE MUST BE EQUIPPED WITH SELF-CLOSING, SELF-LATCHING, UL ACCESS DOORS W/ LEVER HANDLES
2. WHERE A HOLD OPEN DEVICE IS USED ON THE CHUTE TERMINUS DOOR, IT MUST HAVE A FUSIBLE LINK.

POOL RESTROOM NOTE:

SHARED WITH MAIN LOBBY RESTROOMS

CEILING HEIGHTS:

SEE REFLECTIVE CEILING PLAN FOR ALL CEILING HGT.



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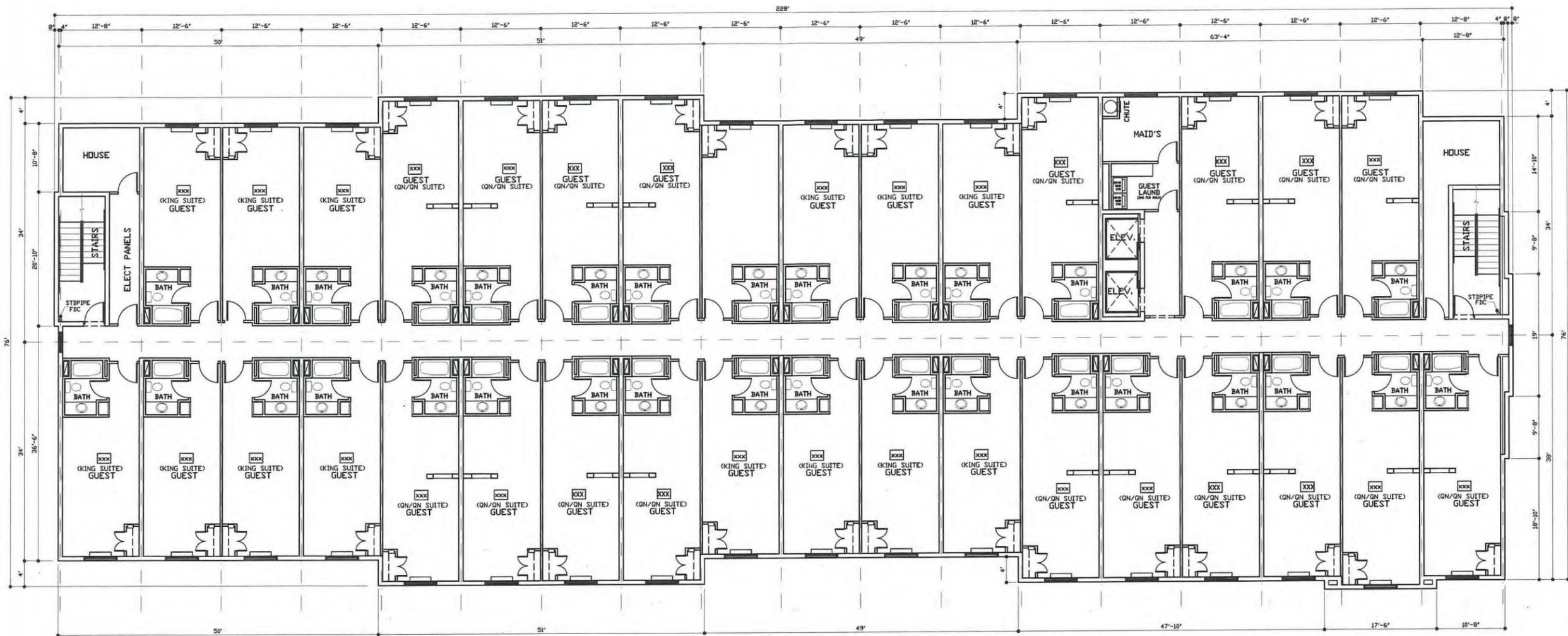
ARCHITECT
AR-7457

REVISIONS:

1. DRAWINGS ARE NOT TO BE SALES WRITTEN OFFERS. CONTRACTOR TO VERIFY ALL DIMENSIONS & VERIFY ALL WORKING & FINISH ARCHITECTURE. CONTRACTOR SHALL NOT PROCEED UNTIL ALL REQUIREMENTS HAVE BEEN REVIEWED BY ARCHITECT. 2. IF MODIFIED BY OTHER MEANS TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR. 3. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

COMFORT SUITES HOTEL
NEW 3 STORY HOTEL BUILDING
FAIRBAKS STREET & NORTH PONCE DE LEON
ST AUGUSTINE, FLORIDA

DATE: 08 AUG '18
PROJECT NO: 17 - A80
SHEET: of 5 **A1**



**2ND & 3RD FLOOR LEVEL
ARCHITECTURAL FLOOR PLAN**
SCALE: 1/8" = 1'-0"



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FLORIDA 34986
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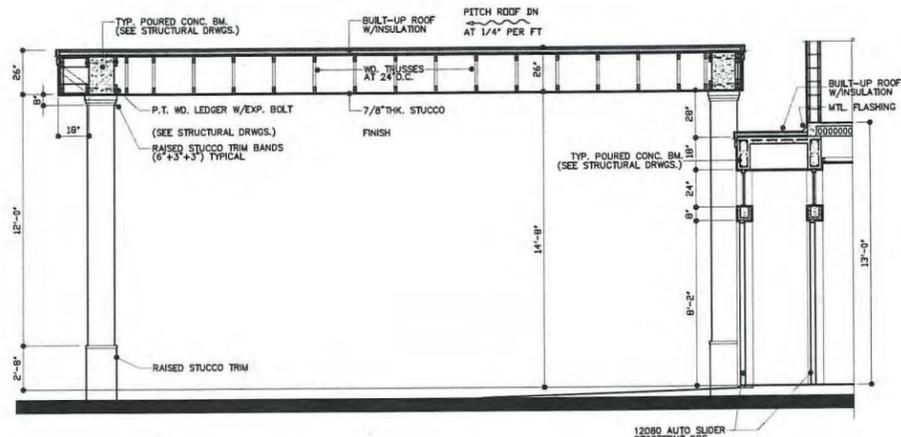
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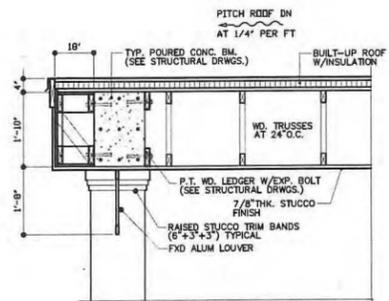
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2. CONTRACTOR TO VERIFY ALL DIMENSIONS & MAKE ADJUSTMENTS AS NECESSARY.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR. 5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

NEW 3 STORY HOTEL BUILDING
COMFORT SUITES HOTEL
FAIRBANKS STREET & NORTH PONCE DE LEON
ST AUGUSTINE, FLORIDA

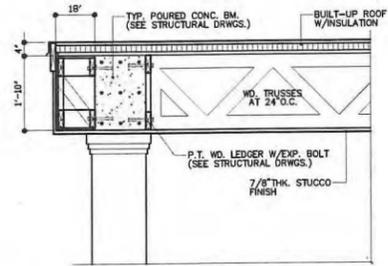
DATE: 08 AUG '18
PROJECT NO: 17 - A80
SHEET: of 5 **A2**



CANOPY CROSS-SECTION A
SCALE: 1/4" = 1'-0"



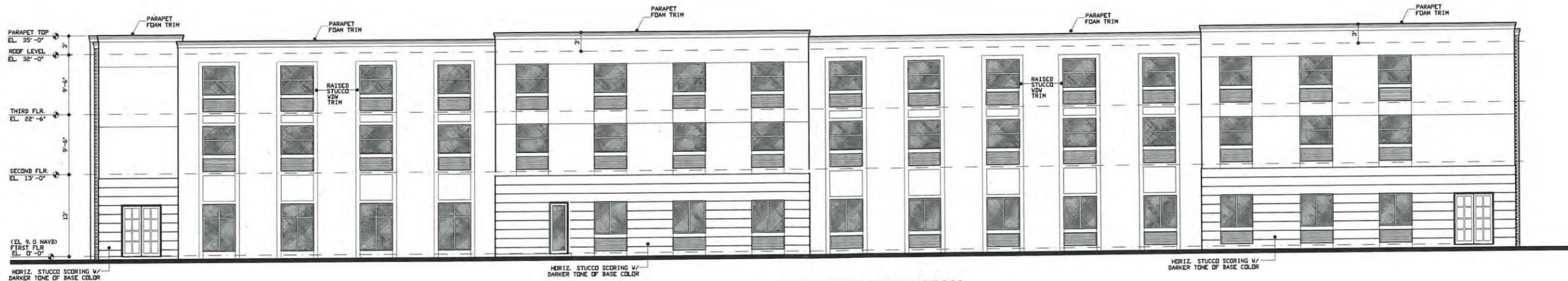
CANOPY CROSS-SECTION C
SCALE: 1/2" = 1'-0"



CANOPY CROSS-SECTION B
SCALE: 1/2" = 1'-0"



SOUTH SIDE ELEVATION
SCALE: 1/8" = 1'-0"



EAST SIDE ELEVATION
SCALE: 1/8" = 1'-0"



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AR-7457

REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALE WRITTEN PROCEEDINGS HAVE PRECEDENCE OVER ALL SCALE DRAWINGS. A CONTRACTOR TO VERIFY ALL DIMENSIONS & INTERFERENCES. CONSTRUCTION SHALL NOT PROCEED UNTIL ALL INTERFERENCES HAVE BEEN RESOLVED BY ARCHITECT. IT IS HEREBY BEING STATED THAT ALL DIMENSIONS & FINISHES ARE TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN REVIEWED BY THE CONTRACTOR. ALL SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

COMFORT SUITES HOTEL
NEW 3 STORY HOTEL BUILDING
FAIRBAKS STREET & NORTH PONCE DE LEON
ST AUGUSTINE, FLORIDA
JOHNS COUNTY,

DATE: 08 AUG '18
PROJECT NO: 17 - A80
SHEET: of 5
A3



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REVISIONS:

1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & VERIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
 3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR & SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

NEW 3 STORY HOTEL BUILDING
COMFORT SUITES HOTEL
 FAIRBANKS STREET & NORTH PONCE DE LEON
 ST AUGUSTINE, FLORIDA

DATE: 08 AUG '18
 PROJECT NO: 17 - A80
 SHEET: A4
 of 5

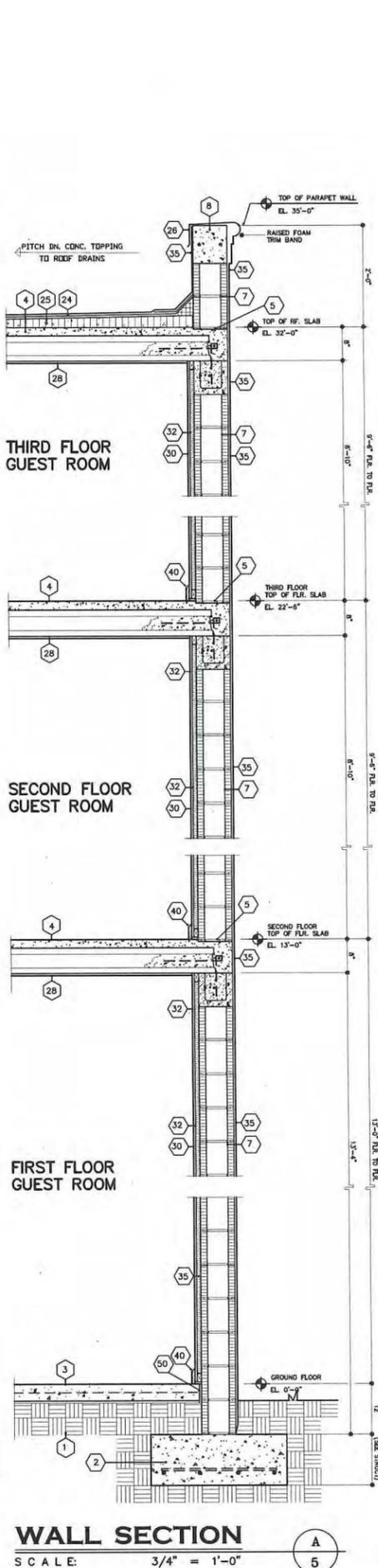
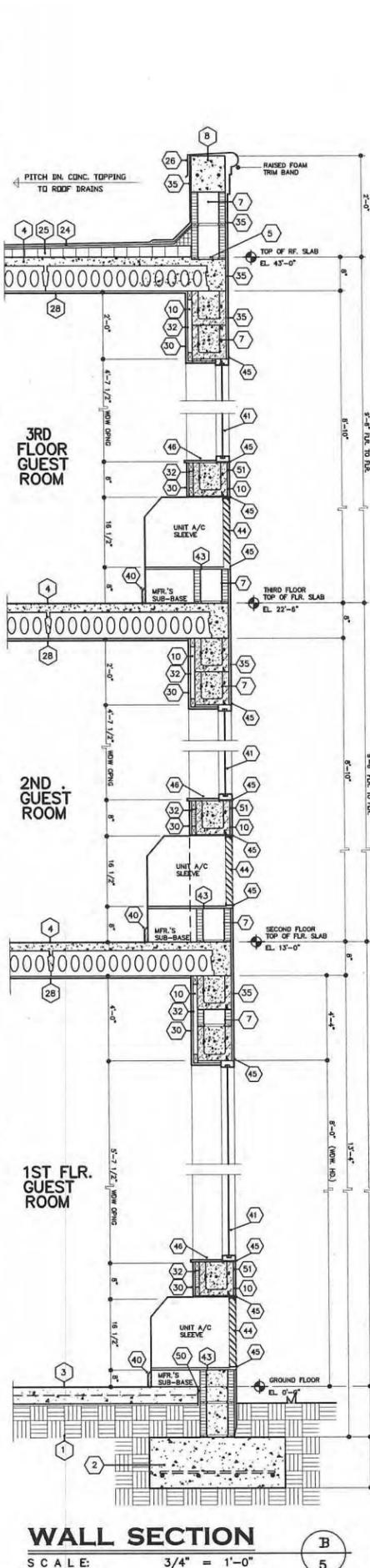
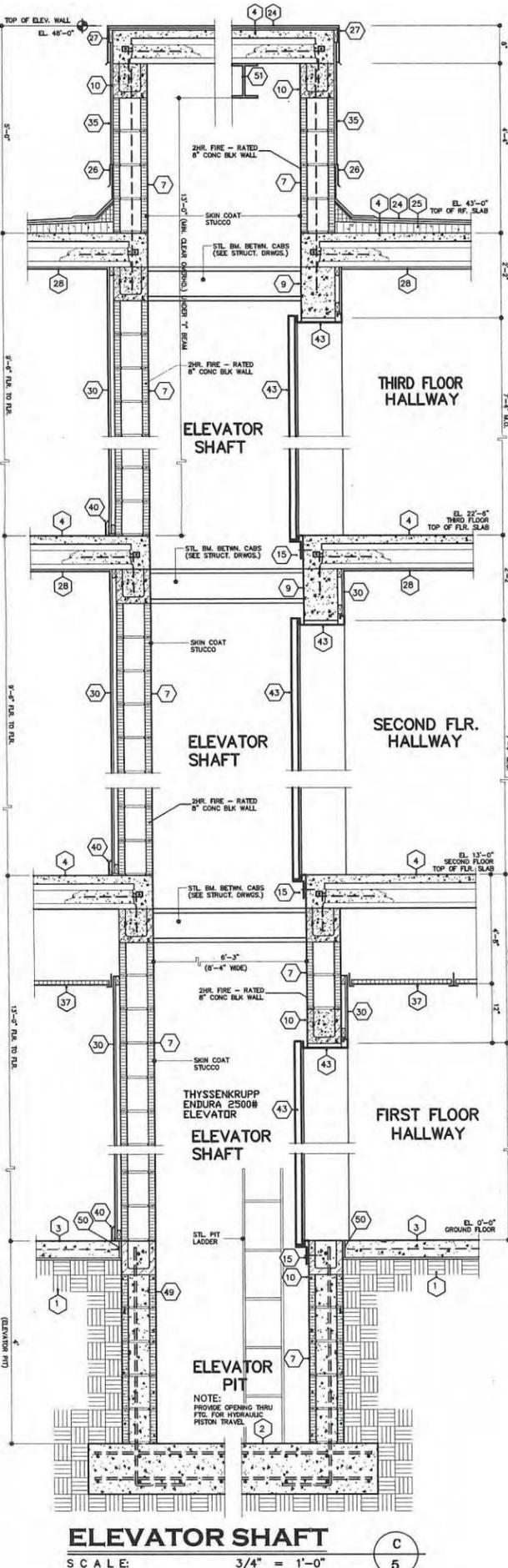
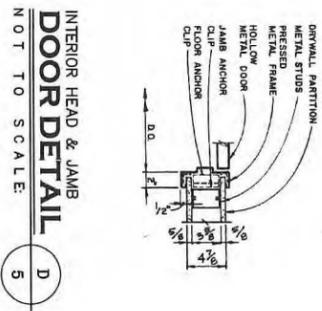
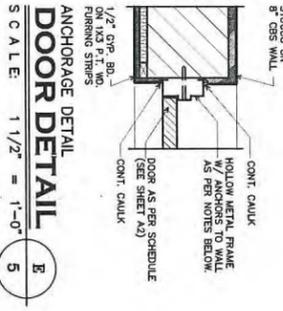
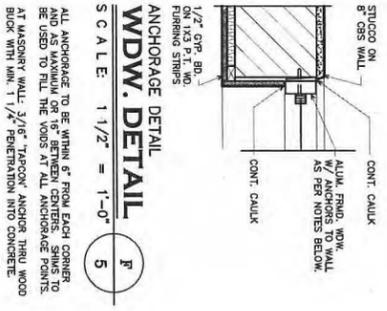


NORTH SIDE ELEVATION
 SCALE 1/8" = 1'-0"



WEST SIDE ELEVATION
 SCALE 1/8" = 1'-0"

11A1-L1

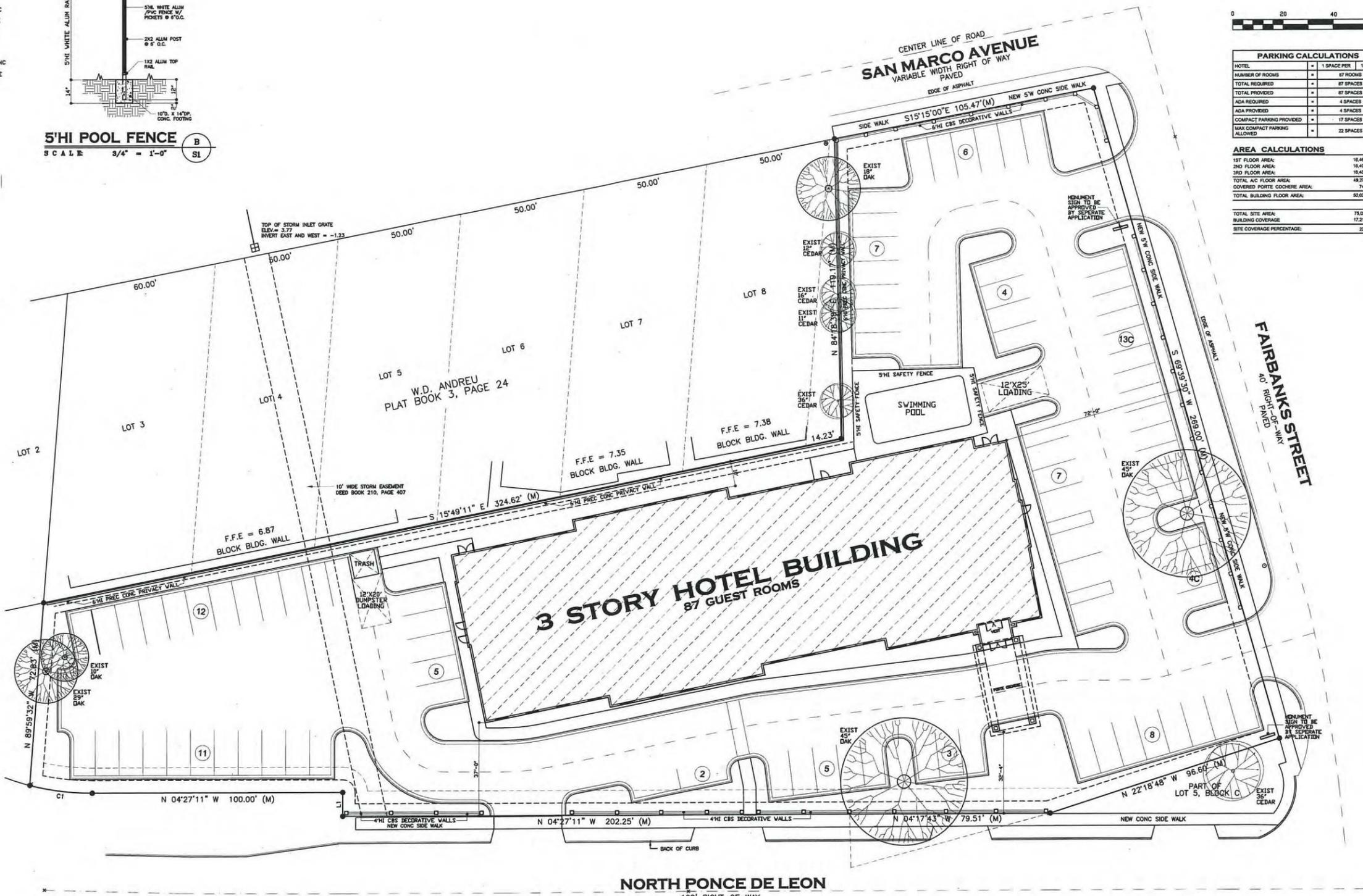
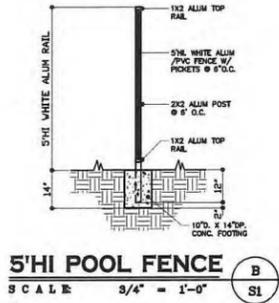
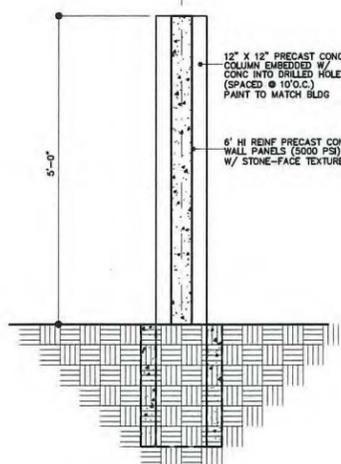


- STUCCO FINISH**
STUCCO TO BE 2 LAYER MINIMUM
7/8" THK 1/2" SAND/PLAT FINISH
- MATERIAL NOTES:**
- 1) COMPACTED TERMITO TRTD. CLEAN FILL
 - 2) CONC. FOOTINGS / FOUNDATION - SEE STRUCTURAL PLANS
 - 3) 4" CONC. FLOOR SLAB-ON-GRADE / SEE STRUCTURAL PLANS
 - 4) PRECAST CONC. FLR. PLANKS w/ 2" CONC. TOPPING SEE STRUCTURAL PLANS
 - 5) 3/4" BP. x 8" W. WATERSTOP SLAB RECESS
 - 6) PREC. CONC. PAVERS SIDEWALK & DRIVEWAY / SEE SITE PLAN
 - 7) 8" CONC. BLK. WALL w/ ADJ. REINFC. / SEE STRUCT. PLANS
 - 8) TYPICAL CONC. TIE BEAM / SEE STRUCT. PLANS
 - 9) REINFC. CONC. BEAM / SEE STRUCTURAL PLANS
 - 10) PRECAST CONC. LINTELS / SEE STRUCTURAL PLANS
 - 11) POURED-IN-PLACE CONC. LINTEL
 - 12) REINFORCED POURED CONC. STAIRS / SEE STRUCTURAL PLANS
 - 13) REINFC. CONC. COLUMNS / SEE STRUCTURAL PLANS
 - 14) STRUCT. STL. TUBE COLUMNS / SEE STRUCTURAL PLANS
 - 15) ELEVATOR DR. SILL SUPPORT ANGLE / SEE STRUCT. PLANS
 - 16) 36" ALUM. STAIR RAIL AS PER "STD. BLDG. CODE" 1007.5
 - 17) 42" HI. ALUM. SAFEGUARD RAILINGS / SEE ARCH. PLANS
 - 18) W/ RF. TRUSSES @ 24" OC. w/ PER. TO PROVIDE SHIP DVGS.
 - 19) GALV. MTL. ANCHOR STRAP / SEE NOTES ON STRUCTURAL PLAN
 - 20) 5/8" C1X PLYWOOD SHEATHING
 - 21) 1/2" CDX PLYWOOD SHEATHING
 - 22) STANDING SEAM ANOD. ALUMINUM SHT. MTL. ROOFING
 - 23) 30# BASE FELT TINTAGGED ON PLYWOOD ROOF SHEATHING
 - 24) BUILT-UP TAR & GRAVEL ROOFING
 - 25) LITEVGT. CONC. w/ STYROFOAM INSUL. BBS. (PITCH TO DRAINS)
 - 26) GALV. SHT. FLASHING
 - 27) GALV. MTL. DRIP DN 1X2 P.T. VD. STRIP
 - 28) TAPES/PATCHES JOINTS & DEFECTS w/ KNECKDOWN FINISH
 - 29) 5/8" P.T. VD. STRIP DN EA. END OF 3 5/8" GALV. MTL. STUDS @ 24" OC. MAX. (1 HR. FIRE RATED)
 - 30) 1/2" GYP. BD. ON 1/2" VD. FR. STRIPS @ 24" OC.
 - 31) R - 11.0 BATT INSULATION
 - 32) R - 4.2 BATT-INSUL. FOLR
 - 33) GALV. MTL. FURRING CHANNELS AT 24" OC. MAX.
 - 34) GALV. MTL. STUDS AT 24" OC. MAX.
 - 35) STUCCO EXTERIOR WALL FINISH / SEE BLDG. ELEVATIONS
 - 36) STUCCO ON GALV. MTL. LATH 50FT#
 - 37) SUSPENDED ACUSTICAL TILE CLG. AT 8" A.F.F.
 - 38) 5/8" HR. EXTERIOR GYPSUM SHEATHING ON GALV. MTL. FRMG.
 - 39) 1/2" GYP. BD. ON MTL. FRAMING
 - 40) CONT. CARPET BASE
 - 41) ALUM. FRAMED FIXED GLASS WDW.
 - 42) MTL. FRENCH DOORS / SEE ARCHITECTURAL PLANS
 - 43) ELEVATOR HOOR w/ ELEVATOR WFR.
 - 44) A/C LDUVER (WEATHERPROOF)
 - 45) CONT. CAULKING BEAR
 - 46) FLUSH MOUNTED A/C SLEEVE / VD.V. SILL
 - 47) 2X4 P.T. WOOD SLEEPER w/ 1/2" EXP. BOLTS @ 16" OC.
 - 48) CONT. WATERPROOFING GASKET AROUND PIT
 - 49) REINFORCED CONCRETE ELEVATOR PIT WALLS
 - 50) FIBERGLASS INSULATION JOINT FILLER
 - 51) STEEL 1" BEAM (SEE STRUCT. DVGS)

NEW 3 STORY HOTEL BUILDING
COMFORT SUITES HOTEL
FAIRBAKS STREET & NORTH PONCE DE LEON
ST AUGUSTINE, JOHNS COUNTY, FLORIDA

DATE: 06 AUG '18
PROJECT NO.: 17 A80
SHEET: 17 OF 5

ARCHITECT: JAMES E. GILGENBACH & PLANNING
9009 ONE PUTT PLACE (561) 809 - 8491
PORT ST LUCIE FLORIDA 34986



PARKING CALCULATIONS	
HOTEL	1 SPACE PER 1 ROOM
NUMBER OF ROOMS	87 ROOMS
TOTAL REQUIRED	87 SPACES
TOTAL PROVIDED	87 SPACES
ADA REQUIRED	4 SPACES
ADA PROVIDED	4 SPACES
COMPACT PARKING PROVIDED	17 SPACES
MAX COMPACT PARKING ALLOWED	22 SPACES

AREA CALCULATIONS	
1ST FLOOR AREA:	16,467 SQ FT
2ND FLOOR AREA:	16,464 SQ FT
3RD FLOOR AREA:	16,464 SQ FT
TOTAL AC FLOOR AREA:	49,395 SQ FT
COVERED PORTE COCHERE AREA:	749 SQ FT
TOTAL BUILDING FLOOR AREA:	50,044 SQ FT
TOTAL SITE AREA:	73,029 SQ FT
BUILDING COVERAGE:	17,219 SQ FT
SITE COVERAGE PERCENTAGE:	23.6%

- ⊕ WOOD POWER POLE
 - ⊕ GATE VA.
 - PALM TREE
 - ⊕ GUY WIRE
- 75028.8 SQ. FT.
1.72 ACRES

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	25.15'	25.09'	N 02°45'16" E	14°24'41"

SITE PLAN

SCALE: 1" = 20'-0"



JAMES E. GILGENBACH & PLANNING
ARCHITECTURE
9009 ONE PUTT PLACE
PORT ST LUCIE FLORIDA 34986
(561) 809 - 8491

ARCHITECT
AR-7457

REVISIONS:

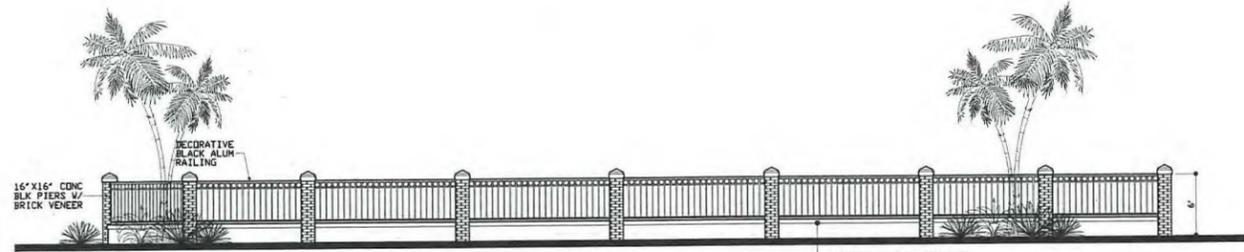
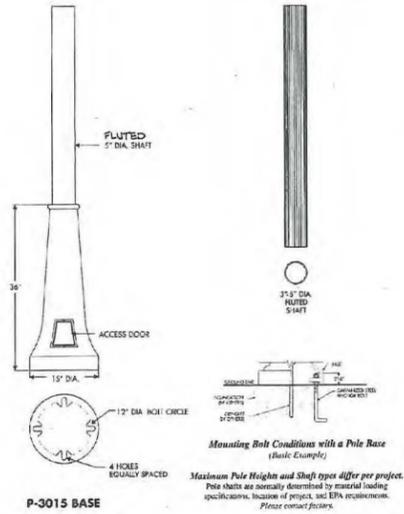
1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & MAKE ADJUSTMENT OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FROM THE CITY OF LEON.
4. ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR & SHIP DIMENSIONS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

COMFORT SUITES HOTEL
NEW 3 STORY HOTEL BUILDING
FAIRBANKS STREET & NORTH PONCE DE LEON
ST AUGUSTINE, FLORIDA

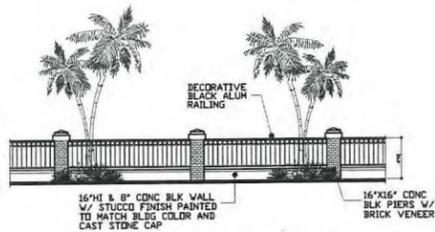
DATE: 08 AUG '18
PROJECT NO: 17 - A80
SHEET: S1
of 2

EIA Environmental Lighting for Architecture, Inc.		Ordering Matrix						
		Bowery - BWY						
1	2	3	4	5	6	7	8	9
Fixture	Size	Mounting	Optics	Bulb	Voltage	Lens	Color	Option
BWY	17	WB	H3	100W	120	DGG	CT	-
1. Fixture: BWY								
2. Size								
Mark 6: Description: Notes: Optic: Weight:		17 Max Voltage 255V 42 lbs.						
3. Mounting								
Mark 1: Description: Notes: Optic: Weight:		CA Cast Aluminum PT Post Top WB Wall Bracket						
4. Optics								
Vertical 		Mark 1: Description: Notes: Optic: Weight:						
Horizontal 		Mark 2: Description: Notes: Optic: Weight:						

**SITE LIGHTING
FIXTURE DETAILS**



**SAN MARCO FRONTAGE WALLS
WALL ELEVATION**
SCALE: 1/8" = 1'-0"



**PONCE DE LEON FRONTAGE WALLS
WALL ELEVATION**
SCALE: 1/8" = 1'-0"



**LOOKING NORTH
FAIRBANKS STREET STREETSCAPE**
SCALE: 1/16" = 1'-0"



**LOOKING EAST
PONCE DE LEON BLVD STREETSCAPE**
SCALE: 1/16" = 1'-0"

JAMES E. GILGENBACH & PLANNING
ARCHITECTURE

9009 ONE PUTT PLACE
PORT ST LUCIE, FLORIDA 34986
(561) 809 - 8491

ARCHITECT
AR-7457

REVISIONS:

1. DRAWINGS ARE NOT TO BE
SCALE. WRITTEN INSTRUCTIONS
HAVE PRECEDENCE OVER ALL
SCALE. DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL
DIMENSIONS & MAKE ADJUSTMENTS
IF ANY DISCREPANCIES.
CONTRACTOR SHALL NOT PROCEED
UNTIL ALL DIMENSIONS HAVE
BEEN REVIEWED BY ARCHITECT.
3. ALL MATERIALS TO BE USED ARE
TO BE FABRICATED UNTIL
A. ALL DIMENSIONS HAVE BEEN
VERIFIED BY THE CONTRACTOR.
B. SHOP DRAWINGS HAVE BEEN
REVIEWED & ACCEPTED BY
THE ARCHITECT.

COMFORT SUITES HOTEL

NEW 3 STORY HOTEL BUILDING
FAIRBANKS STREET & NORTH PONCE DE LEON BOULEVARD
ST AUGUSTINE, FLORIDA

DATE: 08 AUG '18
PROJECT NO: 17 - A80
SHEET: of 2









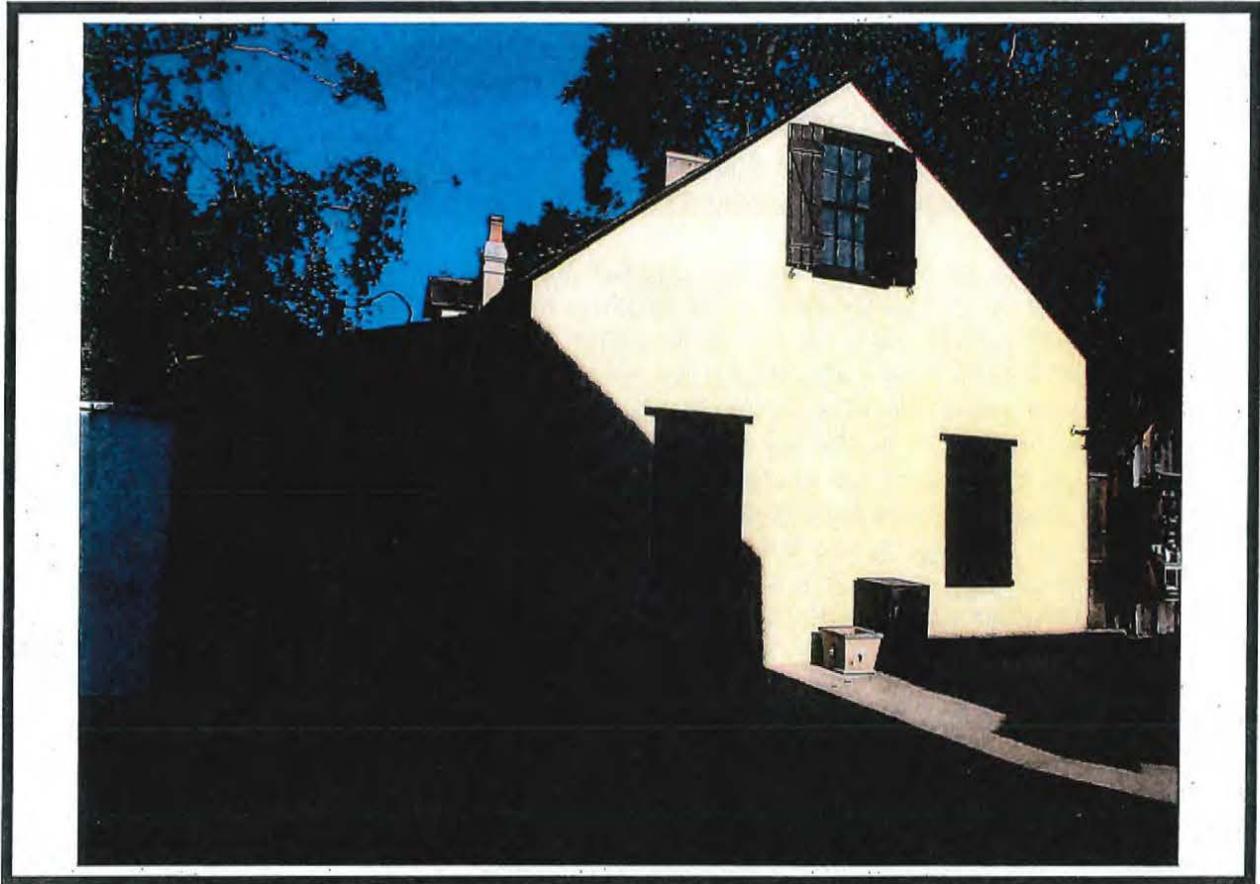
PARAPET FOAM TRIM
 RAISED STUCCO VENT TRIM
 RAISED STUCCO VENT TRIM
 RAISED STUCCO VENT TRIM
 BRICK VENEER
 TOP OF RF. EL. 32'-0"
 BRICK VENEER
 SECOND FLR. EL. 13'-0"
 ALUM. FRMD. AWNINGS
 EL. 9'-0" NAVEL STR. EL.

FXD STFRNT WINDOWS
 HORIZ. STUCCO SCORING W/ DARKER TONE OF BASE COLOR
 FXD STFRNT WINDOWS
 ALUM. FRMD. AWNINGS
 STUCCO FINISH
 FXD STFRNT WINDOWS
 HORIZ. STUCCO SCORING W/ DARKER TONE OF BASE COLOR
 ALUM. FRMD. AWNINGS
 FXD STFRNT WINDOWS
 STUCCO FINISH
 HORIZ. STUCCO SCORING W/ DARKER TONE OF BASE COLOR



CITY OF
ST AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for August 16, 2018 Meeting



Application F2018-0107

Address: 18 St. George Street

Don Crichlow & Associates, Applicant
18 St. George Street LLC, Owner

Project description: To construct new buildings between Spanish and St. George set in the character of the Spanish Colonial Architecture.

Architectural Style:	Spanish Colonial Inspired	Florida Master Site File:	N/A
National Register:	Property located in St. Augustine NR District	Construction date:	N/A
Archaeology Zone:	IA	Zoning District:	HP-3
Parcel number:	197480 0000		
Agenda Item:	7(a)	Previous Action(s):	COD 2017, OOA 2018

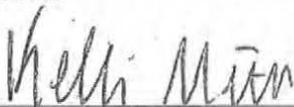
STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Appropriateness to make alterations to construct new buildings between Spanish and St. George set in the character of the Spanish Colonial Architecture.

- The proportions for the new design are not compatible. The length to height ratio of the front façade is not appropriate and not to scale with the 1 ½ story structures that surround the structure. The proportions of the design elements and the solid to void ratio on the western end of the building do not meet colonial standards. The lintel above the front gate is also not the proper size and should be enlarged.
- The six-over-six windows, the wood shingles, and the masonry stucco wall were approved by the board though the wall is two feet shorter than what was approved. The nine-over-six windows are appropriate for the style.
- The proposed French doors are appropriate for the style since they are facing the courtyard. Additional information should be provided about the doors on the kitchen.
- The shutters are appropriate as long as they are functional.
- The side gate facing St. George Street is seven feet wide (eighty-four inches), which is wider than the normal fifty inches. The applicant should consider making the gate smaller in width.
- The trellis is appropriate for the style. A more detailed drawing showing the dimensions and materials of the trellis should be provided.
- A rear ramp has been added to the back of the property and is appropriate since it is screened from Spanish Street.
- Of the proposed plants, only the schillmas holly is not native or listed in the AGHP
- No information was provided on the proposed walk-in cooler. Drawings should be provided of this structure.
- Additional information is necessary about the proposed paint palette.
- Properly scaled drawings should be provided to allow them to be measured for zoning purposes.
- This is a sensitive area and construction will require an A14 Archaeological Review Application. Coordination and application for the A14 should begin as soon as possible as this project could take some time. The City Archaeologist could even begin testing some areas of the property prior to the demolition.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Continue a Certificate of Appropriateness for 18 St. George Street** to address the comments provided above.



Kelli Mitchell, Historic Preservation Planner

F2018-0107
18 St. George Street
August 16, 2018

SUMMARY SCOPE OF WORK:

- Construct two new structures, one facing St. George Street and one facing Spanish Street
- The building facing St. George Street consists of 2 one and a half story buildings with side gables, dormers, wood shingle roofs, stucco siding, French doors, and 9/6 windows along with a one story structure with a flat roof, 9/6 window, and French doors. These structures are connected by 2 one-story connectors.
- A second building will be constructed facing Spanish Street. The structure appears to have four doors and two windows, a wood shingle roof, and an end gable.
- Construct a ramp at the Spanish Street entrance
- Construct four trellises, three running down the southern side of the structure and one in the rear of the property
- Construct a six foot tall masonry wall on the southern side of the property
- Add landscaping around the site
- Install 9/6 and 6/6 windows and install shutters on the windows on the windows facing St. George Street
- Install eight lite French doors on the structure facing St. George Street.
- Construct a walk-in cooler onto the existing restaurant

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

Colonial (1565-1821)

St. Augustine has been continuously occupied since 1565. The earliest buildings were crude shelters of wood, thatch and wattle-and-daub. Later, more substantial buildings were constructed of masonry and wood. However, except for the Castillo de San Marcos, none of these buildings survived the burning of the city by the English in 1702. The primary focus of this section is therefore on buildings constructed after 1702.

First Spanish Period (1565-1763)

Spanish St. Augustine was a poor military outpost. Construction was simple, and made use of local materials, such as coquina and wood. The Spaniards lived private lives on courtyards, patios and loggias enclosed by high walls. The St. Augustine Plan is an adaptation to the Florida climate. The loggia or gallery, usually on the south or east side of the building, provided shade, and sheltered doors and unglazed windows from sun and rain. The Spanish believed the devil always came from the north; hence, openings were rare on the north side of buildings.

Buildings are constructed directly on the street. The most common site plan is for the building to be placed on the north property line, providing a sideyard or courtyard to the south. The site is enclosed by a wall or fence. Entry is first through a gate in the wall or fence opening into a loggia, porch or courtyard and then into the building. Loggias and porches, both one and two story, are used for shade and are generally on the south or east facades. These open into courtyards, sideyards and patios. Stairs, if any, are usually located at the end of the loggia.

The most common building plan is a simple rectangle. Proportions vary due to initial design constraints and to additions, but the most common width to length ratio is about 1/1.5 with a range of 1/1.0 to 1/2.5. Dimensions are measured in varas (approximately 33.33 inches) not in feet. Buildings are generally small, and are one, one and one-half or two stories.

Foundations are usually tabby or coquina. Most construction is of masonry. Some buildings are wood frame, or have masonry end walls with wood frame between. To protect the masonry from the weather, all surfaces are covered with plaster or stucco.

Roof types include flat roofs enclosed by a parapet with rain spouts (canales) projecting through the wall plane, gable and hip. Flat and gable roofs are the most common. Roofs are of Medieval design and are distinctively steep, usually pitched greater than 45°. Roof surfaces are covered with split wood shakes, shingles, or boards and thatch. Overhangs are small or non-existent.

Window and door openings are proportionately large. Windows were originally unglazed. Ground floor street windows may have projecting rejas while all other windows have banisters or lattice. All windows have interior shutters. Street doors are usually fifty inches wide, and are either single or double leaf.

Detailing includes roofed balconies, often with corbelled beams, which overhang the street. Balconies extend across most of the face of the building and protect windows from sun and rain.

British Period (1764-1783)

St. Augustine was still a poor military outpost when the English arrived in 1764. The St. Augustine Style of architecture was not pleasing to the eighteenth century English, who felt that Spanish had consulted convenience more than taste. The English therefore set about altering the town to suit their tastes. Although they retained many features of Spanish Colonial architecture, the English also introduced design features based on the architecture in their northern colonies. These included street doors directly entering the building, glazed windows with exterior shutters, and chimneys. Many existing buildings were modified and expanded.

New buildings are constructed directly on the street. Street doors provide direct entry into the building. Loggias and porches, and the adjacent yards, are retained. Stairs are often moved to the inside or incorporated within the expanded building. Buildings are one to two and one-half stories.

British Period buildings are often larger than First Spanish Period buildings. The most common plan remains a simple rectangle. Width to length ratios average 1/1.5 with a range of 1/1.0 to 1/2.6. Dimensions vary from the First Spanish Period style because the British measure in feet instead of varas.

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Foundations are usually tabby or coquina. Most buildings are of masonry, but wood frame construction greatly increased during this period. The most common examples are wood frame second stories and wood frame extensions of existing masonry buildings. To protect the masonry from the weather, all surfaces are covered with plaster or stucco.

Roof types are gable and hip. Roofs are usually pitched at about 45°. Dormers are used to provide light and air to the upper half story. Roof surfaces are covered with split wood shakes or shingles. Flat roofs are not used.

Door openings are reduced due to the introduction of the British six-panel door. The average door width is thirty-three inches, although thirty-six, forty-two and forty-four inch doors are used. The average door height is seven feet and is seldom less than six feet ten inches.

Window openings are reduced in size and proportion due to glazing. Single panes of glass are no larger than eight inches by ten inches. The most common width to height ratio for windows is 1/2.0, with a range of 1/1.7 to 1/2.5. Windows are double hung sash and may be twelve-over-twelve, nine-over-nine, nine-over-six or six-over-six. A typical arrangement is nine-over-six on the ground floor with six-over-six on the upper floor.

Detailing consists of roofed balconies, often with corbelled beams, which overhang the street. Balconies extend across most of the face of the building and protect windows from sun and rain. Balconies on First Spanish Period buildings are generally retained.

Second Spanish Period (1784-1821)

Upon their return, the Spanish retained many of the features introduced by the British including chimneys, glazed windows and exterior shutters.

Buildings are constructed directly on the street. Both courtyard doors and direct access doors are common. The site is enclosed by a wall or fence. Loggias and porches, both one and two story, are used for shade and are generally on the south or east facades. These open into courtyards, sideyards and patios. Stairs, if any, are usually located at the end of the loggia.

Buildings are larger than those of the First Spanish Period. The most common plan remained a simple rectangle, although wing additions are sometimes used. Proportions remained about the same. Width to length ratios average 1/1.5 with a range of 1/1.0 to 1/2.6. Dimensions are again measured in varas (approximately 33.33 inches) instead of feet.

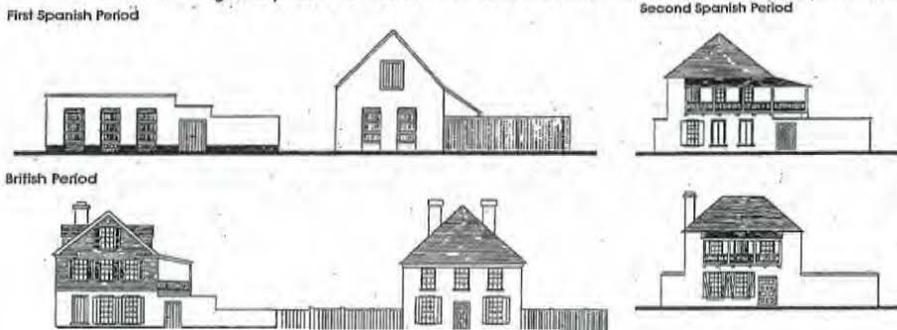
Foundations are usually tabby or coquina. Most buildings are of masonry construction, with wood much less common. Buildings are one to two and one-half stories. To protect the masonry from the weather, all surfaces are covered with plaster or stucco.

Roof types are gable and hip. Roof pitches varied from 30° to 45° with the lower pitches reflecting 19th century design. Flat roofs are not used. Roof surfaces are split wood shakes or shingles, although some larger buildings use slate or barrel tile.

The average door width is thirty-three inches, although thirty-six, forty-two and forty-four inch doors are used. The average door height is seven feet and is seldom less than six feet ten inches.

Window openings are reduced in size and proportion due to glazing. Single panes of glass are no larger than eight inches by ten inches. The most common width to height ratio for windows is 1/2.0, with a range of 1/1.7 to 1/2.5. Windows are double hung sash and may be twelve-over-twelve, nine-over-nine, nine-over-six or six-over-six. A typical arrangement is nine-over-six on the ground floor with six-over-six on upper floors. Exterior shutters are common. Rejas are not used.

Detailing consists of roofed balconies, often with corbelled beams, which overhang the street. Balconies extend across most of the face of the building and protect windows from sun and rain. Balconies on First Spanish Period and British Period buildings



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Secretary of the Interior's Standards for Rehabilitation that apply:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment. [Compatible New Use]
2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. [Retention of Distinguishing Architectural Character]
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved. [Sensitive Treatment of Distinctive Features and Craftsmanship]
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. [Protection and Preservation of Significant Archaeological Resources]
9. New additions, exterior alterations, or related new constructions shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. [Compatible Contemporary Design for New Alterations and Additions]
10. New additions and related or adjacent new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. [Reversibility of New Alterations and Additions]

Local Standards for Rehabilitation that apply:

3. Exterior features on Colonial Period buildings shall conform with the definition of "St. Augustine Architecture" as described in the book *The Houses of St. Augustine 1565-1821* by Albert Manucy, and by documented evidence of pre-1821 structures in the City or its environs. Manucy's book, including additional evidence documented by the St. Augustine Historical Society or other professional sources, shall be the final source in matters of design, proportion, scale, colors, materials, exterior fabric and texture.
4. All post-1821 modifications that disguise, disrupt or intrude upon the original Colonial style shall be removed rather than replaced or repaired.

New Construction

New construction should complement historic architecture. Through sound planning and design, it can respect and reinforce the existing patterns of development in the local historic preservation zoning districts. Successful infill design does not have to imitate demolished or existing buildings to be successful. Rather, it picks up significant themes such as height, materials, roof form, massing, setbacks, and the rhythm of openings to ensure that a new building blends with its context.

The setting of existing historic buildings should be preserved when new construction is undertaken. The relationship of the new construction to adjacent buildings, landscape and streetscape features, and open spaces should be considered. New construction adjacent to historic buildings can dramatically alter the historic setting of neighboring buildings or the district. Such construction should not create a false sense of historical development through the use of conjectural features or stylistic elements drawn from other buildings. New construction is appropriate as long as it does not destroy significant historic features, including designed landscapes, and complements the size, color, material, and character of adjacent buildings and their historic setting.

Architectural Styles for New Construction

Buildings may not use distinctive design elements and features from a period different from the one being reproduced. While it may be appropriate for some later period details to be included on an earlier period building to reflect its evolution over time, it is never appropriate to place earlier period features on a later period building.

HP-2 and HP-3

Reconstructions in the St. Augustine Style with all the permutations of development from 1565 to 1821, are the only forms of new construction permitted in Historic Preservation-Two and -Three (HP-2 and HP-3). All new structures, regardless of use, shall conform to the design characteristics described in *The Houses of St. Augustine 1565-1821*, by Albert Manucy, or as documented and verified for pre-1821 St. Augustine structures by the St. Augustine Historical Society, Historic American Building Survey or other accredited authority. * New construction within these districts must reproduce designs reflecting one of the three distinctive

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August 16, 2018

Colonial periods: First Spanish (1702-1763), British (1764-1783) or Second Spanish (1784-1821). Reproductions reflecting First Spanish Period design are recommended. See sections below regarding pre-1821 designs for new construction.

Pre-1821 Designs for New Construction

Site Plans and Building Setbacks

Buildings in historic districts often share common front and side setbacks. Commercial buildings are generally set directly on the property lines, creating a wall effect. In locating new buildings, the front and side setbacks should be maintained and aligned with the facades of surrounding historic buildings.

*** Pre-1821 Site Plans**

For buildings constructed in the St. Augustine Style, the front facade is located directly on the street. If the finished floor elevation requires it, the building may be set back the width of one step. If more steps are required, they must be within the building.

The remainder of the front property line is enclosed by a wall or fence. Most properties should be completely enclosed by a wall or fence.

Buildings are usually oriented to the south or east, with the building constructed on the north or west property line. This arrangement provides both shade and a usable side yard.

On all First Spanish Period and most Second Spanish Period buildings, the entrance to the house is through a gate into the yard, loggia or porch. The door into the building itself is under the loggia or porch or faces the yard. The British introduced doors into the street facade, although in many instances the Spanish style entry was retained.

*** Pre-1821 Building Plans**

There are three basic building plan types in the St. Augustine Style. These are the Common Plan, St. Augustine Plan and the Wing Plan.

The Common Plan is a simple one or two room building used by both the Spanish and the British. Quite often, the longer dimension of the building was perpendicular to the street. This type of building grew and expanded with the fortune and family of the owner, usually in single file.

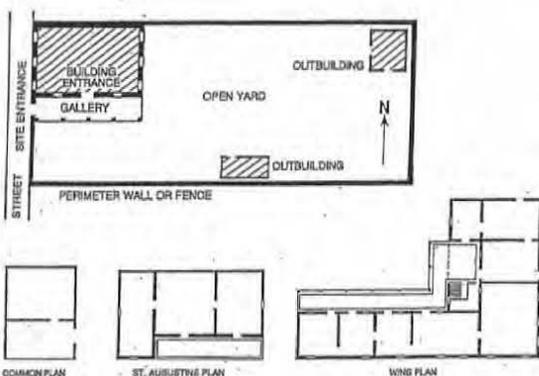
The St. Augustine Plan is an adaptation of the Common Plan to the Florida climate. A loggia or gallery, usually located on the south or east facade, provides shade and shelters doors and windows. A Common Plan building could be converted to the St. Augustine Plan by the addition of a loggia or gallery. The British retained this building plan and adapted it for several new buildings.

The Wing Plan is an expansion of a Common Plan or St. Augustine Plan building through the addition of a wing. This plan may be L-shaped or (less commonly) U-shaped. Usually, a gallery on the inside of the building connects the rooms.

In general, facades should be simple and balanced, often symmetrical, and almost devoid of decoration. There is a rhythm of solids and voids, with a greater proportion of solid wall to doors and windows.

Pre-1821 Site Plan and Building Plans

Figure 10



Pre-1821 Design Considerations

In Colonial St. Augustine, the design tools of the builder were the compass and tradition. The use of T-squares, angles and grids was unknown. Proportions were often determined by circles, arcs and the tradition of the "Golden Rectangle" of classical Greece.

The Spanish building tradition - the large openings, shaded facades and covered loggias serving as outdoor rooms - reflects the need for shade and cooling breezes in the hot climates of both southern Europe and Florida. The British building tradition - chimneys, glazed windows and dormers, and direct entries - reflects the need for warmth and light in the cooler climates of northern Europe and British North America.

Due to the climate in St. Augustine, some Spanish design elements were retained and replicated by the British. Likewise, some features introduced by the British were absorbed into Second Spanish Period design.

Wall heights of Spanish buildings can vary widely from wall heights in British buildings. While the six and one-half vara (eighteen feet, one-half inch) wall is within half an inch of a British eighteen feet high wall, the four vara (eleven feet, one inch) wall is nearly one foot off both the British ten feet and twelve feet walls.

The most common street doors on Spanish buildings are one and one-half varas (50 inches) wide, while the most common street doors on British buildings are forty-two or forty-eight inches wide.

Architectural Features

Accessory Buildings including porches

Accessory buildings, also known as secondary buildings, are located on the same lot as the primary building, are smaller than the primary building and are customarily incidental to the primary building. Accessory buildings may be attached or detached. Accessory buildings include garages, carports, porte cochères, loggias, porches, galleries, porticoes, colonnades and other outbuildings.

Pre-1821

Accessory buildings must be smaller in mass and scale than the primary building. These buildings should have a foot print no greater than 40% of the foot print of the primary building, and whether attached or detached, may not be more than one story high. Accessory buildings may not intrude into the yard or open space associated with a primary building, and should be located near side and rear property lines to enclose open space.

Detached accessory buildings should be simplified versions of the primary building in design, materials, detail and ornamentation. For non-habitable buildings, windows should be kept to a minimum whenever possible.

Simple outbuildings should be painted white.

Doors and Entrances

Pre-1821

First Spanish Period doors are similar to gates in design but are between thirty-three inches and forty-four inches wide.

British Period and Second Spanish Period doors may be located in the street facade or may reflect the St. Augustine Plan. The thirty-three inch wide English six panel door is the most appropriate. Second Spanish Period doors may also be similar to First Spanish Period design. All doors should be six feet, ten inches to seven feet high whenever possible.

Appropriate materials include pine, oak, cypress and cedar boards, either square edged, shiplap, tongue-and-grooved or beaded, with black iron hardware. Doors may be either single or double leaf. Street doors should not contain any glazing. Balcony and courtyard doors may be partially or fully glazed, with wood sash and muntins.

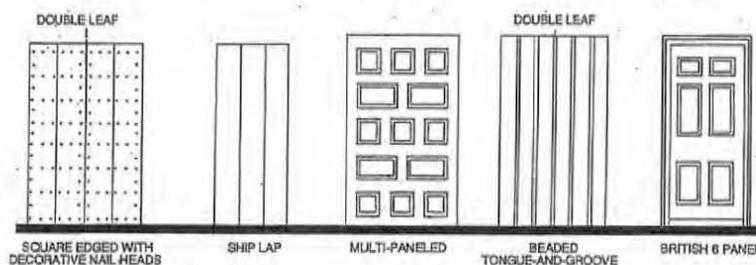
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Hardware should be black iron in a documented pre-1821 design. In some instances, brass, tin or leather may be appropriate. Door hardware may be simple wood pulls, iron thumb latches, levers or small 18th Century doorknobs. Modern door knobs, handles and latches are not appropriate, and are not permitted on street facades. Modern locks should be black and mounted flush with the door face to be as unobtrusive as possible. Door hinges are black iron and should not appear machine stamped or flimsy. Exposed nail heads must reflect the design of 18th Century hand made nails. Modern nail heads should not be visible. Black iron medallions are appropriate ornamentation for more ornate First Spanish Period and Second Spanish Period doors.

If direct entry street doors swing out, it is appropriate to use double leaf doors inset into the wall. It may be simpler on commercial buildings to use courtyard entries so that doors may swing into the property instead of into the public right-of-way.

Pre-1821 Doors

Figure 12



Exterior Finishes

Pre-1821

Most First and Second Spanish Period buildings are masonry, although some are wood frame and some have masonry end walls with wood frame between. Most British Period buildings are masonry, although the use of wood frame construction increased. The most common examples are wood frame second stories and wood frame extensions of existing masonry buildings.

Most buildings should have masonry walls covered with plaster or stucco. The final coat must be smooth finish stucco, although an ashlar joint finish may be appropriate for larger and more detailed British Period and Second Spanish Period buildings. Pieces of coquina stone should not project out of the stucco to create a false "time worn" appearance.

The exterior fabric and materials should effectively reproduce the texture and appearance of materials on existing or documented pre-1821 buildings. Depending on the period of the building, acceptable materials include: exposed, course-squared coquina stone; smooth finish or ashlar joint stucco; poured coquina concrete; tabby; feathered or square lap siding; vertical wood siding; board-and-batten riven board siding or split wood shakes. Recommended woods are red cedar, native pine, cypress and oak. Weatherboard or clapboard are appropriate on the upper stories.

Fences, Walls and Gates

Pre-1821

The fence or wall is an extension of the building along the front property line. All front property lines must be enclosed by a fence or, more commonly, a masonry wall. All First Spanish Period and most Second Spanish Period buildings are entered first through a gate in the front wall and then through a door in the side of the building facing the yard. This is one of the defining features of St. Augustine Plan architecture. All exposed side and rear yards must be enclosed as well.

First Spanish Period fences may be poles, stakes or random width boards. Masonry walls are covered with smooth finish stucco or plaster with a rounded or steeply angled cap.

Fences must be nailed or pegged, not stapled. Exposed nail heads must appear as hand wrought colonial nails. Boards should be substantial, not flimsy. Board fences are generally flat topped, while poles, pickets and stakes have sharply angled tops. Wood fences may be painted white or left unpainted.

First and Second Spanish Period fences and walls must be a minimum of five and one-half feet high. British Period fences and walls must be a least six feet high.

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Hardware should be made of wood, leather or iron. Iron must be painted black. Brass generally is not appropriate for St. Augustine. Modern locks must be installed flush with the gate face and painted black. Hinges are black iron and should not appear machine stamped or flimsy. Exposed nail heads must reflect the design of 18th Century hand made nails. Modern nail heads should not be visible.

Foundations and Infill **Pre-1821**

Buildings should have continuous piers of ashlar joint or smooth finish stucco. Exposed cement block may not be used as foundation material. Foundations should not be faced with modern materials such as stone veneer, brick, shell dash or concrete.

Paint Colors and Placement

See also Resolution 2005-05 for reference where HARB recommended that all properties with more than one main building in the Historic Preservation zones obtain approval for master paint schemes.

Pre-1821

The majority of buildings were originally painted with a whitewash or limewash. The most appropriate paint color for masonry is San Augustin White. Larger and more detailed buildings may also be painted De Mesa House Pink, Fatio House Pink, King's Bakery Coral, Light Ochre or Ochre Tan.

It is appropriate to use a dark horizontal band of paint, called a zocalo, two to three feet high to prevent dirt and mud from showing on white or light colored walls. Documented zocalo colors include King's Bakery Black, Fatio House Red, Solana House Brown, Deep Mauve, Clay Red and Maroon Red.

Wood may be left unpainted, whitewashed or painted. Documented trim colors include Canova House White, O'Reilly House White, Gonzalez-Alvarez House Gray, Fatio House Gray, Paredes House Gray, Fatio House Red, Solana House Brown, Peck House Green, Light Ochre, Ochre Tan, Dark Mustard, Terra Cotta, Medium Mauve, Deep Mauve, Clay Red, Maroon Red, Gray Blue and Shutter Blue.

Roofs and Roofing **Pre-1821**

First Spanish Period roofs may be either flat or pitched. Simple parapets with tile or wood canales (rain spouts) must be used with flat roofs. Pitched roofs may be either gable or hip, with gables more common. Roofs are steeply pitched between 45° and 53°, giving the building a medieval appearance. Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress, or wood shingles giving the appearance of thatch. Modern composition shingles are appropriate only if they replicate the color, texture and shape of historically documented material.

British Period roofs may be gable, hip, gable-hip or bell hip. Roofs are pitched between 40° and 45°. Flat roofs are not used. Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress. In some instances, slate roofs may be appropriate.

Second Spanish Period roofs may be gable, hip or gable-hip. Roofs are generally pitched between 40° and 45°, but may be as low as 30°. Flat roofs are not used. Roofs may be covered with either split wood shakes or wood shingles preferably of cedar or cypress. In some instances, slate or barrel tile roofs may be appropriate.

Eaves of this period should be narrow or nonexistent. The fascia is a narrow weatherboard, possibly beaded. The British box cornice is appropriate with plain, beaded or molded fascia and eave returns.

Gutters are generally not appropriate on pre-1821 buildings. It is appropriate to raise the last shingle course about an inch to "kick" water away from the walls. If guttering must be used, it should effectively reproduce the appearance of documented pre-1821 gutter types. Modern gutters may be used when placed inside, and if effectively screened by, a V-shaped wood trough, preferably cypress. Gutters may also be disguised behind parapets. On some buildings, a half-round gutter may be used when painted to match the patina of copper. To reduce the need for gutters, gable roofed buildings should be oriented with the gable end adjacent to the street. Gutters are not appropriate on balcony roofs.

First Spanish Period buildings should not have dormers on the street facade. It is more appropriate for windows to be placed in the gable ends. Dormers on the facade opposite the street should be low, with a shed roof. With British Period buildings, dormers are quite common. Dormers on one and one-half story buildings should have shed roofs. Dormers on two or two and

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one-half story buildings may use either gable or shed roofs. Second Spanish Period buildings may have dormers in the style of First Spanish Period buildings or British Period Buildings.

Windows and Window Treatments

Pre-1821

Windows on First Spanish Period buildings should have banisters, possibly with lattice on the lower half. Rejas projecting twelve to eighteen inches on a masonry base are appropriate only for ground level street windows. Banisters or lattice must be used on all other windows. Windows with rejas and banisters may have single expanse glazing giving the impression of an unglazed window. One-over-one double hung sash windows are also appropriate. On larger buildings, wood twelve-over-twelve double hung sash windows, without rejas or banisters, may be appropriate. Multi-pane windows behind rejas and banisters are not appropriate.

Windows on British Period and Second Spanish Period buildings may be nine-over-nine, nine-over-six or six-over-six wood double hung sash. A common arrangement is nine-over-six on the ground floor and six-over-six on upper floors. Window and pane proportions must follow the historic models. Rejas are not appropriate.

Shutters should be functional, and located inside for rejas and bannistered windows, and outside for glazed windows. They should be louvered, square edged, beaded, tongue-and-grooved or paneled. Appropriate materials are wood for the shutters and iron for the hardware. It is historically appropriate for solid shutters to be used on the ground floor, with louvered shutters on the upper floor. Shutters may be painted or left natural. Shutter hinges are black iron and should not appear machine stamped or flimsy. Shutter tiebacks or "shutter dogs" should be fairly simple and functional. Exposed nail heads must reflect the design of 18th Century hand made nails. Modern nail heads should not be visible. Hardware must be black and in a documented pre-1821 design. Brass is generally not appropriate for St. Augustine.

Balconies are a common feature of all Colonial periods. Balconies should be wood and in proportion to the building facade. Balusters should reflect a height appropriate to the period of the building, with additional top rails as required. Balconies must be deep enough to be functional and should extend across the width of the facade to protect windows and doors.

First Spanish Period balconies often have corbelled beams. "Canary Island" balconies, with a carved board replacing the bottom rail, are also used. These balconies should have turned spindle balusters. Other balusters may be simple two by two inch spindles. Handrails must have rounded tops. Bottom rails should be angled to prevent rot.

Balcony roofs may be extensions of the main roof or may be below the eave. Pitches may be more shallow than the main roof. The most appropriate roof type is a simple shed roof, although hip and gable roofs may be appropriate for some balconies.

Balconies should not project more than three feet into the public right-of-way. If a deeper balcony is desired, the back wall may be inset. Balconies should not be enclosed with screen or glass.

Sec. 28-188. - Lot, yard and height requirements for historic preservation districts 1, 2 and 3.

- (b) The following lot, yard and height requirements shall be applicable to new construction reflecting the Colonial periods in historic preservation district 1 and to all new construction in historic preservation districts 2 and 3:
- (1) Minimum lot requirements:
 - a. Minimum lot width, thirty-five (35) feet.
 - b. Minimum lot area, one thousand seven hundred fifty (1,750) square feet.
 - (2) Maximum lot coverage by all buildings:
 - a. The lesser of seventy (70) percent or seven thousand (7,000) square feet.
 - b. Main structure, the lesser of two thousand five hundred (2,500) square feet or fifty (50) percent of total lot size.
 - (3) Maximum and minimum yard requirements:
 - a. Front. Main building must be located on the street frontage. The main building shall not exceed the lesser of eighty (80) percent of the lot width or forty (40) feet.
 1. Secondary buildings which connect to a main building shall be set back the lesser of forty (40) percent of total lot depth or forty (40) feet.
 2. Main buildings on the same lot shall be separated by minimum of twenty (20) feet.
 - b. Rear. Three (3) feet minimum.
 - c. Side. Three (3) feet minimum, except that Spanish Colonial reproduction structures may be located on the north property line when no windows or doors are located in the north facade and there is a six-foot minimum setback on the south property line.

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LIST OF ATTACHMENTS:

1. Staff Photos
2. Minutes from May 24, 2018, Meeting
3. Previously Approved Plan

CITY OF ST. AUGUSTINE

Historic Architectural Review Board Regular Meeting
May 24, 2018

The Historic Architectural Review Board met in formal session at 1:00 P.M., Thursday, May 24, 2018, in the Alcazar Room at City Hall, St. Augustine, Florida. Antoinette (Toni) Wallace, Chairperson, called the regular meeting to order, and the following were present:

1. ROLL CALL: Toni Wallace, Chairperson
Catherine Duncan, Vice-Chairperson
Barbara Wingo
Jon Benoit
Paul Weaver, alternate

City Staff: Jenny Wolfe, Historic Preservation Officer
Kelli Mitchell, Historic Preservation Planner
Isabelle Lopez, City Attorney
Candice Seymour, Recording Secretary

2. General Public Comments for Items not on the Agenda

The following members of the public gave comments:

- Ed Slavin
- Robert Hall

3. Approval of Minutes

Ms. Wingo corrected a scrivener's error on page nine.

MOTION

Mr. Benoit MOVED to APPROVE the April 19, 2018 minutes as corrected. The motion was SECONDED by Ms. Wingo and APPROVED BY UNANIMOUS VOICE VOTE.

4. Modification and approval of Agenda

(None)

MOTION

Mr. Weaver MOVED to APPROVE the Agenda as presented. The motion was SECONDED by Ms. Wingo and

APPROVED BY UNANIMOUS VOICE VOTE.

5. Public Comments related to Expedited Hearing items:

(None)

6. Continued Items from Previous Meetings

6. (a) Opinion of Appropriateness F2017-0153 – Don Crichlow & Assoc. – Applicant

18 St. George Street LLC.– Owner
18 St. George Street

To construct new buildings between Spanish and St. George set in the character of the Spanish Colonial Architecture. (Two versions of the proposed building were provided.)

Mr. Weaver recused himself because he was hired by the applicant to assist with an ad valorem tax exemption.¹

The Board provided their ex parte communications.

¹ Form attached to original minutes

Ms. Wolfe read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can **APPROVE** option "B" with modifications as an Opinion of Appropriateness for the construction of new buildings at **18 St. George Street**.

Don Crichlow and Ellen Avery-Smith reviewed the application with a presentation and additional documents.²

Public hearing was opened.

Robert Hall said that the project should look like a home to match the surrounding street. He said larger front entrances were more common on garden entrances and not front doors and he did not feel the wide doorway was appropriate.

Dan Holiday said that in the past, smaller structures were preferred on St. George Street.

Martha Mickler gave a brief history of the property and surrounding area and noted the architectural style she and her husband adhered to when they built their home in HP-3. She said, while she was concerned with the larger structures being constructed, she was pleased with the landscaping of those projects.

Nancy Pellicer had questions related to the plans. She was concerned about a large arcade in the area and asked that the builder designate a larger courtyard area.

Ron Mickler was concerned with the fact that the proposed structure was one large building which mirrors more closely structures in HP-2 rather than HP-3. He recommended an open-air market rather than an enclosed arcade.

Ed Slavin felt the large mass and scale of the project was inappropriate and the

application needed to be denied. He felt that examples of precedence should not alter the Board's decision on this application.

B.J. Kalaidi felt that the project was too dense and needed to be toned down prior to approval.

Public hearing was closed.

Ms. Avery-Smith responded to public comment noting that there would be an open space in the rear that could be landscaped and that one structure in the rear was removed to increase that space. She said the street-to-street wall was required according to the design guidelines for Second Spanish Period Architecture.

Mr. Crichlow clarified a connector in response to public comment. He felt that Option "A," which utilized the connector was more appropriate in scale and mass because it broke up the mass more than the single large primary structure in Option "B."

The Board discussed:

- Distance requirements for structures on the property
- Doorway and courtyard area
- Large mass of the project
- Existing and proposed covered areas
- Residential precedence of the site
- Mass and Scale of southern exposure
- Possibility of lessening the inset for the connector on the northern exposure to increase the inset on the south side allowing for more landscaping
- Staff recommendation to approve option "B"
- Option "C" presented by the applicant moved the larger primary structure to the front
- Regarding architectural compatibility, more separation

² Attached to original minutes

between buildings may be necessary

- Potential for connecting every building on the property though that was not the applicant's intent
- Concern for tight walkway between wall and the building on the south side
- Door should not be arched

MOTION

Mr. Benoit **Moved** to **APPROVE** Opinion of Appropriateness application F2017-0153 with the suggestion to move forward with option "C" as proposed with the suggestion to improve on the differentiation in the southern loggia or hallway by adding further recess to the connectors as ways to differentiate the main structures. The motion was **SECONDED** by Ms. Duncan.

VOTE ON MOTION:

AYES: Benoit, Duncan, Wingo, Wallace

NAYES: NONE

MOTION CARRIED UNANIMOUSLY³

6. (b) Variance to the Design Standards for Entry Corridors 2018-0047 – Joanna Stark – Applicant
Diocese of St. Augustine – Owner
101 San Marco Avenue

To request a variance to the sign standards for a free standing sign that exceeds the maximum size allowed in the Design Standards.

Ms. Wolfe read the staff report and said based on a review of the Design Standards and applicable city ordinances, Staff finds that the Board can **APPROVE** a Variance that makes the following findings for signage at **101 San Marco Avenue**:

1. That the stand-alone sign at the central entry does not interfere with the property's setting and sightline to

³ Brief recess from 2:57p.m. to 3:07p.m.

the bridge and the Great Cross because it is set back on the property

2. That the northwest sign is an integral component of a proposed fence system and the sign area can be calculated as the smallest geometric shape surrounding the letters
3. That granting the variance will not be contrary to the public interest, will not affect other property or structures and will be in harmony with the spirit intent and purpose of this provision.

Brad Beach reviewed the application.

Ex Parte Communication:

(None)

Public hearing was opened; however, there was no response.

The Board discussed:

- Dimensions for both proposed signs had been reduced from the previous meeting as requested by the Board
- Sign copy area as measured in the plans

MOTION

Mr. Benoit **Moved** to **APPROVE** application 2018-0047. The motion was **SECONDED** by Ms. Wingo.

VOTE ON MOTION:

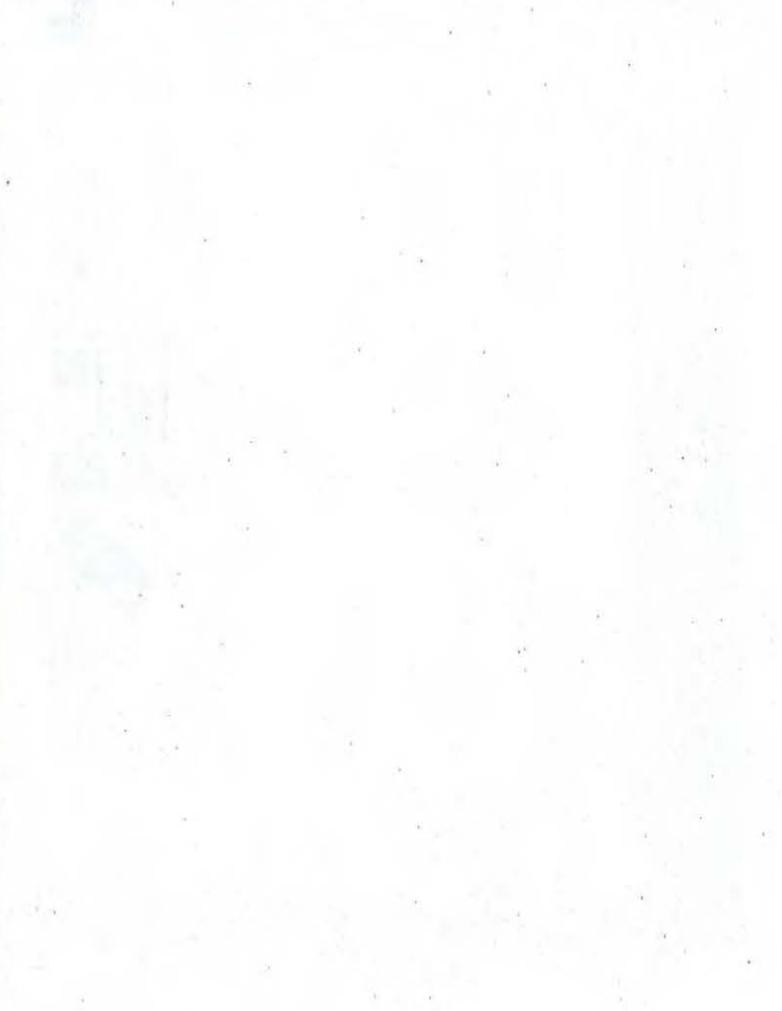
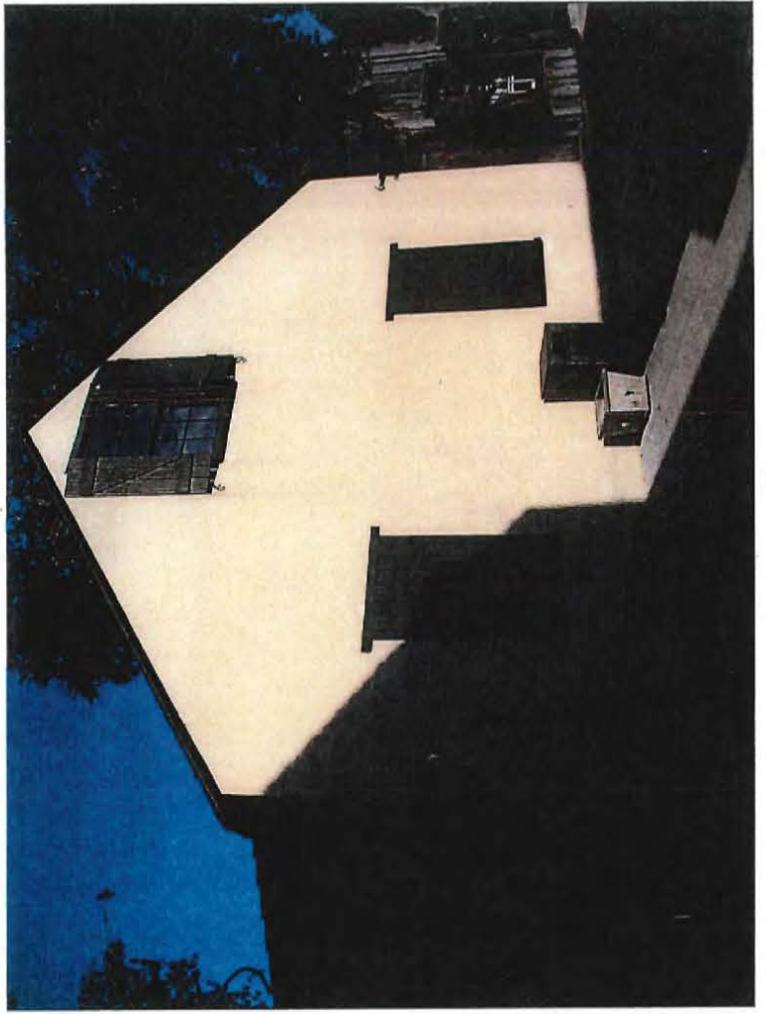
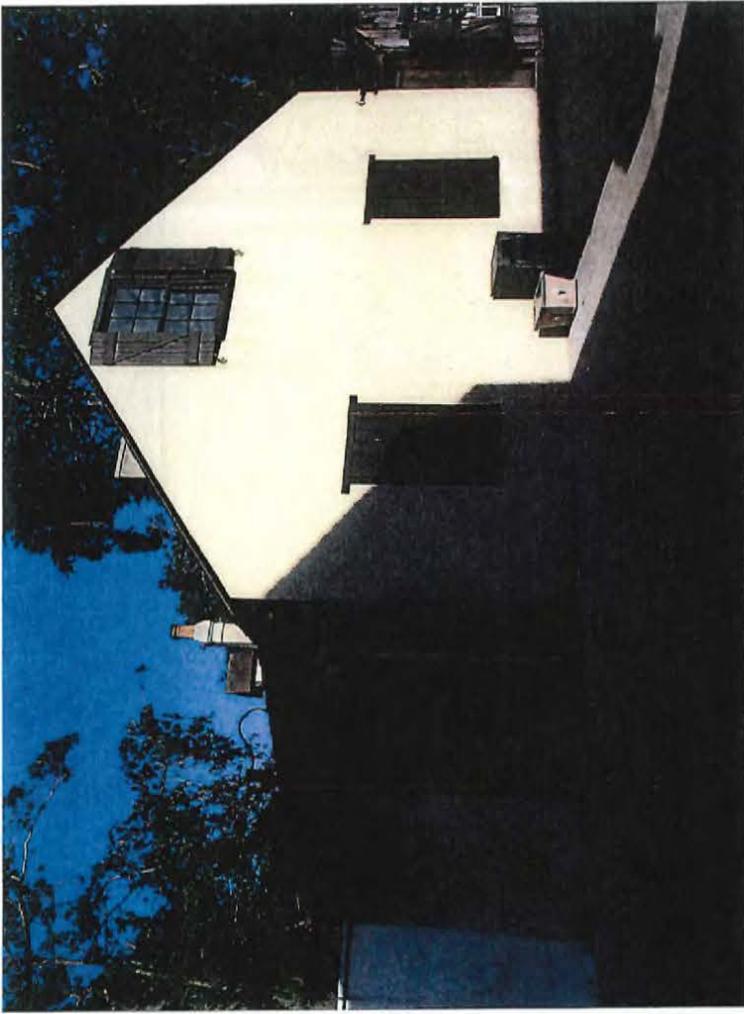
AYES: Benoit, Wingo, Weaver, Duncan, Wallace

NAYES: NONE

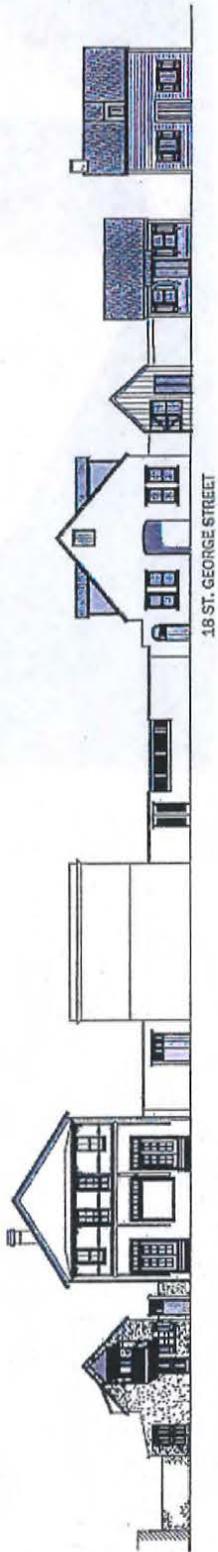
MOTION CARRIED UNANIMOUSLY

7. Opinions of Appropriateness

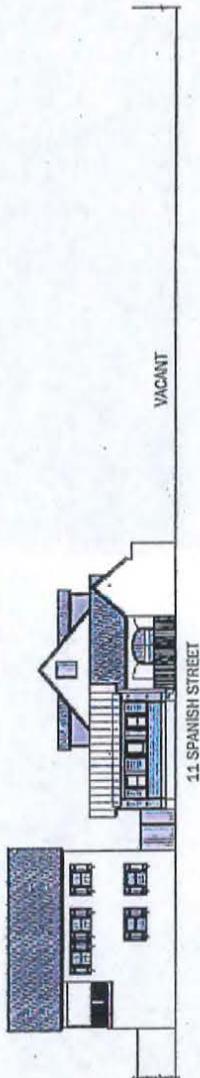
7. (a) F2018-0066 – 56 St. George LLC – Applicant
The Monk's Vineyard – Owner
56 St. George Street



OPTION C



18 ST. GEORGE STREET



11 SPANISH STREET

VACANT



EDM STICKLUM & ASSOCIATES
ARCHITECTS
P.L.L.C.
1000 W. BAY STREET
SUITE 200
ST. AUGUSTINE, FLORIDA 32084
TEL: 321.287.1111
WWW.EDMSTICKLUM.COM

PROJECT
A2

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

FLOOR PLAN
AND ELEVATIONS

DRAWN BY
R. GONZALEZ
SCALE AS NOTED
DATE: 14 MAY 2018

REGISTRATION SEAL

RECEIVED

CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION

JUL 19 2018

Planning / Building Dept.



OPINION CERTIFICATE OF APPROPRIATENESS



\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0107

Receipt No. _____
Advertising Costs \$ _____

Paid on _____

Meeting Date: Aug. 16, 2018
Receipt No. 1408236

1. NAME OF APPLICANT Donald Crichlow
 Business (if applicable) Don Crichlow & Associates
 Address 302 St. George St.
 City St. Augustine State FL Zip Code 32084
 Daytime telephone 904 824-5785 Other phone/email 904 377-0913

The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER 18 St. George St. LLC
 Business (if applicable) _____
 Address 4041 Pine Run Circle
 City St. Augustine State FL Zip Code 32086
 Daytime telephone (required) 904 540-2877 Other phone _____

3. PROJECT STREET ADDRESS 18 St. George St.

4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel 1974800000

5. EXISTING USE Bar/Restaurant PROPOSED USE Retail/Restaurant

6. PROPOSED PROJECT WORK

A. DEMOLITION (if historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) YES NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

- | REPAIR | REPLACE | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Roof _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof structures (dormers, chimneys, etc.) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior finishes (stucco, masonry, siding) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porch/Deck/Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Awning/Canopy _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior Doors _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Windows _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Shutters _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Foundation (including infill) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting & other appurtenances _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing fences, walls & gates _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing parking, walkways & other site features _____ |

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building _____
- New addition _____
- New roof structures (dormers, chimneys, etc.) _____
- New porch/deck/balcony _____
- New awning/canopy _____
- New entrances _____
- New window opening/sashes _____
- New exterior lighting _____
- New fence/wall/gate _____
- New parking/walkways/other site features _____
- Exterior utility service/mechanical equipment _____

D. PAINT COLORS (check one)

- Scheme with pre-approved paint colors (exterior colors available upon request)
- Custom color scheme (provide color samples & building elevations showing color placement)
- No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

Cert. of Demolition approved 9/21/17. Opinion of Appropriateness approved 5/24/18.
To construct a 2nd Spanish Period Colonial structure for retail use. All access will be from south side courtyard with courtyard street gate only. Project meets all requirements of current zoning and AGHP guidelines. See attached drawings and additional material.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Donald Crichlow
SIGNATURE OF APPLICANT Donald A. Crichlow DATE 7/16/18
PRINT OWNER'S NAME Brian Navarro
SIGNATURE OF OWNER Brian Navarro DATE 7/17/18

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

COMPLETENESS REVIEW CHECKLIST

A Certificate or Opinion of Appropriateness application and related plans shall be submitted for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any building in designated historic preservation zoning districts (HP-1 through HP-5). In addition, a Certificate of Appropriateness shall be required for any proposed work on buildings immediately adjacent and in view of historic preservation zoning districts HP-1, HP-2, and HP-3. All proposed work items shall be reviewed for consistency and compliance with the 2011 edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. Copies of this document are available for a fee upon request and on the website at: http://www.staugustinegovernment.com/your_government/documents/AGHP2.pdf

Relevant information necessary for Certificate or Opinion of Appropriateness review shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Architectural Guidelines for Historic Preservation*. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

- | OK | Need | N/A |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Photographs of existing roof and affected features |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only) |

EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

- | OK | Need | N/A |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Photographs of existing surface or feature including close-up and full building perspective |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Documentation of justification for changing the siding, finish, or feature and the extent of the affected area |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture |

PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

- | OK | Need | N/A |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

AWNING/CANOPY

- | OK | Need | N/A |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Photographs of existing awning/canopy or location of proposed awning/canopy |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled elevation(s) showing the building facade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Documentation of justification for changing the existing awning/canopy and the extent of the affected area |

EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

- | OK | Need | N/A |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Photographs of existing door(s) or location of proposed new door opening(s) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Scaled elevation(s) showing the building facade and existing or proposed door (not necessary for just replacement door in existing door opening) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> For new openings, a scaled wall section |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> Documentation of justification for changing the existing door(s) and the extent of the affected area. |

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall-section with proposed window |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details <i>-need for spec</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | | | | |
|--------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Wall sections |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

Saw landscaping on site plan but no information about the plants was provided. Such information is needed. Need information on proposed wood shingles

See above check list

Project number: 2018-0107 Project Address: 188 St. Geny
 Reviewed by: Kelli Mitchell Date: July, 24, 2018



City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Planning/Building

July 24, 2018

Donald Crichlow & Associates
302 St. George Street
St. Augustine, Florida 32084

RE: Project Street Address 18 St. George Street

Mr. Crichlow:

Please accept this letter as acknowledgement of your application to the Historic Architectural Review Board meeting scheduled for August 16, 2018. The meeting is scheduled to begin at 1:00 in the Alcazar Room at 75 King Street.

Additionally, this letter notifies you of the sufficiency of your application. The application form includes a checklist which was used to review the documents provided with your application. The formal staff evaluation of the proposed project may recommend additional materials and/or include conditions associated with the staff recommendation. The HARB may request additional information during the course of the public hearing.

Additional materials will be accepted in the Planning and Building Department only up to 10 days before the meeting as per Resolution 2010-09. After that, the HARB has the discretion whether or not to consider any other additional materials presented at the meeting and your application may be continued because of its incomplete status, if applicable.

I look forward to reviewing your application in more detail. A copy of the staff report will be mailed to you at the address provided on the application and if you do not receive it before the week of the meeting please contact our department to obtain a copy.

Sincerely,

Kelli Mitchell

Historic Preservation Planner

IMPORTANT NOTICE: Now that the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the code. Costs associated with legal notice will be assessed by the city and must be paid prior to the issuance of any development permit. Costs associated for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing will also be assessed to the applicant.

75 King Street, 32084 - PO Box 210, 32085 - Office 904/825-1065 - FAX 904/209-4335

Don Crichlow & Associates

St. Augustine, Florida

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JUL 19 2018

Planning / Building Dept.

18 St. George St.
St. Augustine, FL
July 16, 2018

Option B - Zoning Compliance

- One main structure of 2500 s.f.
- Located on street frontage.
- Lot coverage of less than 70%.
- Main building width less than 80% of lot width.
- Secondary building setback more than 40 ft. from street.
- Main structure located on north property line with 6 ft. setback from south property line.
- Main structure less than 35 ft. in height.
- Secondary buildings 15 ft. or less in height.
- Retail. Permitted use in HP3.
- Restaurant. Permitted use in HP3.
-

Option B – AGHP Compliance

- All access from south facing courtyard/loggia. Common for Second Spanish Period buildings.
- Site enclosed by wall or fence.
- Loggia located on south façade with gate to street.
- Buildings are simple rectangles with length to width ratios between 1 / 1.0 and 1 / 2.65.
- Second Spanish Period design.
- Roofs are gabled with roof pitches between 30 deg. and 45 deg.
- Windows 1 / 2.0 width to height ratio, double hung with 9 over 6 lites.
- Secondary buildings are smaller in mass and scale than the primary buildings.
- Secondary building sq. ft. is less than 40% of main structure.
- Primary and secondary buildings in the same lot may be connected. The connecting structure may be completely enclosed.
- Exterior walls are stucco.
- Roof material is wood shakes.

Option B – Other Comments

- Proposed structure occupies less sq. ft. than existing structure.

Don Crichlow & Associates

St. Augustine, Florida

- New building corrects existing non-conforming property line issues.
- Preserving existing historic 11 Spanish St. structure. Cert. of Appropriateness approved 9/21/17.



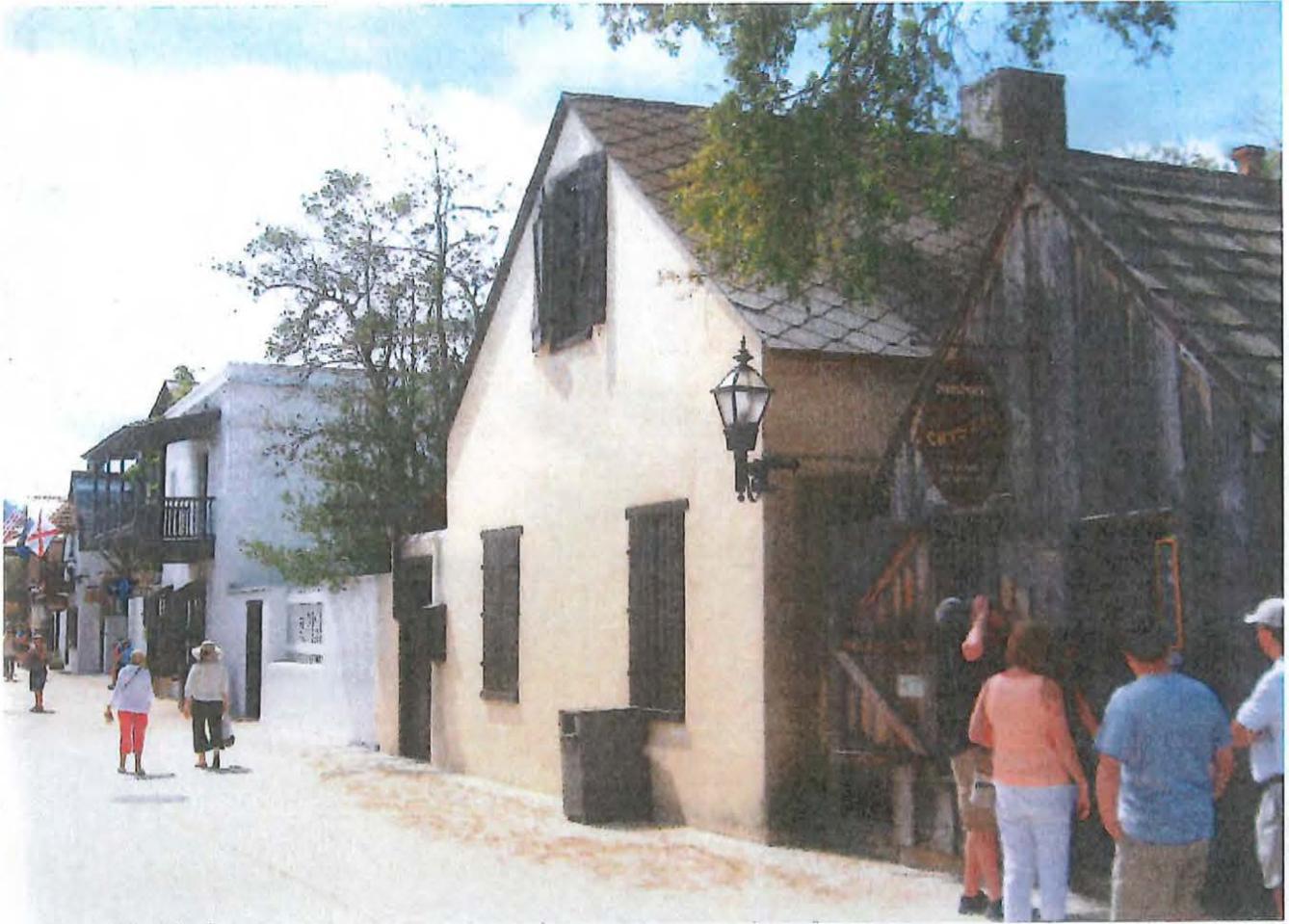
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Historic Building



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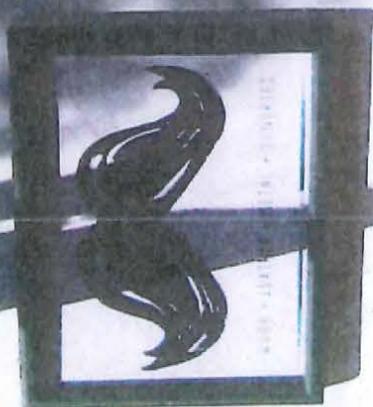
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SAMPLE PHOTO OF
SMOOTH STUCCO & COLOR



70



HERITAGE SERIES

DOUBLE HUNG

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AUG 07 2018

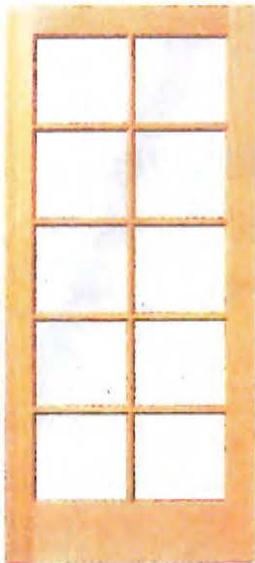
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DOUBLE HUNG | SINGLE UNITS

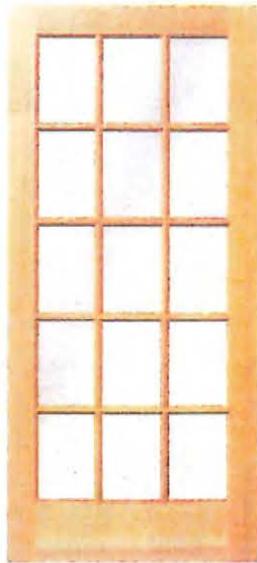
WOOD U.D.	1'-11 7/8"	2'-3 7/8"	2'-7 7/8"	2'-9 7/8"	2'-11 7/8"	3'-1 7/8"	3'-3 7/8"	3'-7 7/8"	3'-11 7/8"
CLAD U.D.	1'-9 1/2"	2'-1 1/2"	2'-5 1/2"	2'-7 1/2"	2'-9 1/2"	2'-11 1/2"	3'-1 1/2"	3'-5 1/2"	3'-9 1/2"
R.O.	1'-10"	2'-2"	2'-6"	2'-8"	2'-10"	3'-0"	3'-2"	3'-6"	3'-10"
S.O.	1'-8"	2'-0"	2'-4"	2'-6"	2'-8"	2'-10"	3'-0"	3'-4"	3'-8"
G.S.	16"	20"	24"	25"	28"	30"	32"	36"	40"
	3'-2 1/8" 3'-0 7/16" 3'-1" 2'-10" 14" 14"								
	DH1614	DH2014	DH2414	DH2614	DH2814	DH3014	DH3214	DH3614	DH4014
	3'-6 1/8" 3'-4 7/16" 3'-5" 3'-2" 16" 16"								
	DH1616	DH2016	DH2416	DH2616	DH2816	DH3016	DH3216	DH3616	DH4016
	4'-2 1/8" 4'-0 7/16" 4-1" 3'-10" 20" 20"								
	DH1620	DH2020	DH2420	DH2620	DH2820	DH3020	DH3220	DH3620	DH4020
	4'-6 1/8" 4'-4 7/16" 4-5" 4-2" 22" 22"								
	DH1622	DH2022	DH2422	DH2622	DH2822	DH3022	DH3222	DH3622	DH4022
	4'-10 1/8" 4'-8 7/16" 4-9" 4-6" 24" 24"								
	DH1624	DH2024	DH2424	DH2624	DH2824	DH3024	DH3224	DH3624	DH4024
	5'-2 1/8" 5'-0 7/16" 5-1" 4-10" 26" 26"								
	DH1626	DH2026	DH2426	DH2626	DH2826	DH3026*	DH3226*	DH3626*	DH4026*
	5'-6 1/8" 5'-4 7/16" 5-5" 5-2" 28" 28"								
	DH1628	DH2028	DH2428	DH2628	DH2828*	DH3028*	DH3228*	DH3628*	DH4028*
	5'-10 1/8" 5'-8 7/16" 5-9" 5-6" 30" 30"								
	DH1630	DH2030	DH2430	DH2630**	DH2830*	DH3030*	DH3230*	DH3630*	DH4030*
	6'-2 1/8" 6'-0 7/16" 6-1" 5-10" 32" 32"								
	DH1632	DH2032	DH2432**	DH2632*	DH2832*	DH3032*	DH3232*	DH3632*	DH4032*
	6'-6 1/8" 6'-4 7/16" 6-5" 6-2" 34" 34"								
	DH1634	DH2034	DH2434*	DH2634*	DH2834*	DH3034*	DH3234*	DH3634*	DH4034*
	6'-10 1/8" 6'-8 7/16" 6-9" 6-6" 36" 36"								
	DH1636	DH2036	DH2436*	DH2636*	DH2836*	DH3036*	DH3236*	DH3636*	DH4036*

NOTES:
 All measurements are nominal. Elevations are not to scale.
 Single units shown are also available as double hung units and replacement sash kits. Traditional sash only.
 Grilles are optional. Follow chart on page 82 for grille configurations.
 Some installation procedures will require a rough opening than noted (i.e. installing our installation clips), therefore you may need to increase the rough opening accordingly. Rough opening gaps may be increased up to a maximum of 1/2" and still be within good practice guidelines. The side jambs of double hung units are above the head jamb; additional space for rough opening height may be necessary.
 * Units meet most national emergency and rescue requirements.
 ** Only Traditional sash units meet international emergency escape and rescue requirements.
 PRODUCT CODES:
 To order clad units, add "C" before the number and "1," "2," or "3" after to denote single, twin or triple unit, respectively (Ex: CDH4036-1). To order wood units, add "W" before the product number and "1," "2," or "3" after to denote a single, twin or triple unit, respectively (Ex: WDH4036-1). For wood specify Traditional or Sterling sash.
 U.D. = Unit Dimension
 R.O. = Rough Opening
 S.O. = Sash Opening
 G.S. = Glass Size

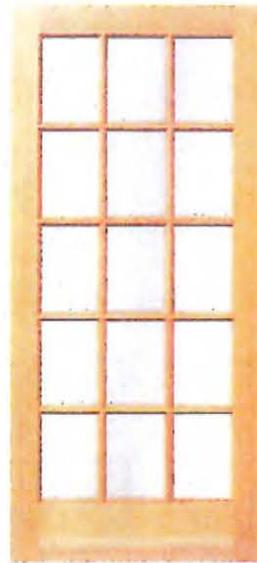
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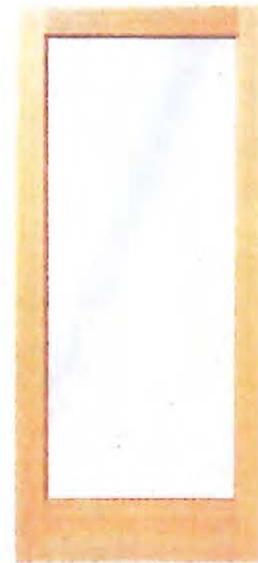
Door 1510 (SG) in Fir with Ovolo Sticking



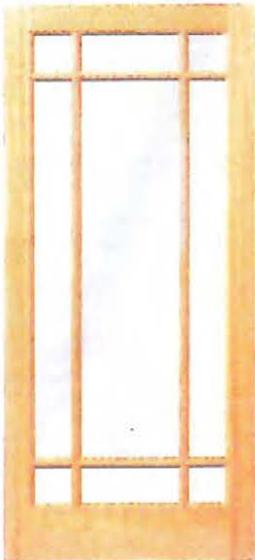
Door 1515 (SG) in Fir with Ovolo Sticking



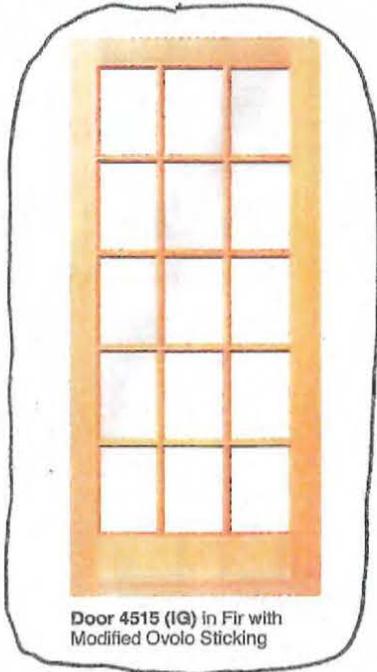
Door 1615 (BEVEL SG) in Fir with Ovolo Sticking



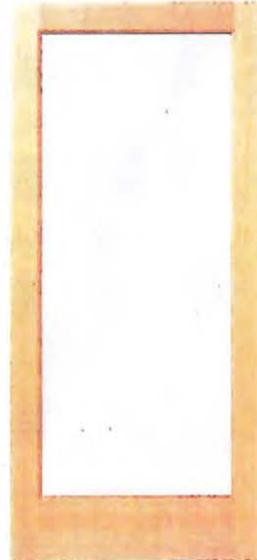
Door 4501 (IG) in Fir with Ovolo Sticking



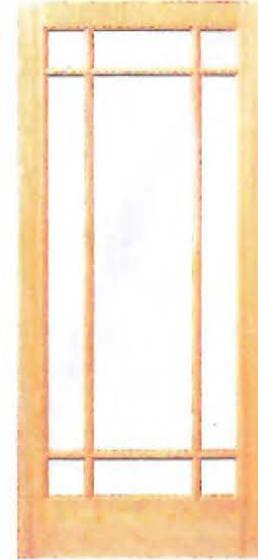
Door 4509 (IG) in Fir with Modified Ovolo Sticking



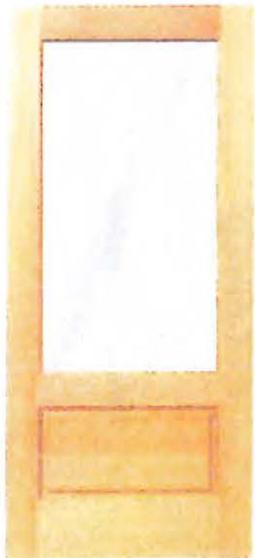
Door 4515 (IG) in Fir with Modified Ovolo Sticking



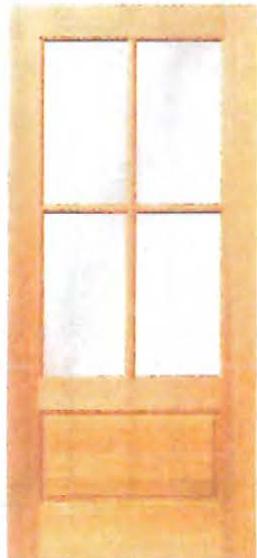
Door 1501 (SG) in Fir with Ovolo Sticking



Door 1509 (SG) in Fir with Ovolo Sticking



Door 4621 (IG) in Fir with Modified Ovolo Sticking



Door 4621-4 (IG) in Fir with Modified Ovolo Sticking



Door 4501 (IG) in Pine with Modified Ovolo Sticking



Door 4501 15 GBG (IG) in Pine with Modified Ovolo Sticking

AUG 27 2013
Tucker Door & Trim



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- [Why Buy Wesco Cedar](#)
- [History of Cedar](#)
- [Cedar Benefits](#)
- [Wesco Cedar Products](#)
 - [Fire Retardant Cedar Shakes](#)
 - [Treated Cedar Shakes](#)
 - [Special Order & Treating](#)
 - [FRX@ FRT Wood](#)
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 - [Evaluations](#)
 - [Application Instructions](#)
 - [Safety](#)
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- [Contact Wesco Cedar](#)

Approval & Specifications

California State Building Code - Title 24 "FIRE-RETARDANT SHAKES AND SHINGLES are wood shakes and shingles complying with U.B.C. Standard 15-3 or 15-4 Impregnated by the full-cell vacuum-pressure process with fire-retardant chemicals, and have been qualified by U.B.C. Standard 15-2 for use on Class A, B, or C roofs, and which comply with ICBO-ES Acceptance Criteria Subject AC09. Each bundle of treated wood shakes and shingles shall bear labels from ICBO accredited quality control agency identifying their roof-covering classification and indicate that the product complies with ICBO-ES Subject AC09."

California Department of Forestry & Fire Protection
California State Fire Marshal Listing Service
Listing No.: 4150-1450:100
State of California, Assembly Bill No. 747 - Valerie Brown

Section (j)

(1) "No wood roofing materials shall be sold in this state unless: On and after January 1, 2001 the materials have passed at least 5 years of the 10-year natural weathering test."

(2) "The 10-year natural weathering test required by this subdivision shall be conducted in accordance with 15-2 of the 1994 edition of the Uniform Building Code at a testing facility recognized by the State Fire Marshal."

The UL-790 10 Year Weathering Test:

The Standard in Determining Fire Resistance of Roof Covering Materials

Test procedures to determine the fire resistance of roof coverings were originally developed by Underwriters Laboratories prior to 1920. The test standard (UL-790) has been amended over the years to reflect changes in roofing materials. The tests have also been adopted by the National Fire Protection Association (NFPA 256) American Society for Testing and Materials (ASTM-E108), and Uniform Building Code (UBC 15-2)

The tests provide comparable fire resistance values among roofing materials. The tests are considered to be representative of fire conditions that originate outside of homes.

All roofing products are subjected to three tests:

Intermittent Flame Test
Spread-of-Flame Test
Burning-Brand Test

With the introduction of fire retardant wood roofing materials, the tests were amended to include additional tests for wood products. These are:

Flying-Brand Test
Rain Test
Weathering Test

Intermittent Flame Test:

This test shows a roofing material's resistance to flames from adjacent burning material. The roofing materials are exposed to intermittent gas flames of 1,300°F to 1,400°F. A 12 miles per hour wind is applied to the test deck until the test is completed.

Spread-of-Flame Test:

A spread-of-flame test is used to determine the fire resistance of most building materials. For roofing materials, the roof deck is exposed to a gas flame of 1,300°F to 1,400°F for 4 to 10 minutes. A 12 miles per hour wind is applied to the test deck until the test is completed.

Burning-Brand Test:

This test exposes roofing materials to burning brands constructed of wood, simulating an exposure to burning materials. A typical burning ember in a large fire is approximately 1/4" in size. The burning brands used in this test are 60 to 1,000 times that size. A 12 miles per hour wind is applied to the test deck until the test is completed.

Flying-Brand Test:

Treated wood roofing material is tested to determine if the product will create flying embers in a fire situation. The treated wood is exposed to a gas flame of 1,300°F to 1,400°F for 4 to 10 minutes. The wind applied to the test deck is increased to 18 miles per hour during this test.

Rain Test:

This test is designed to try to flush fire retardants out of the treated wood. The roofing material is exposed to twelve weekly cycles of 96-hours of water exposure (67.2 inches of water) and 72 hours of drying at 140°F. The wood is subjected to a total of 806.4 inches of rain, equivalent to 24 years of rain in the Dallas/Ft. Worth area. The roofing material removed from the weather chamber is again tested to the Intermittent Flame, Burning-Brand, and Flying-Brand tests.

Weathering Test:

Treated wood roofing material is the only product exposed to actual outdoor weather conditions when tested for fire retardancy. After one, two, three, five, and ten years, the roofing material is subjected again to the Intermittent Flame, Burning-Brand, and Flying-Brand tests.

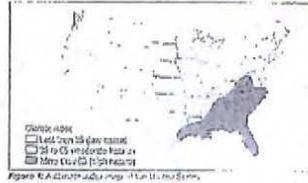
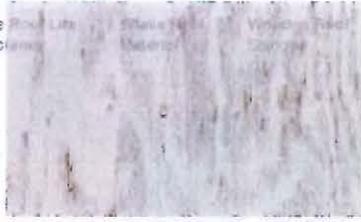
Conditions of Approval

At no time during or after these tests can:

RECEIVED

MAY 07 2010

Building Dept.



Privacy and Coo

18 Microsoft





VIEW FROM ST GEORGE'S GATE

SCONCE LIGHT

RECEIVED

JUL 19 2018

Planning / Building Dept.



Search All Brands...



ELK Group International > Thomas > Outdoor Lighting > Sconce >
Hawthorne Wall Lantern Black 1X13W 120V



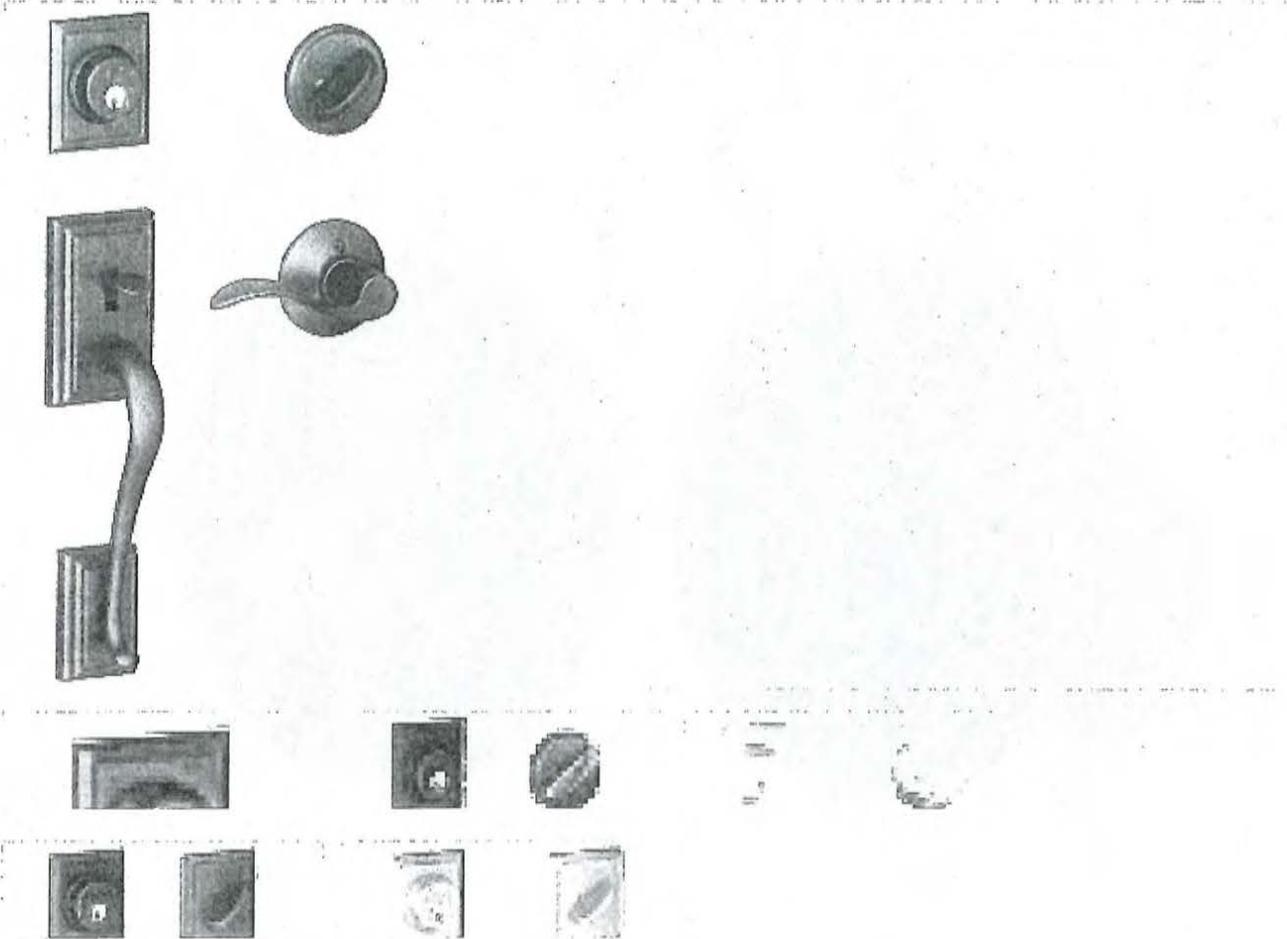
Press and move to zoom.

DOWNLOAD HIGH RESOLUTION IMAGE

AWAY, email us

DOOR ENTRY SET

SCH-ADDISON-HANDLESET



On Sale Now! - Schlage Addison Door Entrance Handleset

FUNCTION 

SINGLE CYLINDER ENTRY SET

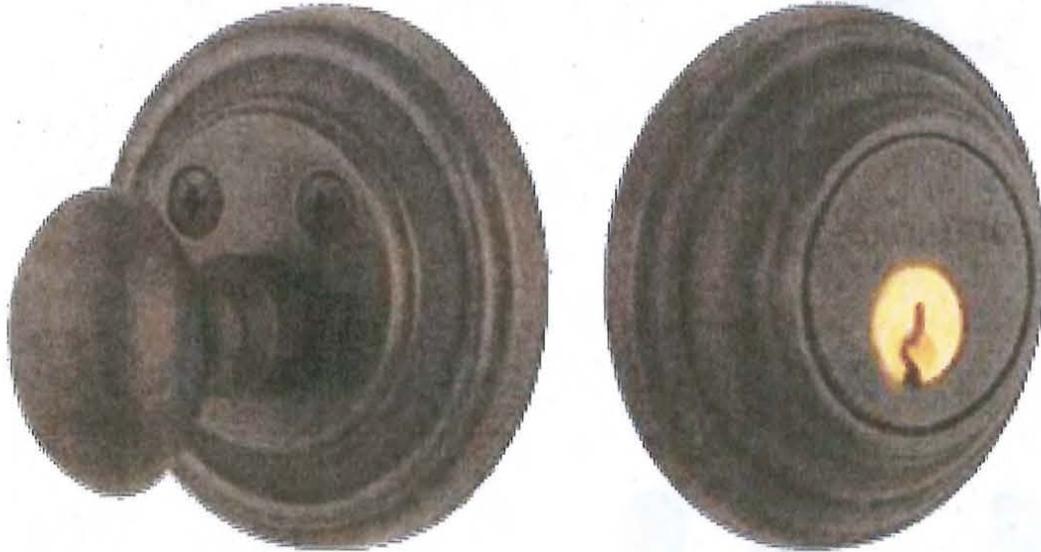
COLOR/FINISH

SELECT A FINISH

KNOB/LEVER 

SELECT KNOB/LEVER

TREAD BOLT



(<https://www.vandykes.com/images/xl/232062.jpg>)

Store ID: 232062

No reviews

[Read Reviews](#) | [Write a Review](#)

As low as

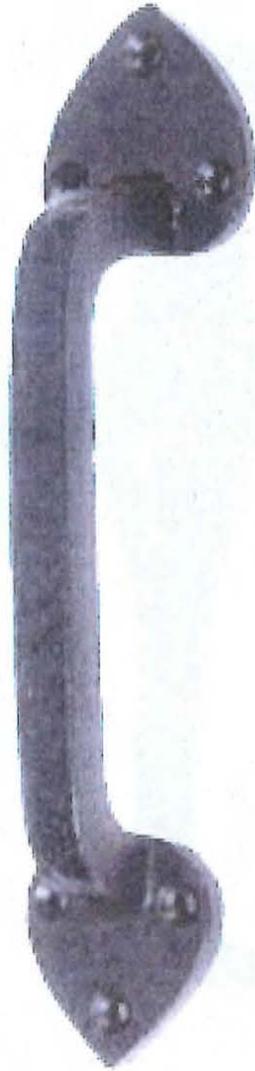
\$ **106.31** Each

Finish

- Select or Reset Selection -

Function

GATE FOLL



(<https://www.vandykes.com/images/xl/201718.jpg>)

Store ID: 201718



2 reviews

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$8.00~~

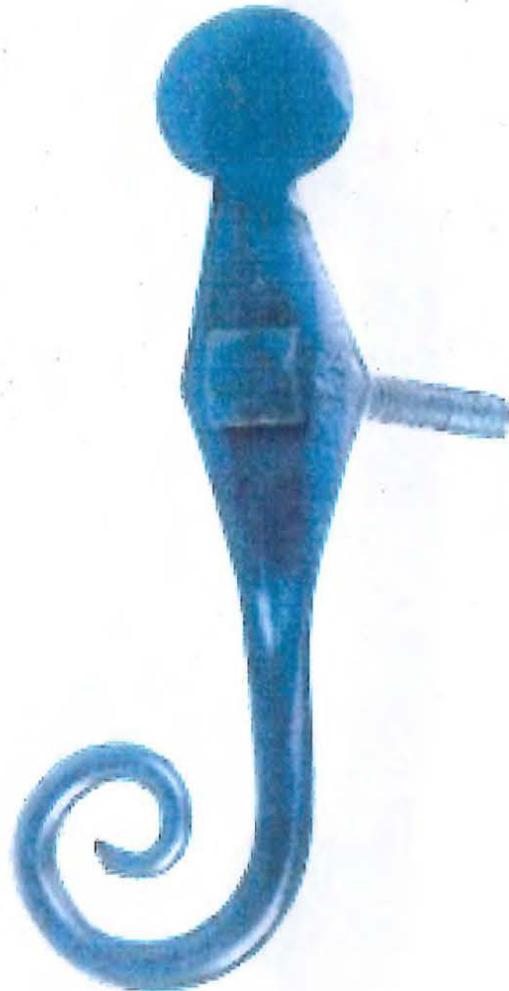
SALE as low as

\$ **6.80** Each

Finish

- Select -

SHOTTER DOG



(<https://www.vandykes.com/images/xl/210784.jpg>)

Store ID: 210784

No reviews

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$12.00~~

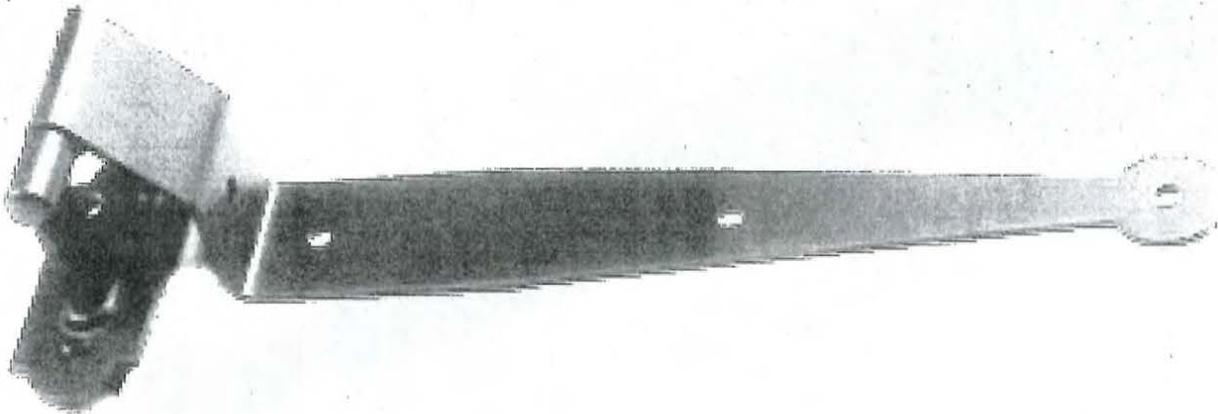
SALE as low as

\$ **10.20** Per pair

Finish

- Select -

SHOOTER STRAP



(<https://www.vandykes.com/images/xl/202165.jpg>)

Store ID: 202165

No reviews

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$46.00~~

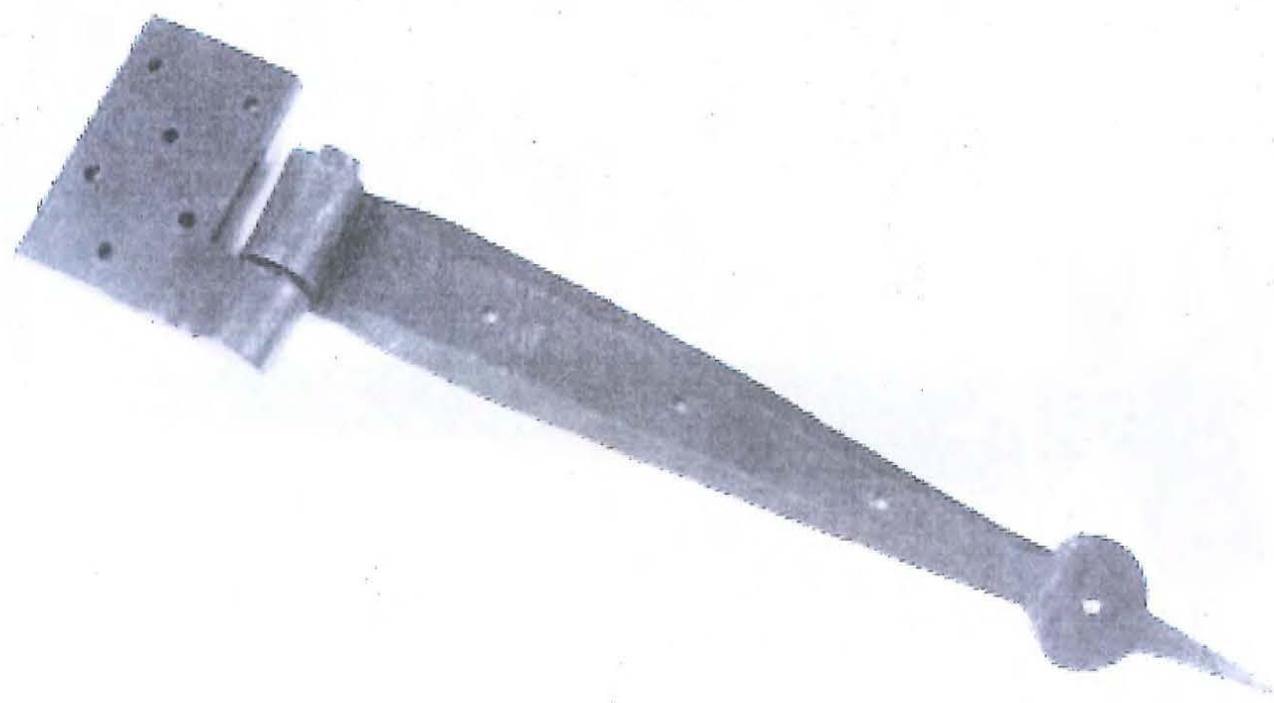
SALE as low as

\$ **39.10** Per pair

Finish

- Select -

GATE HINGE



(<https://www.vandykes.com/images/xl/208319.jpg>)

Store ID: 208319



2 reviews

[Read Reviews](#) | [Write a Review](#)

Was: ~~\$40.00~~

SALE as low as

\$ 34.00 Per pair

Finish

- Select or Reset Selection -



Instr #2016052679 BK: 4239 PG: 1281, Filed & Recorded: 8/15/2016 2:52 PM #Pgs:3
Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$27.00 Doc. D \$17,479.00

Prepared by:
Pam Gesell
Paradise Title of St. Augustine, LLC
2225 A1A SOUTH, SUITE C-8
Saint Augustine, Florida 32080
File Number: P16-2896
Documentary Stamps:\$17,479.00

General Warranty Deed

Made this August 12, 2016 A.D. By **John Howland Wing**, as personal representative of the Estate of **Donna Lee Parks and Sandra Parks, f/k/a Sandra Parks Black**, conveying separate non homestead property, hereinafter called the grantor, to **18 Saint George St., LLC**, a Connecticut limited liability company whose post office address is: 10 S LaSalle Street, Suite 3100, Chicago, IL 60603, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Two Million Four Hundred Ninety Seven Thousand dollars & no cents Dollars, (\$2,497,000.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Johns County, Florida, viz:

PROPERTY DESCRIBED ON ATTACHED EXHIBIT "A" BY REFERENCE HERETO MADE A PART HEREOF:

Parcel ID Number: 197480-0000

SUBJECT TO COVENANTS, RESTRICTIONS, EASEMENTS AND RESERVATIONS of record, if any; However, this reference does not operate to reimpose same; Subject to zoning Ordinances that may affect subject property.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2015.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Edward E. Dennis
Witness Printed Name EDWARD E. DENNIS

John Howland Wing
John Howland Wing, Personal Representative

Kim Collins
Witness Printed Name Kim Collins

Sandra A. Parks
Sandra Parks, f/k/a Sandra Parks Black

State of Florida
County of St. Johns

The foregoing instrument was acknowledged before me this 12th day of August, 2016, by John Howland Wing, as personal representative of the Estate of Donna Lee Parks and Sandra Parks, f/k/a Sandra Parks Black, conveying separate non homestead property, who is/are personally known to me or who has produced valid driver licenses as identification.



KIMBERLEE COLLINS
MY COMMISSION # FF 200365
EXPIRES: June 14, 2019
Bonded Thru Budget Notary Services

Kimberlee Collins

Notary Public
Print Name: _____
My Commission Expires: _____

BK: 4239 PG: 1283

Exhibit "A"

THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND SITUATE, LYING AND BEING IN THE COUNTY OF ST. JOHNS AND STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL ONE:

Lot Twenty-eight (28) of Block Twelve (12), City, being also described according to deed from Gasper Masters and Angelina Masters to Evalina Manucy, recorded in Deed Book V, page 249, public records of St. Johns County, Florida, on August 7, 1875, as follows: "Situated in said City of St. Augustine, and upon the westerly side, and adjoining St. George Street, and measuring thereon thirty one feet; bounded on the north by land of Frank Greator, measuring one hundred and thirteen feet thereon, on the west by land of Plummer and Pomar, thirty one feet, and on the South by land of Dora Floyd, measuring thereon, one hundred and thirteen feet."

PARCEL TWO:

Bounded on the North by lot formerly of S. Capella, East by lot formerly of Mary L. Manucy, South by lot formerly of Julia Salas, part of a certain lot formerly sold by Paul Sabate, Sheriff of the said County of St. Johns for taxes due the State of Florida, and the County of St. Johns to Francis P. Ferreira, on the sixth day of April eighteen hundred and fifty-seven the said lot conveyed, measuring from North to South forty-five feet, and from East to West, sixty-one feet, and on the West by Spanish Street, all measurements being more or less, being Lot Three (3), Block Twelve (12), according to the official map of the City of St. Augustine, dated January 1st, 1905, filed in the office of the Clerk of the Circuit Court, St. Johns County, Florida, and is the same land described in the Deed recorded in Official Records Book 66, page 412, public records of St. Johns County, Florida).

PARCEL ONE AND PARCEL TWO DESCRIBED ABOVE ARE THE SAME LANDS AND IMPROVEMENTS DESCRIBED IN THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 17, PAGE 297, PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

PARCEL THREE:

A strip of land lying in Lots Four (4) and Twenty-seven (27), of Block Twelve (12), according to the official map of the City of St. Augustine, Florida, dated June, 1923, EXCEPTING THEREFROM the land and improvements described in the Warranty deed recorded in Official Records Book 51, page 50, of the public records of St. Johns County, Florida. The strip of land described above fronts on St. George Street to a width of 7.2 feet± and a width on Spanish Street of 6.8 feet with a depth from St. George Street to Spanish Street of 177 feet±.

File Number: P16-2896

Legal Description with Non Homestead
Closer's Choice



St. Johns County, FL

Quick Links

- My Tax Bill
- Tax Estimator
- Proposed Hx

TRIM Notice

- TRIM Notice

Summary

Parcel ID 1974800000
Location Address 11 SPANISH ST
 18 ST GEORGE ST
 SAINT AUGUSTINE 32084-0000
Neighborhood ST GEORGE STREET (610.07)
Tax Description* CITY OF ST AUG ALL LOTS 3 & 28 & STRIP OF LAND BEING PART OF LOTS 4 & 27 BLK 12 (EX PT IN OR51/50) OR4239/1281
 *The Description above is not to be used on legal documents.
Property Use Code Mixed Use (Store/Office/Residential Combo) (1200)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.170
Homestead N

View Map

Owner

Owner Name 18 Saint George St LLC 100%
Mailing Address 4041 PINE RUN CIR
 SAINT AUGUSTINE, FL 32086-0000

Valuation

	2018
Building Value	\$220,502
Extra Features Value	\$15,369
Total Land Value	\$578,240
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$814,111
Total Deferred	\$0
Assessed Value	\$814,111
Total Exemptions	\$0
Taxable Value	\$814,111

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$230,674	\$15,414	\$578,240	\$0	\$0	\$824,328	\$824,328	\$0	\$824,328
2016	\$174,906	\$10,485	\$248,288	\$0	\$0	\$433,679	\$405,215	\$78,464	\$355,215
2015	\$173,129	\$10,530	\$240,350	\$0	\$0	\$424,009	\$390,216	\$83,793	\$340,216
2014	\$125,249	\$10,575	\$240,350	\$0	\$0	\$376,174	\$376,174	\$50,000	\$326,174
2013	\$93,869	\$2,799	\$240,350	\$0	\$0	\$337,018	\$337,018	\$50,000	\$287,018
2012	\$152,068	\$3,130	\$240,350	\$0	\$0	\$395,548	\$357,319	\$88,229	\$307,319
2011	\$155,822	\$3,459	\$265,888	\$0	\$0	\$425,169	\$358,237	\$116,932	\$308,237
2010	\$157,699	\$2,664	\$294,320	\$0	\$0	\$454,683	\$362,894	\$141,789	\$312,894

Building Information

Building 1 Actual Area 3196 Conditioned Area 3366 Actual Year Built 1850 Use Mixed Use (Store/Office/Residential Combo)	Roof Structure Gable Hip Roof Cover Asbestos Interior Flooring Pine Wood Interior Wall Drywall Heating Type Air Duct
--	---

Style 01 Heating Fuel
 Class N Air Conditioning Central
 Exterior Wall Concrete Stucco Baths

Category	Type	Pct
Exterior Wall	Concrete Stucco	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Asbestos	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	8 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Concrete Slab	100%
Condition	Average	100%
Insulation	2" Fiberglass	100%

Description	Conditioned Area	Actual Area
CANOPY COM	0	180
BASE AREA	480	480
F GARAGE	0	792
1.5 STORY	2886	1924
CANOPY COM	0	520
Total SqFt	3366	3896

Building 2 Roof Structure Wood Truss
 Actual Area 1475 Roof Cover Modular Metal
 Conditioned Area 711 Interior Flooring Pine Wood
 Actual Year Built 1940 Interior Wall Drywall
 Use Mixed Use (Store/Office/Residential Combo) Heating Type Air Duct
 Style 04 Heating Fuel
 Class N Air Conditioning Central
 Exterior Wall Wood Baths

Category	Type	Pct
Exterior Wall	Wood	100%
Roofing Structure	Wood Truss	100%
Roofing Cover	Modular Metal	100%
Interior Walls	Drywall	100%
Interior Flooring	Pine Wood	100%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Wood Frame	100%
Plumbing	5 Fixtures	100%
Electrical	Good	100%
Foundation	Piers and Posts	100%
Insulation	4" Fiberglass	100%
Floor System	Wood Frame	100%
Condition	Good	100%

Description	Conditioned Area	Actual Area
CANOPY COM	0	114
CANOPY	0	300
CANOPY COM	0	350
BASE AREA	711	711
Total SqFt	711	1475

Extra Features

Code Description	BLD	Length	Width	Height	Units
Handicap Ramp	0	0	0	0	148
DECK UNATT	0	0	0	0	180
MS/CB WALL	0	11	12	0	132
Brick Pavers (1001-3000)	0	0	0	0	1492
Wood Fence	0	0	0	0	720

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Mixed Use (Store/Office/Residential Combo)	32	110	3520	SF	\$281,600
Mixed Use (Store/Office/Residential Combo)	8	180	1440	SF	\$115,200
Restaurants & Cafeterias	42	54	2268	SF	\$181,440

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
8/15/2016	8/12/2016	\$2,497,000.00	WD	4239	1281	U	I	PARKS DONNA LEE ESTATE	18 ST GEORGE ST LLC
2/17/2016	2/17/2016	\$0.00	LA	4150	929	U	I	PARKS DONNA LEE	PARKS DONNA LEE ESTATE
	3/10/1995	\$0.00	DC	1455	1069	U	I	PARKS MARY BELL *** (DECD 3/10/95)	PARKS DONNA LEE
	9/1/1989	\$0.00		829	161	U	I		PARKS MARY BELL ***

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

Tax Estimator

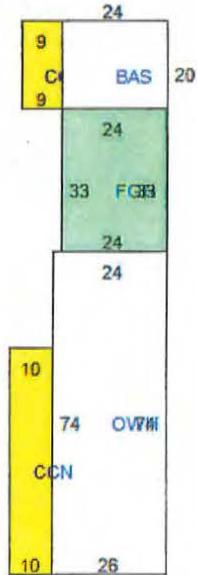
[Tax Estimator](#)

Map

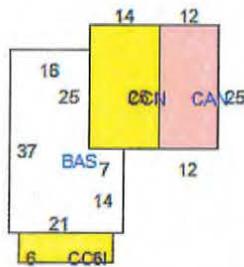


Sketches

	OWH	OWH
	FGR	FINISHED GARAGE
	BAS	Base
	CCN	CCN



	BAS	Base
	CAN	CANOPY
	CCN	CCN



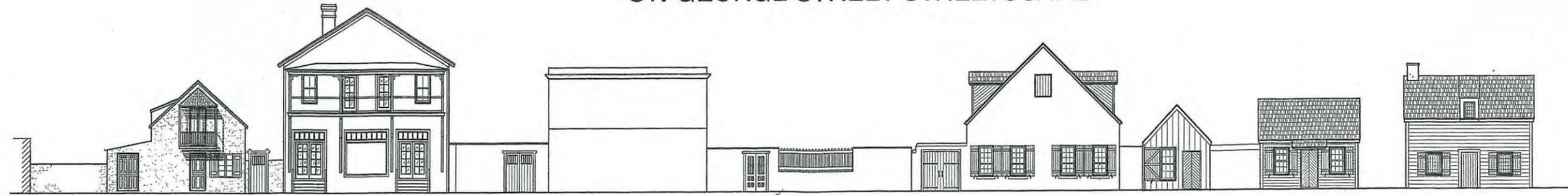
No data available for the following modules: Exemptions.

RECEIVED
AUG 07 2018

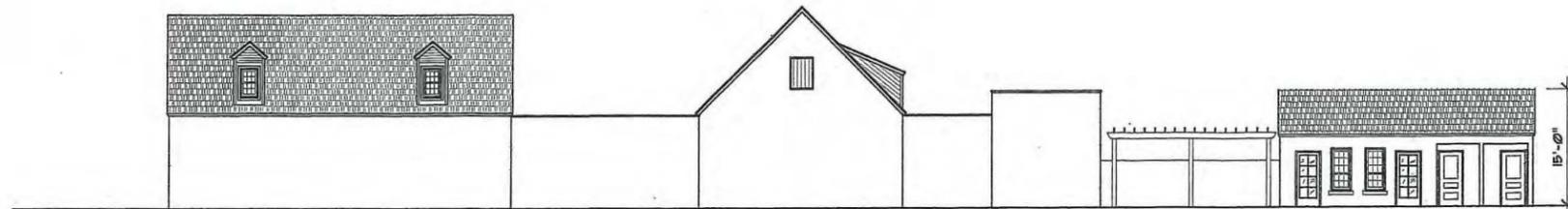
Planning/Community Dept.

OPTION D

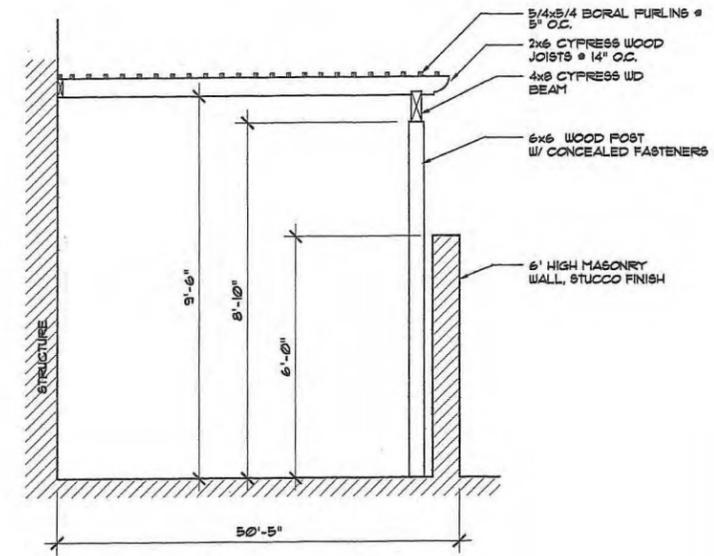
ST. GEORGE STREET STREETScape



18 ST. GEORGE STREET
1" = 10'-0"



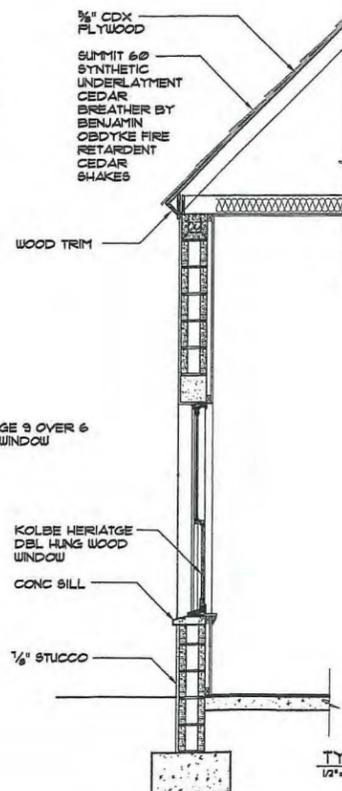
NORTH ELEVATION
1" = 10'-0"



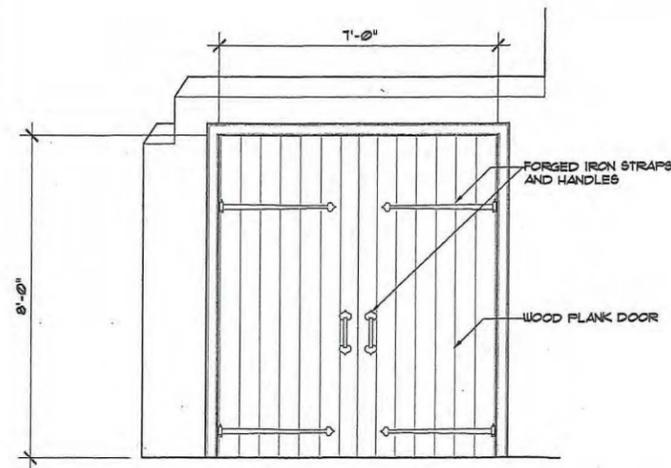
TYPICAL PERGOLA
1/2" = 1'-0"



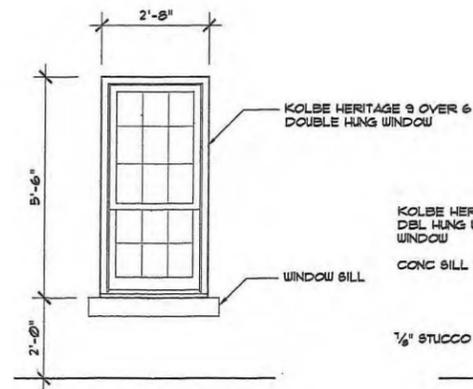
11 SPANISH STREET STREETScape
1" = 10'-0"



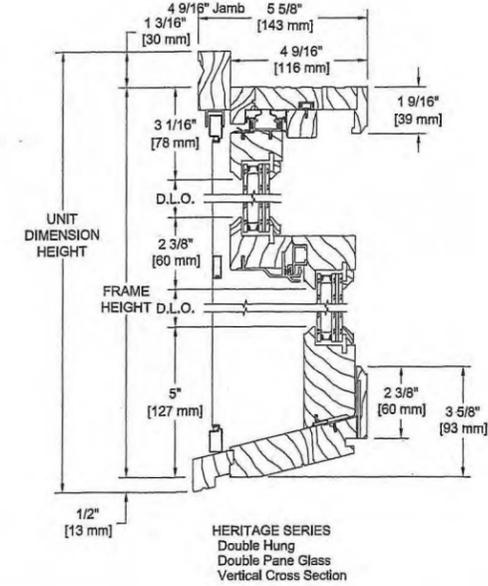
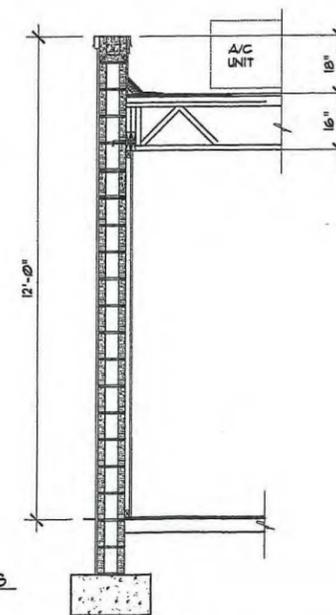
TYPICAL SECTIONS
1/2" = 1'-0"



COURTYARD ENTRY DOORS
1/2" = 1'-0"



TYPICAL WOOD WINDOW
1/2" = 1'-0"



HERITAGE SERIES
Double Hung
Double Pane Glass
Vertical Cross Section

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 5 JUL 2018

FLOOR PLAN
AND ELEVATIONS

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

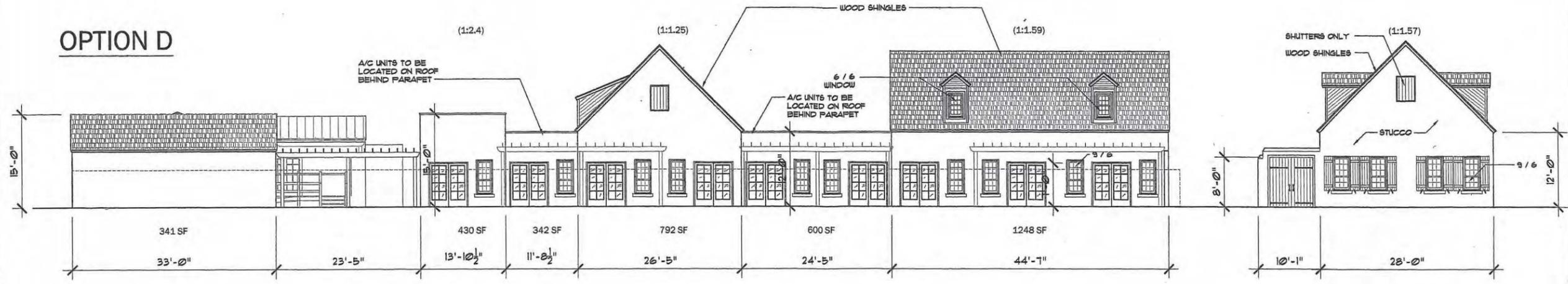
DON CRICHLAW & ASSOCIATES
302 1/2 ST. GEORGE STREET
ST. AUGUSTINE, FL 32084
PH. (904) 824-9785

ARCHITECT

SHEET
A2

REGISTRATION SEAL

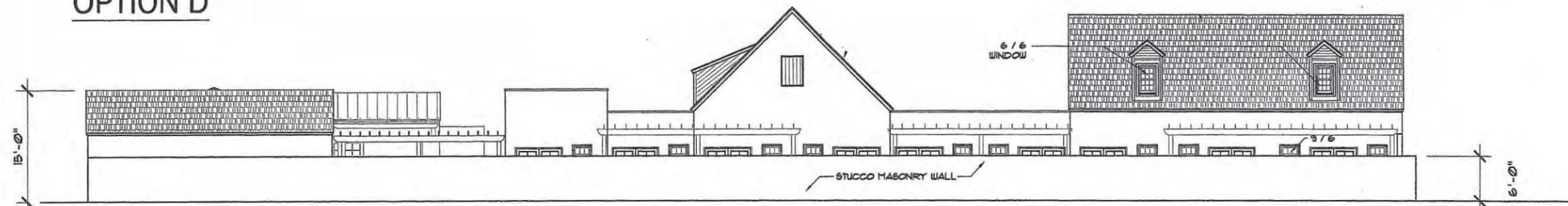
OPTION D



SOUTH ELEVATION
1/8"=1'-0"

EAST ELEVATION
1/8"=1'-0"

OPTION D



SOUTH ELEVATION WITH WALL
1/8"=1'-0"

PROPOSED LANDSCAPING

PERGOLA
CAROLINA JASMINE

PLANTING BEDS
BEGONIA
INDIAN HAWTHORNE
SCHILLMAS HOLLY
JAPANESE PRIVET
NANDINA

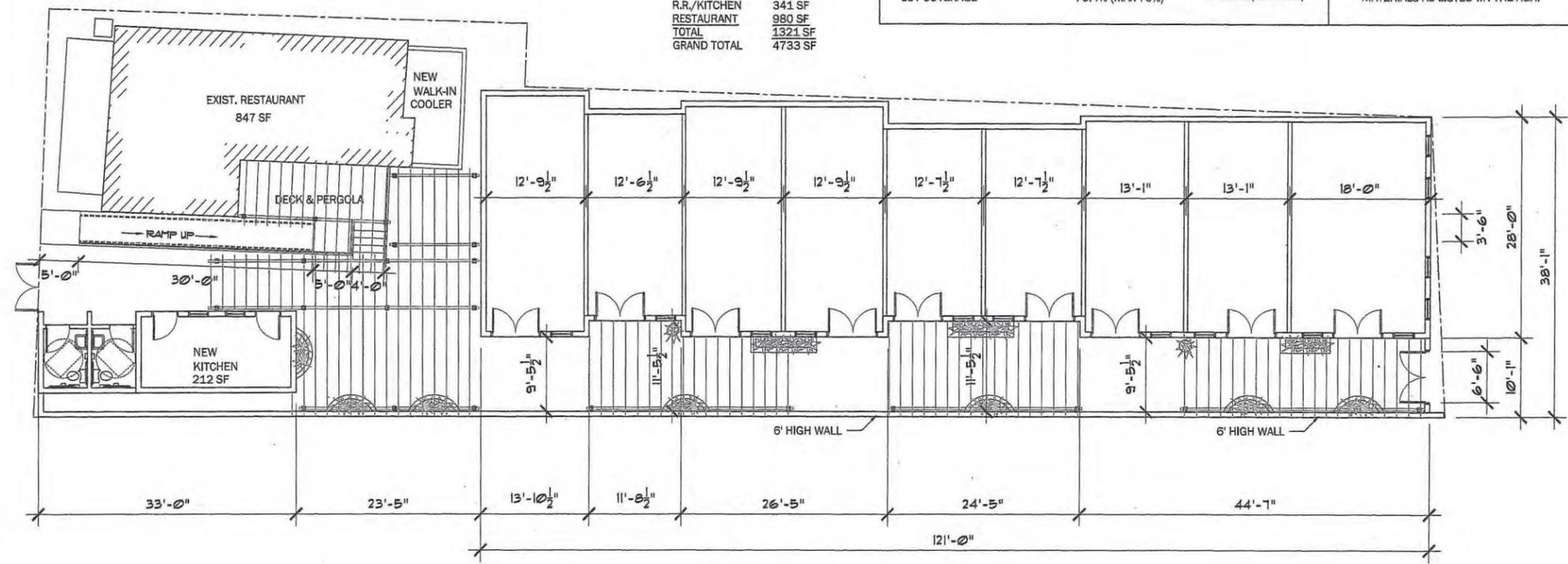
POTS
HIBISCUS
MORNING GLORY
CITRUS

ALL PLANTINGS SHALL BE HISTORIC PLANT MATERIALS AS LISTED IIN THE AGHP

1st BUILDING	1248 SF
CONNECTOR	600 SF
2nd BUILDING	792 SF
CONNECTOR	342 SF
3rd BUILDING	430 SF
TOTAL	3412 SF
R.R./KITCHEN	341 SF
RESTAURANT	980 SF
TOTAL	1321 SF
GRAND TOTAL	4733 SF

COVERED AREAS		
EXISTING COVERED SQ. FT.	5480 sf	4733 sf
LOT SQ FT	7776 SF	7776 SF
LOT COVERAGE	70.4% (MAX 70%)	60.86% (MAX 70%)

RECEIVED
AUG 07 2018
Planning/Building Dept.



REGISTRATION SEAL

DRAWN BY:
N. GOLDBERGER
SCALE: AS NOTED
DATE: 5 JUL 2018

FLOOR PLAN
AND ELEVATIONS

18 ST. GEORGE STREET
ST. AUGUSTINE, FLORIDA 32084

DON CRICHLAW & ASSOCIATES
ARCHITECTS
1000 W. PALM BEACH BLVD.
SUITE 200
ST. AUGUSTINE, FLORIDA 32084
PH. (904) 824-5785

SHEET
A1

THE ST. AUGUSTINE RECORD
Affidavit of Publication

CITY OF ST AUGUSTINE
PO BOX 210

SAINT AUGUSTINE, FL 32085

ACCT: 15560
AD# 0003073301-01
PO#

PUBLISHED EVERY MORNING SUNDAY THROUGH SATURDAY
ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF ST. JOHNS

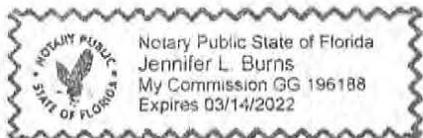
Before the undersigned authority personally appeared JAMIE WILLIAMS who on oath says he/she is an Employee of the St. Augustine Record, a daily newspaper published at St. Augustine in St. Johns County, Florida; that the attached copy of advertisement being a **NOTICE OF HEARING** in the matter of **HARB 18 ST. GEORGE STREET** was published in said newspaper on **08/06/2018**.

Affiant further says that the St. Augustine Record is a newspaper published at St. Augustine, in St. Johns County, Florida, and that the said newspaper heretofore has been continuously published in said St. Johns County, Florida each day and has been entered as second class mail matter at the post office in the City of St. Augustine, in said St. Johns County, Florida for a period of one year preceding the first publication of the attached copy of advertisement; and affiant further says the he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing this advertisement for publication in said newspaper.

Sworn to and subscribed before me this ____ day of **AUG 06 2018**

by Jamie Williams who is personally known to me or who has produced as identification

Jennifer L. Burns
(Signature of Notary Public)



NOTICE OF PUBLIC HEARING

Notice is hereby given of a public hearing by the Historic Architectural Review Board to be held at **1:00 PM, Thursday, August 16, 2018**, in The Alcazar Room at City Hall, St. Augustine, Florida, at which time comments are invited on the following:
CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT NEW BUILDINGS BETWEEN SPANISH AND ST. GEORGE STREETS DESIGNED WITH SPANISH COLONIAL CHARACTER; CITY OF ST AUG ALL LOTS 3 & 28 & STRIP OF LAND BEING PART OF LOTS 4 & 27 BLK 12 (EX PT IN OR51/50) OR4239/1281; also known as 18 St. George Street.
APPLICANT'S NAME: Don Crichlow & Associates
SUBMITTED BY CITY CLERK'S OFFICE

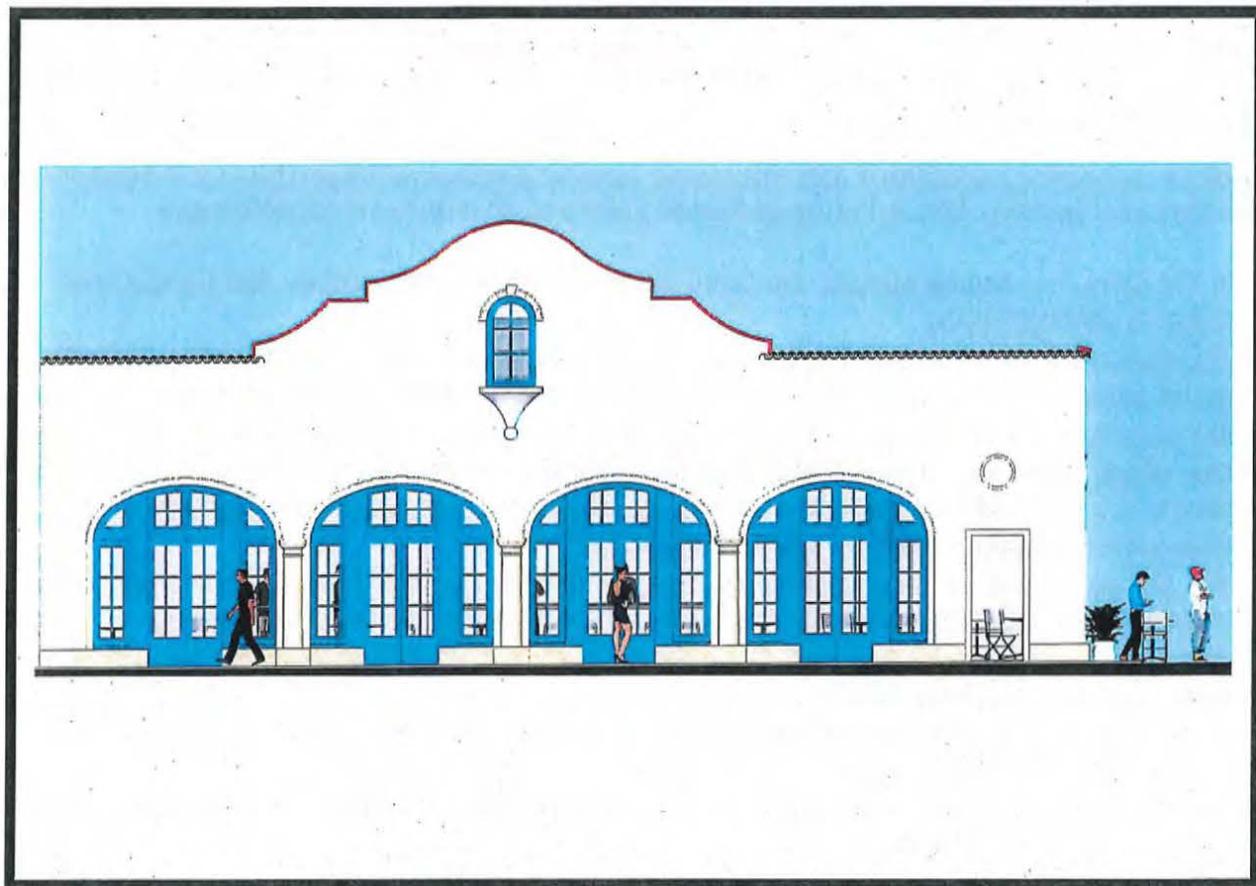
0003073301 August 6, 2018





CITY OF
ST. AUGUSTINE
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for August 16, 2018 Meeting



Application F2018-0109

Address: 9 Aviles Street

Red Moon Properties, LLC, Applicant and Owner

Project description: To construct a replacement building based on the Mission Revival character of the historic building that was demolished and on a previous Opinion of Appropriateness.

F2018-0109
9 Aviles Street
August 16, 2018

Architectural Style: Mission Revival	Florida Master Site File: N/A
National Register: New Construction	Construction date: N/A
Archaeology Zone: IB	Zoning District: HP-2
Parcel number: 198930 0000	
Agenda Item: 7(b)	Previous Action(s): OOA 2018

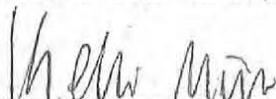
STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Appropriateness to construct a replacement building based on the Mission Revival character of the historic building that was demolished and on a previous Opinion of Appropriateness.

- In the Opinion of Appropriateness, the board stated that the columns, arches, and parapet were character defining features.
- The applicant provided two building designs. These structures have different heights. The applicant should provide a streetscape to show how these buildings relate to the surrounding structures.
- The board approved the overall door and window design on the main and southern elevations. In the new design, there is a more defined separation between the windows and doors on the main elevation, but they maintain the same overall design. The applicant should provide information on the material for the windows and how many will be operable.
- The Chicago blue is not an appropriate color as it is not listed on the color list for the style. The universal khaki, interactive cream, and white wash are appropriate for the body of the building.
- The current roof style was approved during the Opinion. The Spanish clay tiles on the roof are appropriate according to the AGHP
- While coquina is a compatible material to use in the foundation, it needs to be utilized more extensively within the design since it has the appearance of heavier material.
- The applicant should clarify if the original columns will be reused in this building or if the columns will be made from a new material.
- Properly scaled drawings and building material information should be provided.
- This is a sensitive area and construction will require an A14 Archaeological Review Application. Coordination and application for the A14 should begin as soon as possible as this project could take some time.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Continue** a **Certificate of Appropriateness** for **9 Aviles Street** to allow the applicant time to address the issues described above.


Kelli Mitchell, Historic Preservation Planner

F2018-0109
9 Aviles Street
August 16, 2018

SUMMARY SCOPE OF WORK:

- Construct a one story building in the character of Mission Style Architecture
- Incorporate the design of the original arches and columns on the main façade
- Install multi-paned casement windows, French doors, a single door opening, and an arched window on the main façade and two door openings, a circular window, and a masonry wall with a gate on the southern elevation
- Install a combination hipped and flat roof covered with Spanish clay tiles as well as decorative brick and tile details in the cornice line and parapet
- Cover the building in stucco

CITY CODES/DESIGN GUIDELINES:

Architectural Guidelines for Historic Preservation

Doors and Entrances

Do...

- Protect and maintain the masonry, wood and architectural metal that comprise entrances through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coatings.
- Place new entrances on secondary elevations away from the main elevation. Preserve non-functional entrances that are architecturally significant.

Don't...

- Introduce or change the location of doors and entrances that alter the architectural character of the building. Buildings in the St. Augustine style entered through a courtyard door should not have an entry introduced directly into the street facade.
- Alter utilitarian or service entrances so they appear to be formal entrances by adding paneled doors, fanlights and sidelights.
- Fail to provide adequate protection to materials on a cyclical basis so that deterioration of entrances results.
- Replace deteriorated or missing doors with stock doors or doors of inappropriate designs or constructed of inappropriate materials.
- Add aluminum or other inappropriate screen doors.
- Create a false historical appearance because the replaced entrance is based on insufficient historical, pictorial and physical documentation.
- Install secondary service entrances that are incompatible in size and scale with the historic building, or which obscure, damage or destroy character-defining features.

Post-1821

Doors are generally wood. Ornamentation and detailing should be based on historic precedent and be in keeping with the character of the building and entrance design. Modern stock metal doors, metal frame screen doors and sliding glass doors are generally inappropriate.

Fences, Walls and Gates

Do...

- Retain and repair existing historic fences, walls and gates.

Don't...

- Remove historic fences and walls.
- Install cinder block walls; or ornate iron or wood, rough cedar, chain link, wire or post and rail fences.
- Install fences of inappropriate scale that obscure the overall design of the building or its individual features.

Post-1821

Fences, walls and gates must match the architectural style of the primary building. Original fences and walls should be replicated.

The only materials permitted are stucco over masonry, poured coquina or tabby concrete, coquina stone, wood and iron. The level of detail should be appropriate for style of the primary building. Fences should be painted white or left unpainted. Walls may be painted white or left natural.

American Territorial period (1821-1845) fences and walls should be at least five and one-half feet high. Later period fences should be at least four feet high, but should be less than five feet high adjacent to the street.

Foundations and Infill

Do...

- Retain, repair as needed, or replace historic foundations and enclosures with matching or historically appropriate materials.

Don't...

- Use modern materials, such as cement block or stone veneer, to repair, reface or replace existing foundations, unless such material can be documented to be part of the original construction.

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Post-1821

Foundation types and materials depend on the architectural style of the building.

Mediterranean Influence foundations are continuous brick or masonry.

Paint Colors and Placement

Do...

- Apply compatible paint coating following proper surface preparation.
- Follow manufacturer's product and application instructions when repainting masonry.
- Attempt to discover the historic paint colors and finishes of the building and use this information to repaint with colors that illustrate the distinctive character of the property.
- Choose colors appropriate to the period and style of the building.
- Generally, the use of one base color and a maximum of three trim colors is appropriate.
- All paints used on masonry should be semi-gloss. Paints used on wood trim should be either flat or semi-gloss. High gloss paints are inappropriate.
- All of the units in a multiple unit building should be painted using the same base color and trim colors. Different base colors or trim colors should not be used to differentiate the units.

Don't...

- Paint a traditionally unpainted surface or remove paint from a traditionally painted surface.
- Fail to follow the manufacturer's product and application instructions when repainting.
- Use bright or gaudy colors, radically different types or colors of paints, or colors without historical basis.

Post-1821

Proper use of paint is perhaps the most important and highly visible method of illustrating the architectural style and details of post-1821 buildings. Paint colors should be appropriate for both the historical period and architectural style of the building.

Building walls constructed of coquina, coquina concrete or poured concrete should not be painted, but should be left natural.

Except as noted above, following the turn of the century, most other styles use lighter and brighter paint colors. Paint colors and usage during this period are not as intricate or flamboyant as during earlier periods, but the use of color to call attention to architectural elements is still evident. As a general rule, trim elements and recessed surfaces, such as door panels and shutter louvers are "picked out" in a different color from the base color of the building.

Window sashes are usually the darkest color so that windows appear to be recessed. Changes in material, such as bands of shingles or novelty siding, are highlighted by paint color. Paint colors are often different for each story and inside gable ends. The intent is for the building to appear as a box within a frame, and for the architectural features to be further differentiated.

Windows and Window Treatments

Do...

- Retain and repair window openings, frames, sash, glass, lintels, sills, pediments, architraves, hardware, shutters and balconies where they contribute to the architectural and historic character of the building.
- Design and install new windows, shutters and balconies when the historic windows, shutters and balconies are completely missing. The replacement may be an accurate restoration using historical, pictorial and physical documentation; or may be a new design that is compatible with the window openings and the historic character of the building.
- Design and install additional windows, shutters and balconies on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Don't...

- Introduce or change the location or size of windows and other openings that alter the architectural and historic character of the building.
- Replace window features on significant facades with historically and architecturally incompatible materials such as anodized aluminum, mirrored or tinted glass.

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Don't... [Cont.]

- Change the size or arrangement of window panes, muntins and rails where they contribute to the architectural and historic character of the building.
- Replace windows that contribute to the character of a building with those that are incompatible in size, configuration and reflective qualities or which alter the setback relationship between window and wall.

Post-1821

Mediterranean Influence windows are double hung sash five-over-five or one-over-one. Tall multi-pane fixed and casement windows are also used. Fanlights and transoms are common. An arch motif is common. Balconies should be wrought iron.

Generally Post-1821 windows should be wood. Under certain circumstances, metal and aluminum sash windows may be used if they duplicate the design, size and overall appearance of wood and are painted to appear as wood. Windows with an unpainted metal sash and sliding glass doors are generally not appropriate.

Mission (1919-1940)

The Mission style originated in California during the 1880's in response to increased interest in that state's Spanish colonial heritage. The Mission style became popular in Florida during the Land Boom of the 1920s. It is associated with a wide variety of buildings including churches, train stations, government buildings and private residences. Elements of the style, particularly the shaped parapet and the quatrefoil window, are frequently found on less formally designed buildings.

Identifying features of the Mission style are shaped parapets with coping; bell towers; quatrefoil windows; red barrel tile; and arcades.

Buildings are not constructed directly on the street, although the size of yards varies.

Building plans are L-shaped, T-shaped or irregular. Buildings are one or two stories.

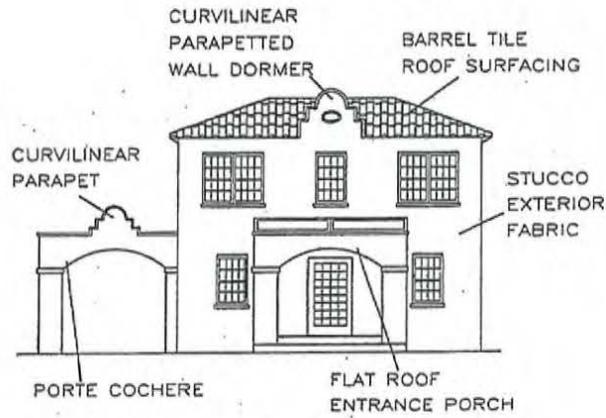
Foundations are continuous concrete or coquina. Construction is masonry or wood frame. Exterior finishes are stucco or unfinished coquina blocks.

Roof types are hip or flat with a shaped parapet and towers. Flat roof surfaces are built-up. Pitched roof surfaces are covered with barrel tile. Chimneys are brick or coquina block.

Windows are double hung sash six-over-six, three-over-one, one-over-one, or multi-pane casement. Quatrefoil windows, fanlights and sidelights are common.

Detailing includes plaster and terra cotta detailing, and quatrefoil windows.

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Mission

Secretary of Interior Standards for Rehabilitation

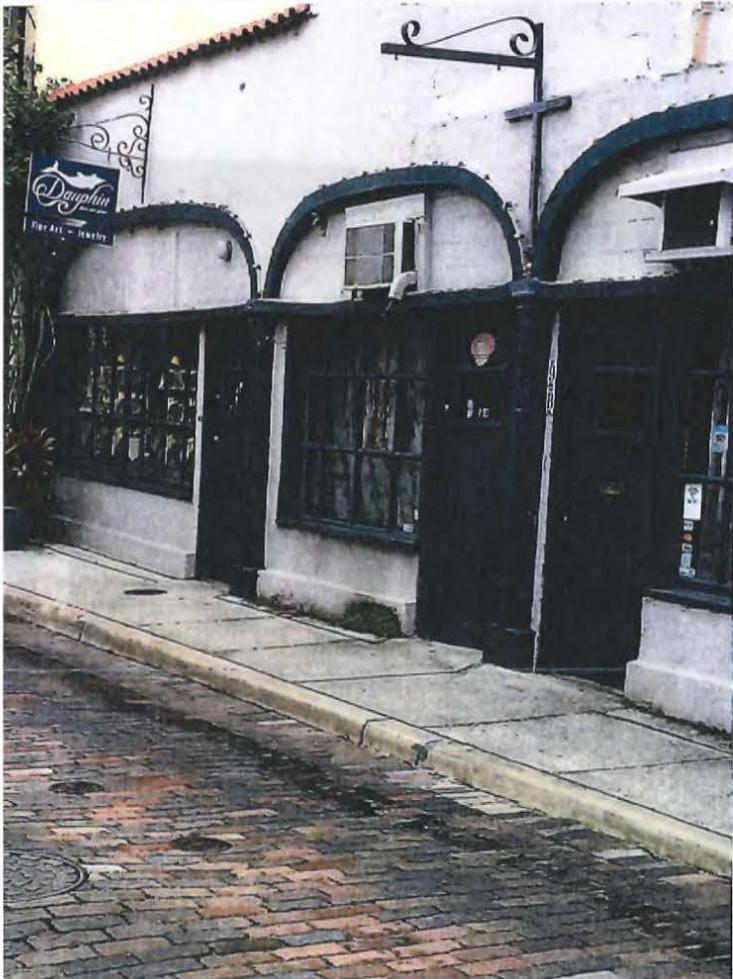
9. New additions, exterior alterations, or related new constructions shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment. [Compatible Contemporary Design for New Alterations and Additions]

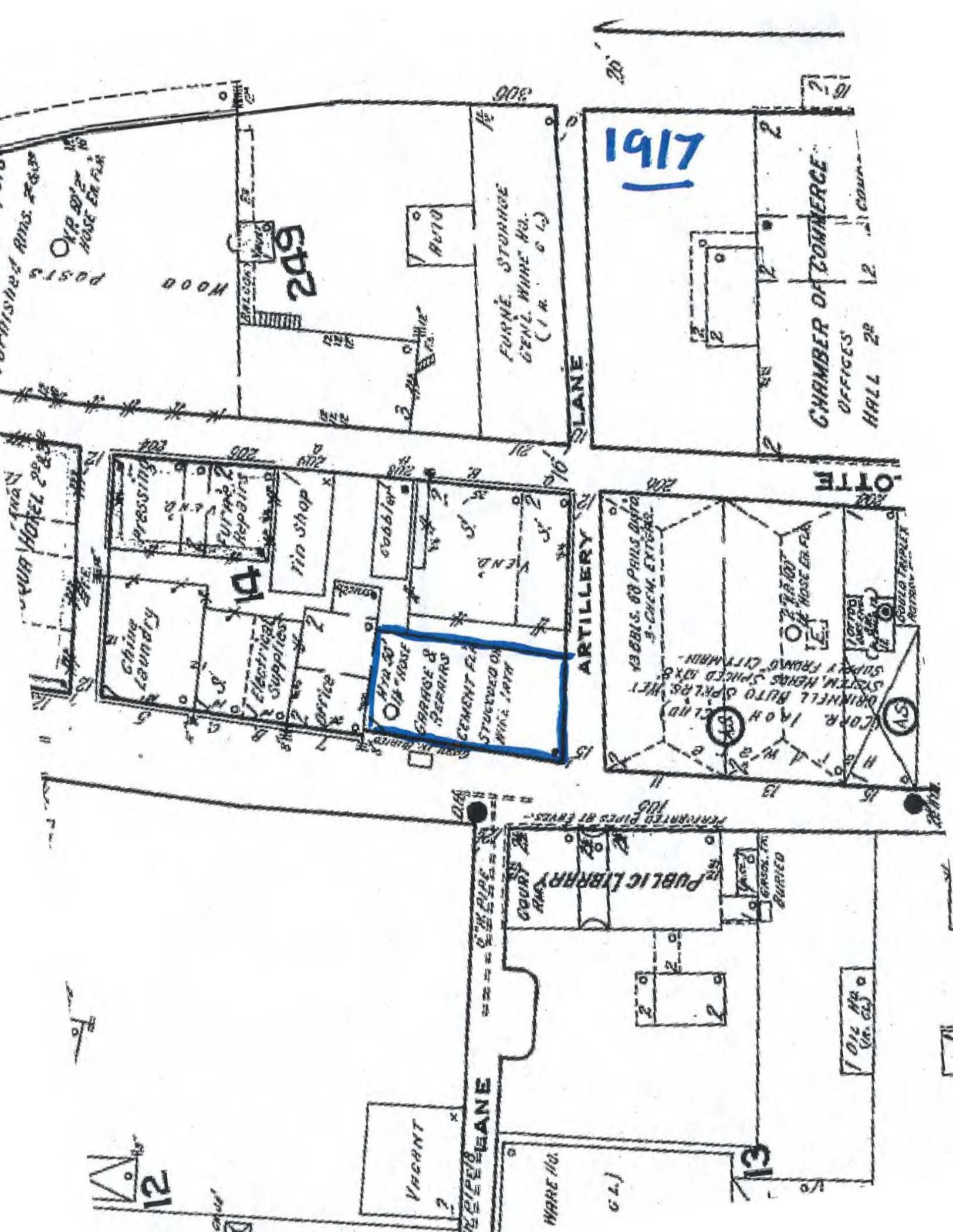
F2018-0109
9 Aviles Street
August 16, 2018

LIST OF ATTACHMENTS:

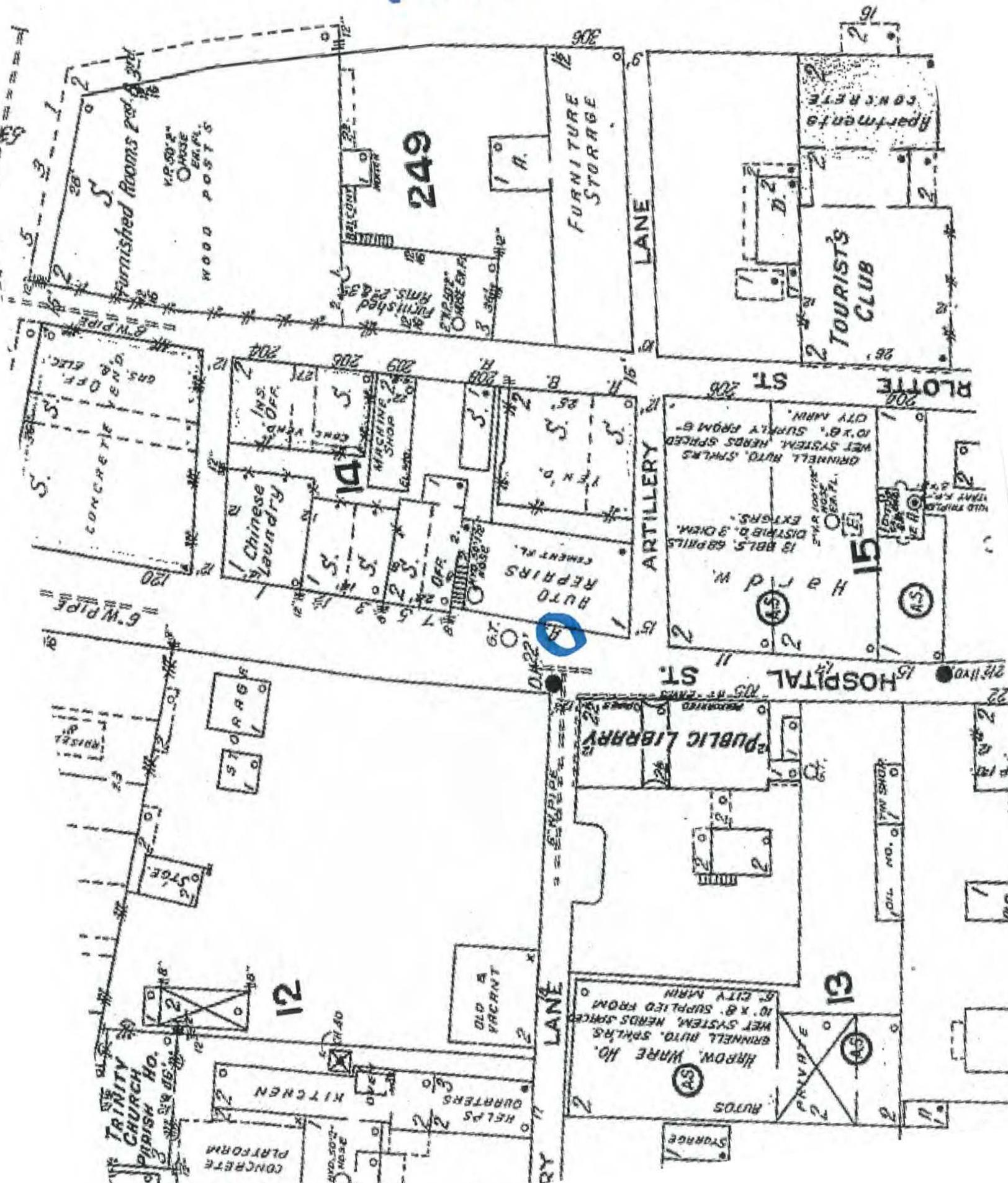
1. Staff Photos
2. Florida Master Site File
3. Minutes from June 21, 2018, Meeting
4. Previously Approved Design
5. Historic Photographs





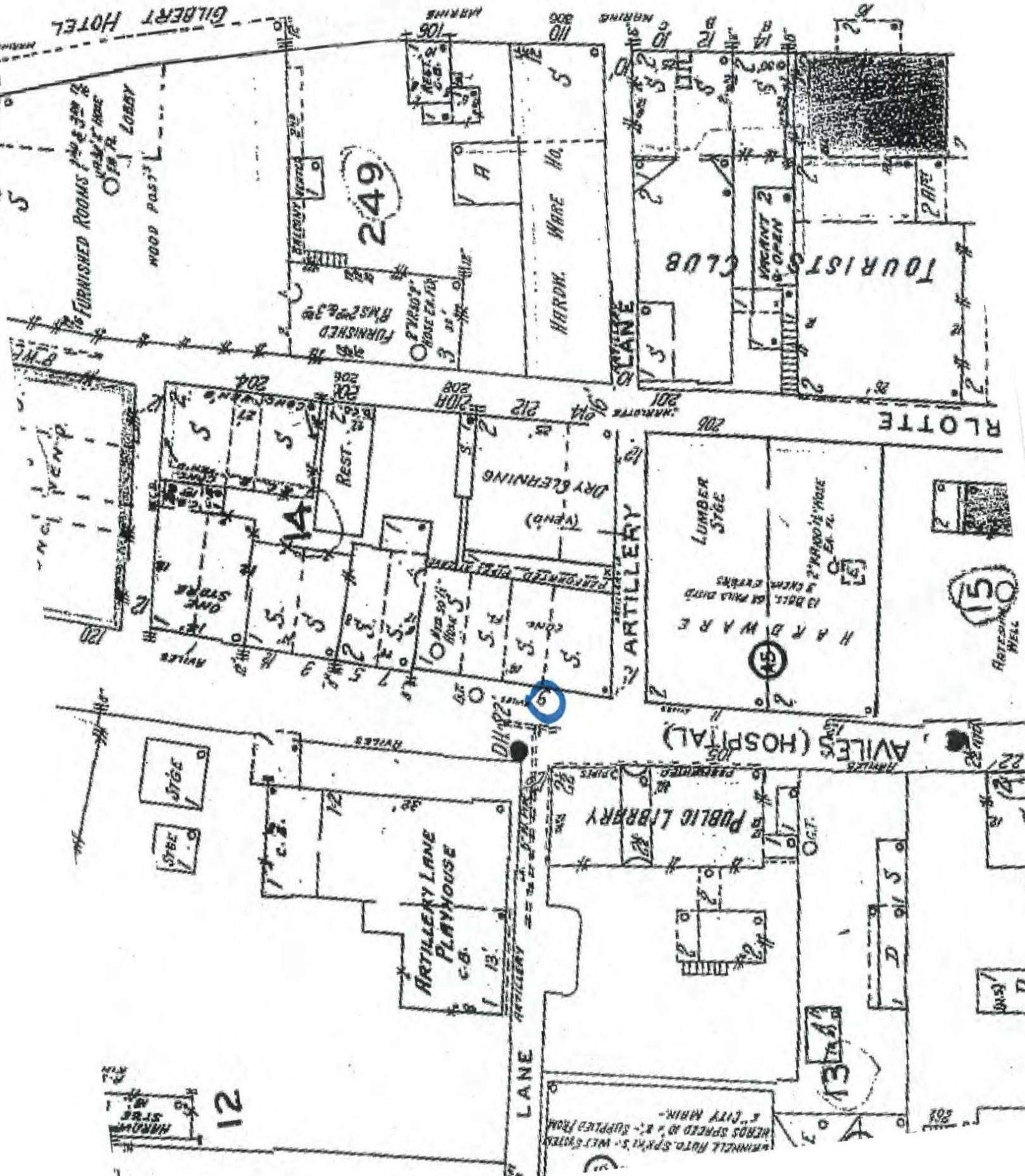


1927



1947 Edits

K



SAHS POLK CITY DIRECTORY RESEARCH

9 Aviles Street

DATE(S)	NAME	Notes
1911	Morris Friedman	Part of the first congregation of the Sons of Israel; Address: 9 Hospital Street
1920-1921	Central Produce Company	Address: 9 Hospital Street
1924/1925	Vacant	Address: 9 Aviles Street
1930	Vacant	
1937	Rollins S.A Electric Welding Rbt. A. Powers, radio repair	
1940	Rbt. Powers, radio repair	
1945	9a. Vacant 9b. Powers Radio Serv. 9c. Mrs. Annie K Feeney, dolls	
1951	9. The Anita Shell Shop 9a. Blue Gate Antiques 9b. The Cooper Sea Horse, gifts 9c. Vacant	
1953/1954	9. The Lynn Shop 9a. The Blue Gate Antiques 9b. Copper Sea Horse, gifts 9c. Old Gold & Silver Shop Antiques Russell E. Jellison	
1955	9. The Treasure Chest, gifts 9a. Blue Gate Antiques 9b. Copper Sea Horse, gifts 9c. Old Gold & Silver Shop, antiques Russell E. Jellison	
1960	9. Rebecca Originals, drsmkr 9a. Blue Gate Antiques 9b. The Chiquita Shop, embroidery 9c. Old Gold & Silver Shop Antiques Russell E. Jellison	
1965	9. Sun Fashion 9a. James T. Matthews, books-curious 9b. The Chiquita Shop, embroidery 9c. Old Gold & Silver Shop, antiques Russell E. Jellison	
1970	9. Vacant 9a. The Golden Peacock 9b. Norman Merle Cosmetics Studio 9c. Old Gold & Silver Shoppe, antiques	

1975	9. Burke's Gems, Spanish imports 9a. Darshan – House of Flutes 9b. Merle Norman Cosmetics Studio 9c. The Rising Sun Gallery & Gift Shop	The cosmetics studio is still currently in St. Augustine
1979/1980	9. Burke's Gems, Spanish imports 9a. Vacant 9b. Merle Norman Cosmetics Studio 9c. Vacant	
1984/1985	9a. Burke's Gems, Spanish Imports 9b. Christian Science Reading Room 9c. Just Between US Gifts	
1990	9. Vacant 9a. Vacant 9b. Lefty's Place, left-handed gifts 9c. The Last Unicorn	
1995	9. Gem & Wire Artist of St. Augustine 9a. Jean Light Willis Studio, art gallery 9b. Colours 9c. Art in the Hand, sculptures, prints, and drawings	
2000	Jean Light Willis Studios Simply Mystical Victoria's Portrait Shop	
Dec. 2005	Grand Baby LLC, Children's and Infant's Wear Cobblestone Food & Gifts, food Moultrie Creek Pottery, ceramic products – decorative	
Dec. 2006	Gaufrie's & Goods, coffee shops Moultrie Creek Pottery, ceramic pots – decorative	



Lifestyle

Anniversary of note

By Anne Heymen

Posted Feb 2, 2014 at 12:11 AM

Nearly 125 years ago, a small item appeared in Manufacturers' Record under building notes. It carried a St. Augustine dateline: "Plans have been prepared for a synagogue to cost \$25,000. Money has been donated by H.M. Flagler of New York."

The item, discovered by St. Augustine residents Joan Broudy Harris and her husband, Bruce Harris, carried the date of April 6, 1889.

Next month, Congregation Sons of Israel will celebrate the 90th anniversary of that first service held in that synagogue eventually built on Cordova Street. The cornerstone was laid May 3, 1923.

The first service there was March 30, 1924, and next month's three-day celebration will feature a variety of special events including a Havdalah Service - described as "a religious ceremony observed by Jews at the conclusion of the Sabbath or a festival. The service includes blessings over wine, spices and the light of a candle."

According to research, the St. Augustine synagogue, says Harris, is the oldest continuously run synagogue in Florida.

Digging into records at the St. Augustine Historical Society, Joan and Bruce Harris have found all sorts of interesting documents.

One of the most exciting finds, they report, was the proposed charter. It was filed Dec. 15, 1908, and approved by Judge R.M. Call and W.A. MacWilliams, Notary Public for the State of Florida at Large. There is one question, however, with the charter. Along with the file date of Dec. 15, 1908, is the approval date of Jan. 18, 1908, but that could be a typographical error.

According to the charter, the "general nature and the object of the corporation is to hold and conduct religious services according to the Hebrew form of worship; and to erect and maintain a synagogue."

Members of "said congregation shall be good moral character and standing, and Hebrew or Jewish nationality," it was written.

Subscribers included Jacob Tarlinsky, A. Schneider, Max Eff, W.A. Pinkoson, J.A. Lew, A.S. Goffin, Morris Friedman, S.A. Snyder, D. Mehlman, A. Butkowsky, Philip Epstein, David Price, I. Eff, D. Weinstein, Nathan Surasky, D. Gerstel, Nathan Surasky, Jacob Ross, Morris Plekansky, all of St. Augustine, Florida."

Officers listed included Tarlinsky, president; Schneider, vice president; Max Eff, treasurer; Pinkoson, secretary; and Lew, Goffin and Friedman as trustees.

Furthermore, "the amount in value of real estate which said corporation may hold shall be \$20,000, subject always to the approval of the circuit judge of the Fourth Judicial District of Florida."

Doris Weinstein Sirkin, youngest of eight children born to Mr. and Mrs. Abraham S. Weinstein, was born in 1924 - the year the synagogue was opened and remembers, as a very young child, spending winters in St. Augustine in the family home on St. George Street, a stone's throw from the city gate.

"In those years," said Sirkin, who now makes her home in Miami Beach, "St. Augustine was the winter resort of the country. It had to be the 1880s," when her father, a produce peddler, began dividing his time between his native Maine and St. Augustine. He came to the old city, she says, because of the cold weather in Maine. "There was hardly any business" in Maine in the winter.

In St. Augustine, the family business included a grocery store on St. George Street, and Weinstein provided wholesale produce to a variety of eating establishments, including the Ponce de Leon Hotel.

"Being in business" here, says his daughter, her father was "one of the early members of the synagogue, and we all grew up going to that synagogue."

Continuous maintenance

Through the years the members of the Congregation Sons of Israel have continued to maintain the building which was erected at 161 Cordova St., according to newspaper articles, "at a cost of between \$12,000 and \$13,000."

The building was described as "a handsome edifice which is constructed of brick with a white stucco front ... of simple, dignified design and owes its attractiveness to its very simplicity."

In 2013, members of the Congregation began a project of restoring the windows at a cost of nearly \$30,000. The windows, restored by Hardeman Fine Arts Glass Inc., and Llorens Stained Glass Studios, Duluth, Ga., were created between 1889 and 1890 and salvaged in the 1950s from Ahawas Achim (Congregation of Brotherly Love), an Orthodox synagogue in Atlanta. The synagogue was being torn down to make way for Interstate 75, and as members of the Congregation here explain, three members at the time - Florence Feiden, Sarah Bernstein and Lena Lichter, daughters of one of the synagogue's founder Jacob Tarlinsky - wanted the 15 hand-painted works of art for St. Augustine.

Finance for last year's restoration came from the sale of a home which the Congregation owned and from donations.

Donations are still being accepted, according to Congregation members.

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM _____ 802== Site No. 855219 1009==
Site Name: 9 Aviles Street 830== Survey Date: 7808 820==
Address: 9 Aviles Street, St. Augustine FL 32084 905==
Instructions for Locating: _____
_____ 813== County: St. Johns 808==
Location: City of St. Augustine 28 South 62' of lot 2 in or 6/ 868==
(subdivision) (block) (lot)
536, 62' on Aviles Street x 42' on Artillery Lane 868==
Owner of Site: Name: Burke, B.L. & Ruth E. ;
Address: 410 Theodore Street
St. Augustine, FL 32084 902==
Occupant or Manager: _____ 904==
Type of Ownership: Private 848== Zoning: HP-2
NR Classification Category: Building 916== Recording Date: 8010 832==
UTM: 17 469900 3306600 890== Location: T07S R30E S18 812==
(zone) (easting) (northing) (T) (R) (S)
Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:		Threats to Site:	
<input type="checkbox"/> Excellent	863==	<input type="checkbox"/> Zoning	878==
<input checked="" type="checkbox"/> Good	863==	<input type="checkbox"/> Development	878==
<input type="checkbox"/> Fair	863==	<input type="checkbox"/> Deterioration	878==
<input type="checkbox"/> Deteriorated	863==	<input type="checkbox"/> Borrowing	878==
		<input type="checkbox"/> Transportation	878==
Integrity of Site:		<input type="checkbox"/> Fill	878==
<input checked="" type="checkbox"/> Altered	858==	<input type="checkbox"/> Dredge	878==
<input type="checkbox"/> Unaltered	858==	<input type="checkbox"/> Other	878==
<input checked="" type="checkbox"/> Original Site	858==		
<input type="checkbox"/> Restored - Date:	858==		
<input type="checkbox"/> Moved - Date:	858==		

SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)

II. SITE DESCRIPTION, continued.

Original Use: Commercial 838== Present Use: Commercial 850==
Date: +1911 844== Period: 20th cent. 845== Culture: American 840==
Architect: _____ 872==
Builder: _____ 874==
Style: Mediterranean Revival 964==
Plan Type: Rectangular 966==
Exterior Fabrics: Stucco _____ 854==
Structural Systems: Wood frame 856==
Features of Structure: (942)
Window Type: Fixed sheet (multipane) 942==
Foundation: Poured concrete 942==
Roof Type: Flat, parapet 942==
Secondary Roof Structures: _____ 942==
Porches & Balconies: _____ 942==
Chimney Location: _____ 942==
Materials: (882)
Chimney: _____ 882==
Roof Surfacing: Built up 882==
Ornament Exterior: Clay tile cornice, rounded p9lasters, arches over windows, mission parapet. 882==
Quantitative Data: (950-954)
Chimneys: _____ 952== Dormers: _____ 954== Stories: 1 950==
Other: _____ 956==
Surroundings: Commercial 864==
Relationship to Surroundings: On narrow brick road in one of the oldest sections of the city. _____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
Contact Prints

 IV. SIGNIFICANCE

Areas of Significance: Architecture, Commerce, Education, Transportation

920==

Statement of Significance: (911==)

ARCHITECTURE

This one-story Mediterranean Revival building at 9 Aviles Street was constructed in 1911. Mediterranean elements include the stucco finish, clay tile cornice, rounded pilasters, and arches over the window. A mission parapet rises from the center. The building is located on a narrow brick street in one of the oldest sections of town.

The area of the colonial city south of the plaza and north of Bridge Street includes buildings ranging from colonial to modern times. It contains a significant number of St. Augustine's surviving colonial buildings as well as many fine Victorian buildings from the Flagler era like the development along Palm Row. Some remodeling and construction have taken place in the St. Augustine Colonial Revival style. The narrow colonial street plan is retained, and some of the streets are still surfaced in brick. Aviles Street retains some colonial ambiance with many buildings constructed on the street line, with overhanging balconies, and coquina walls. The visual effect of other streets tends to be mixed Colonial and Victorian, except along the bayfront, which is dominated by modern motels. Along this stretch of the bayfront are the last surviving buildings projecting out over the water. It is an area of combined usages--residential, commercial, educational and religious--all of which produce traffic and parking problems. As a result, many significant buildings, particularly Flagler era hotels and mansions, have been demolished over the years for parking lots or other facilities. The area is bounded on the west by the old Alcazar Hotel (now City Hall) and on the east by the seawall and bayfront. It is part of the National Landmark District, and listed on the National Register of Historic Places.

HISTORY

This section of the walled colonial city has been continuously occupied since the 16th century and represents the location of the 1565 settlement of St. Augustine. The small blocks and narrow streets of the early city are still evident. (1) All structures were destroyed during the 1702 attack by the South Carolinians, but by mid-century, the Rosario defense line had been erected along the present-day location of Cordova Street, and numerous buildings had been rebuilt throughout the area, although den-

(over)

 V. BIBLIOGRAPHY

1. Kathleen Deagan, et. al, "A Sub-Surface Survey of the St. Augustine City Environs," (Tallahassee, 1976); Anon., "S. Augustini pars et terrae Florida," 1588.
2. Juan Jose Elixio de la Puente, "Plano . . . de la Plaza de San Agustin," January 22, 1764; Mariano de la Rocque, "Plano Particular de la Ciudad de San Agustin," April 25, 1788; East Florida Papers, Escrituras, 1784-1821; Albert Manucy, The Houses of St. Augustine, 1565-1721 (St. Augustine, 1962), pp. 22-25 and 41-47.

sity was greater towards the bayfront. In the 18th and early 19th centuries, this section contained a number of governmental and ecclesiastical structures, including La Soledad parish church and school on St. George Street and the hospital and jail on Aviles (Hospital) Street. Moreover, the largest number of extant colonial buildings are found in this section of the city: Hourritiner, MacMillan, and Murat Houses on St. George Street; Segui, Fatio, O'Reilly, and Toledo Houses on Aviles Street; Solano House on Charlotte Street; and the Jacinto House on Marine Street. The southern border of this area, Bridge Street, led to one of three late colonial San Sebastian River ferry crossings.(2) Certain patterns of earlier development persisted into the American period as this section, particularly on Aviles Street, contained a disproportionately large number of public and educational facilities such as the Territorial City Council Meeting House, and in the late 19th century, the Peabody School, city jail, library, and police and fire departments. St. Joseph's Academy opened in the 1870's on St. George Street. Several prominent hotels also opened in this section, including the Ocean View on the bayfront and the St. George adjacent to Trinity Episcopal Church. Since the Civil War, St. George Street has remained a residential neighborhood and contained some stately homes of the city's more prominent residents and visitors. The streets to the east have contained some residences, but mainly commercial and institutional buildings. The area as a whole has one of the largest concentrations of 18th and 19th century structures within the walled city despite the demolition of several of the stately residences and hotels along St. George Street and Avenida Menendez (Bay Street).(3)

This commercial building at 9 Aviles Street has always functioned as a business enterprise. From 1917 until 1930 the Sanborn Maps list it as a "garage" and "auto-repairs". Early Sanborn Maps show a two-story frame "Engine House" and "Police Headquarters" with a 50 foot tower. By 1893 a "Public School Annex" occupied the ground and by 1904 the buildings were nonexistent.(4) Numerous shops now operated from the building.

ARCHAEOLOGY

For archaeological significance of the walled colonial city see Master Site File Form 8SJ10.

3. Anon., "Copy of a Plan of the City of St. Augustine," 1833; 1885 and 1894 Birds-Eye Views; Sanborn Fire Insurance Maps, 1884-1958.

4. Sanborn, 1888, 1893, 1899, 1904, 1910, 1917, 1924, 1930.

Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site # SJ00219
Field Date 5-11-2016
Form Date 5-11-2016
Recorder # _____

Shaded fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 9 Aviles Street Multiple Listing (DHR only) _____
Survey Project Name Inv. of Structures within the St. Augustine NRHD Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 9 Direction _____ Street Name Aviles Street Type Street Suffix Direction _____
Address: _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name ST. AUGUSTINE USGS Date 1956 Plat or Other Map _____
City / Town (within 3 miles) St. Augustine In City Limits? yes no unknown County St. Johns
Township 7S Range 30E Section 18 ¼ section: NW SW SE NE Irregular-name: _____
Tax Parcel # 19893000000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting Northing
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1911 approximately year listed or earlier year listed or later
Original Use Commercial From (year): _____ To (year): _____
Current Use Commercial From (year): _____ To (year): _____
Other Use Shops, restaurant From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature Storefront changes
Additions: yes no unknown Date: _____ Nature _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style Mediterranean Revival Exterior Plan Rectangular Number of Stories 1
Exterior Fabric(s): 1. Stucco 2. _____ 3. _____
Roof Type(s) 1. Flat 2. _____ 3. parapet
Roof Material(s): 1. Built-up 2. _____ 3. Brick cap
Roof secondary strucs. (domers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) Fixed sheet (multipane)

Distinguishing Architectural Features (exterior or interior ornaments) Parapet style- large flat arched bays w/ round segmented concrete columns - pilasters

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY	OFFICIAL EVALUATION	DHR USE ONLY
NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____	
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)	

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Masonry - General 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. slab
 Foundation Material(s): 1. Concrete, Generic 2. _____
 Main Entrance (stylistic details) single wood plank doors w/ rectangular light

Porch Descriptions (types, locations, roof types, etc.) none

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information

Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) contributes to contiguous fabric of district

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

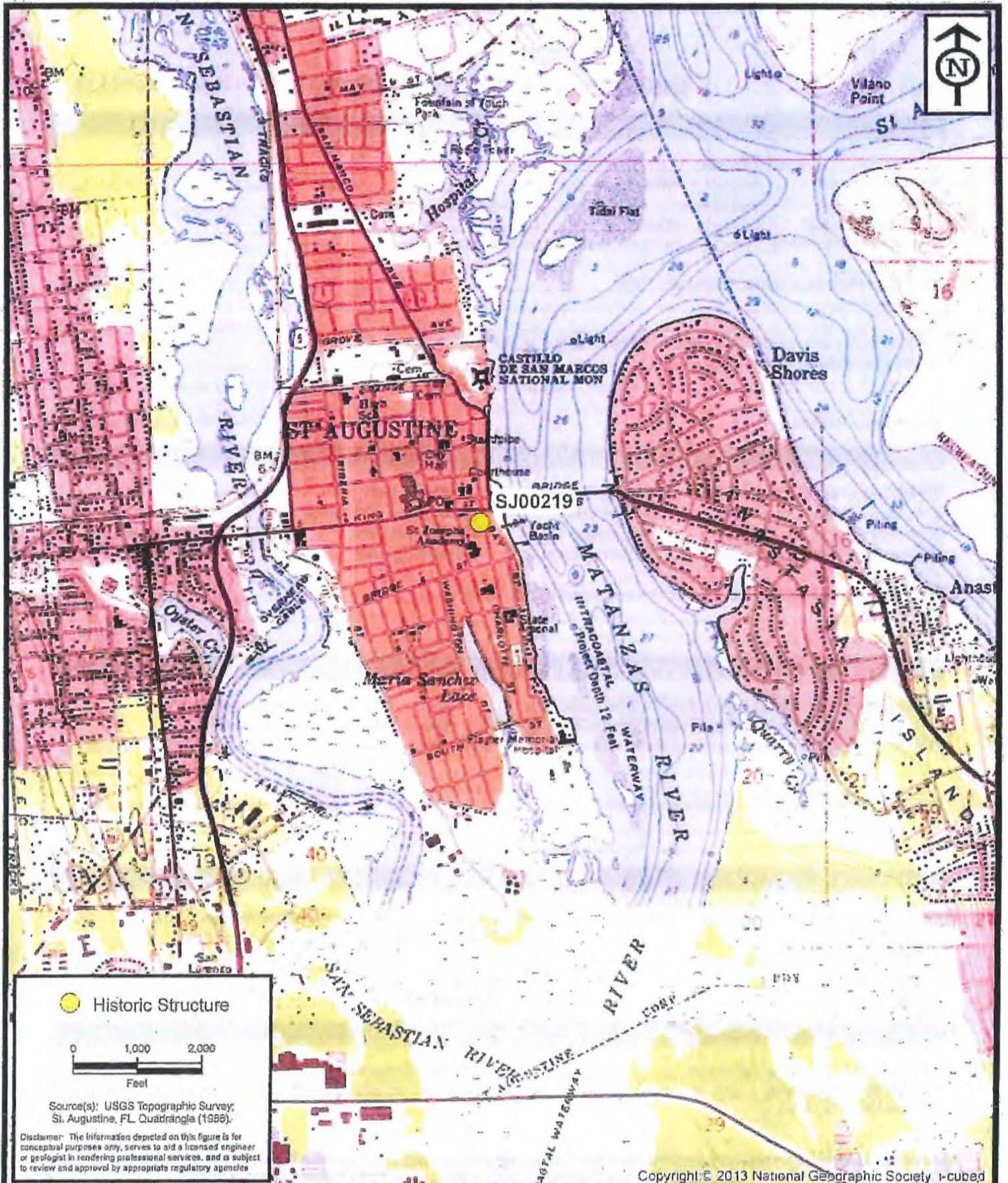
1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Patricia Davenport Affiliation Environmental Services, Inc.
 Recorder Contact Information 7220 Financial Way Ste. 100 Jacksonville, FL 32256 904-470-2200, pdavenport@esinc.cc
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



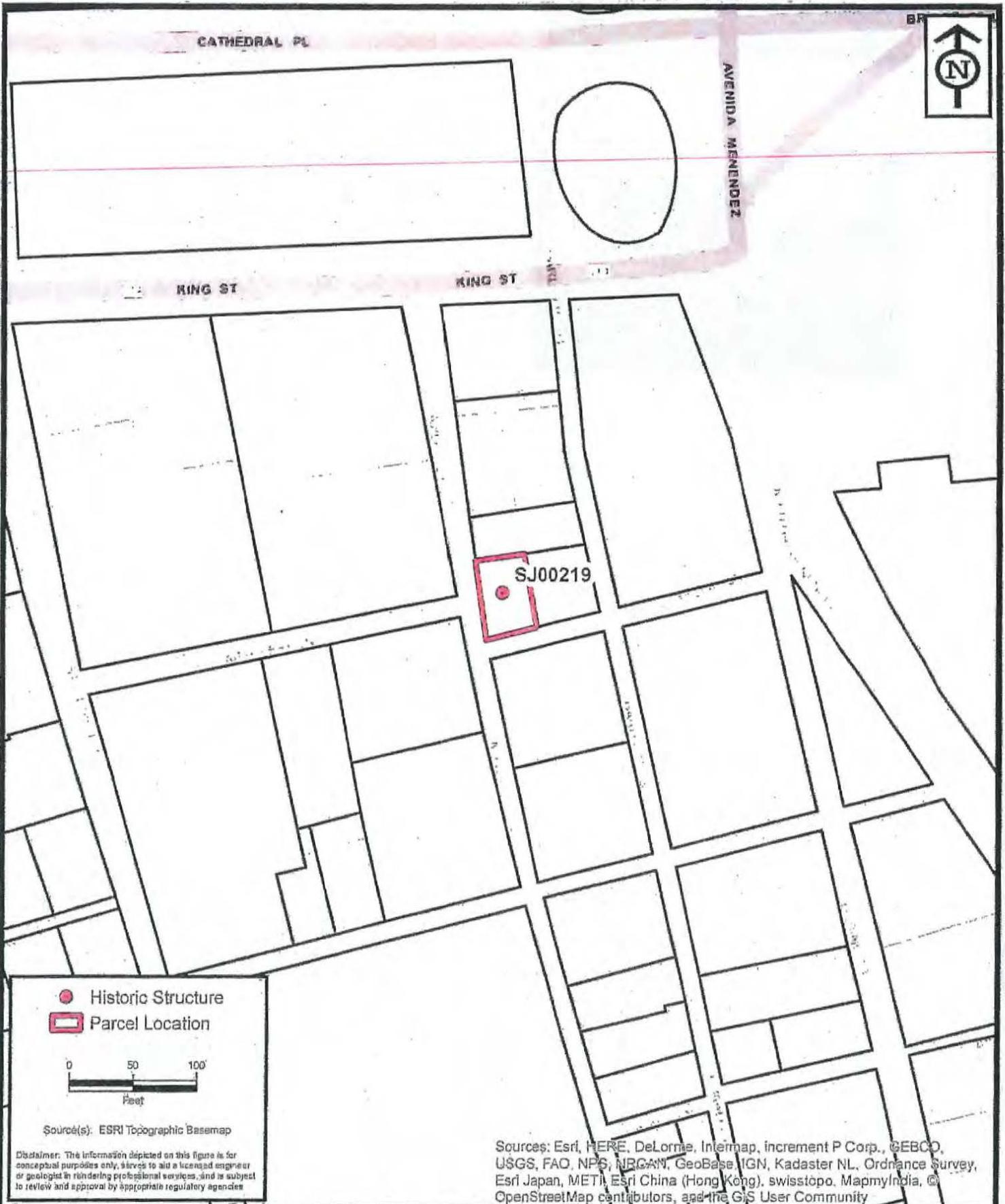
ENVIRONMENTAL SERVICES, INC.

7220 Financial Way, Suite 100
Jacksonville, Florida 32256
(904) 470-2200
(904) 470-2112 Fax

www.environmentalservicesinc.com

Project Location - SJ00219
City of St. Augustine
Historic Structure Survey
 St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Figure:	1



- Historic Structure
- Parcel Location



Source(s): ESRI Topographic Basemap

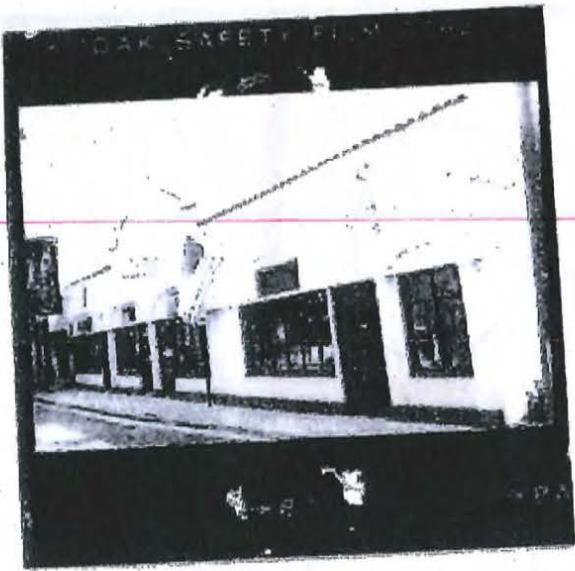
Disclaimer: The information depicted on this figure is for conceptual purposes only, serves to aid a licensed engineer or geologist in rendering professional services, and is subject to review and approval by appropriate regulatory agencies.

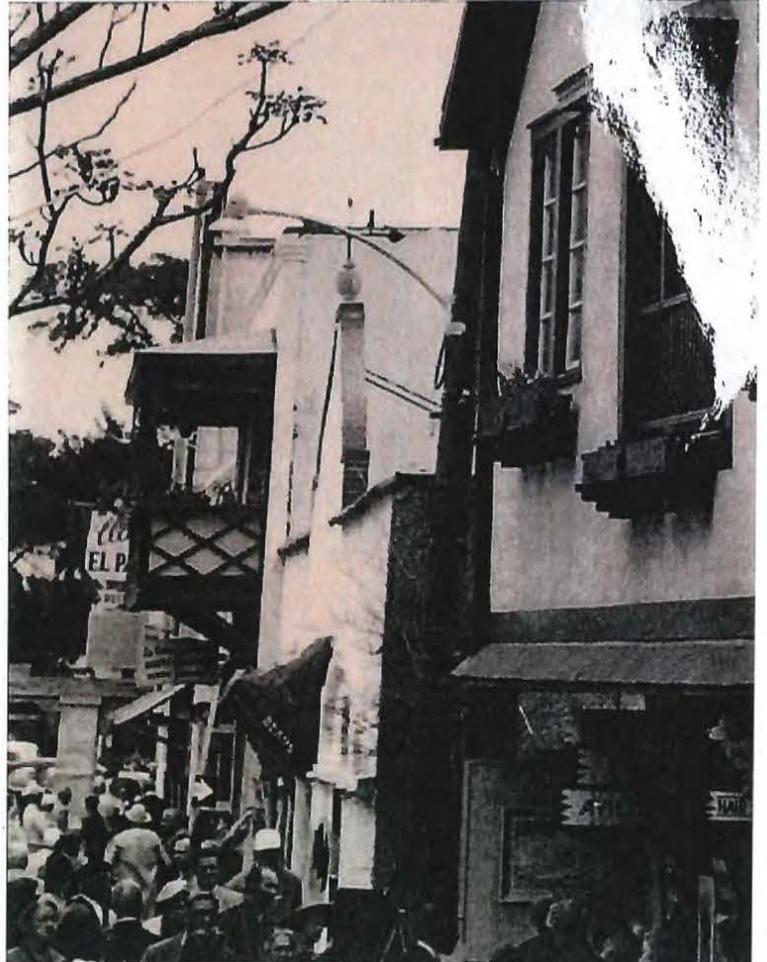
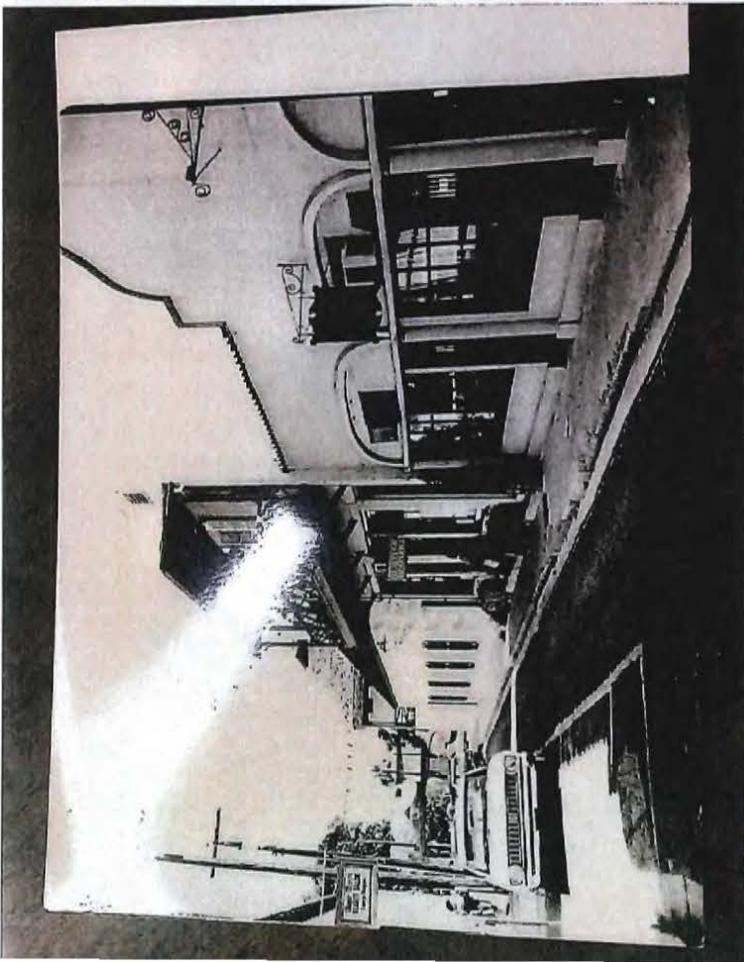
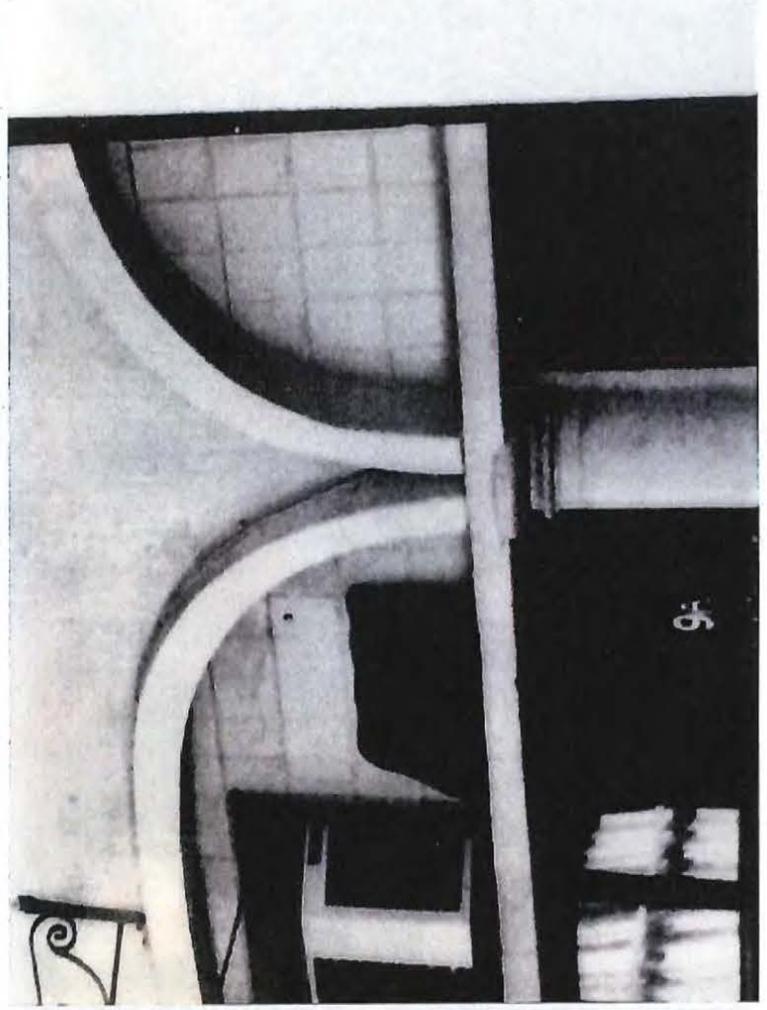
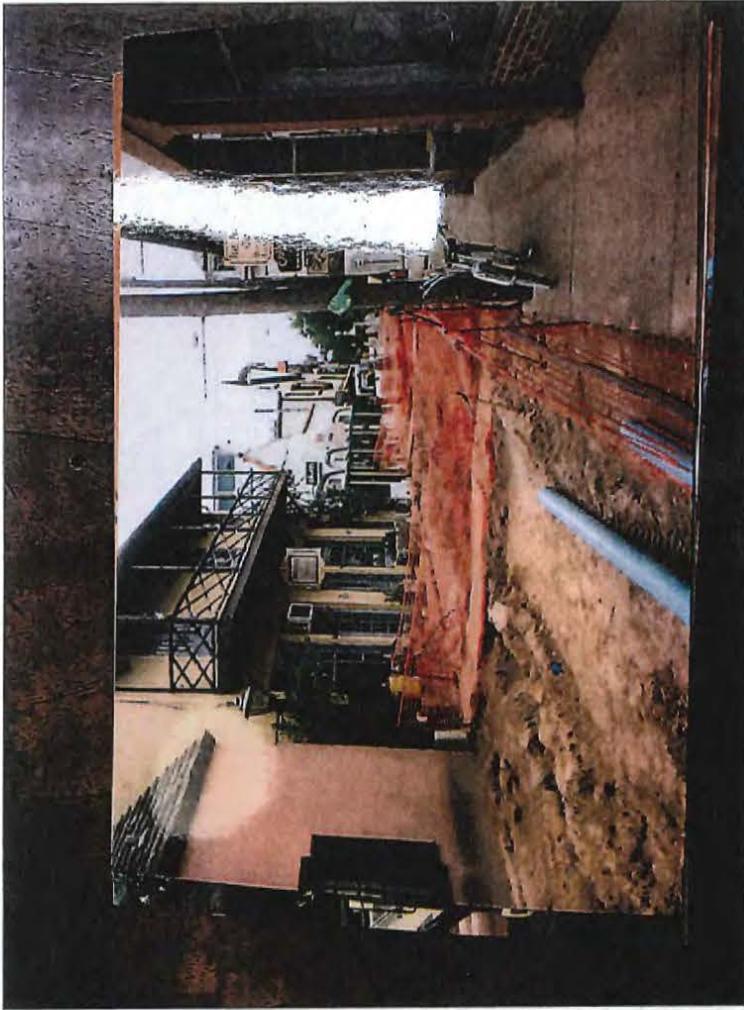
Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

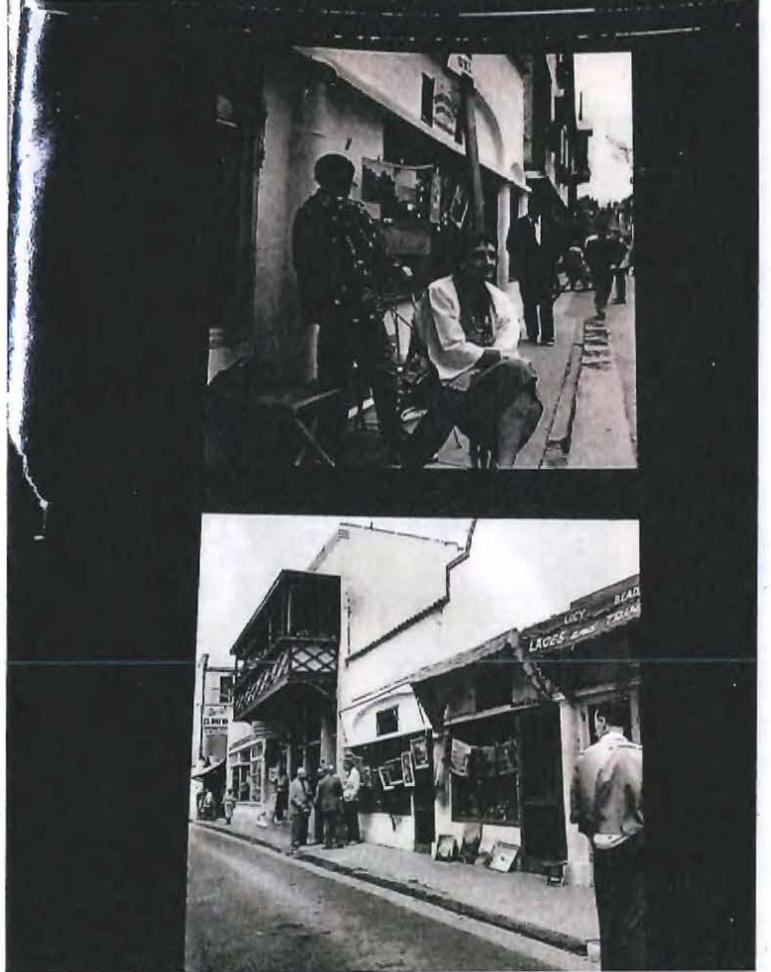
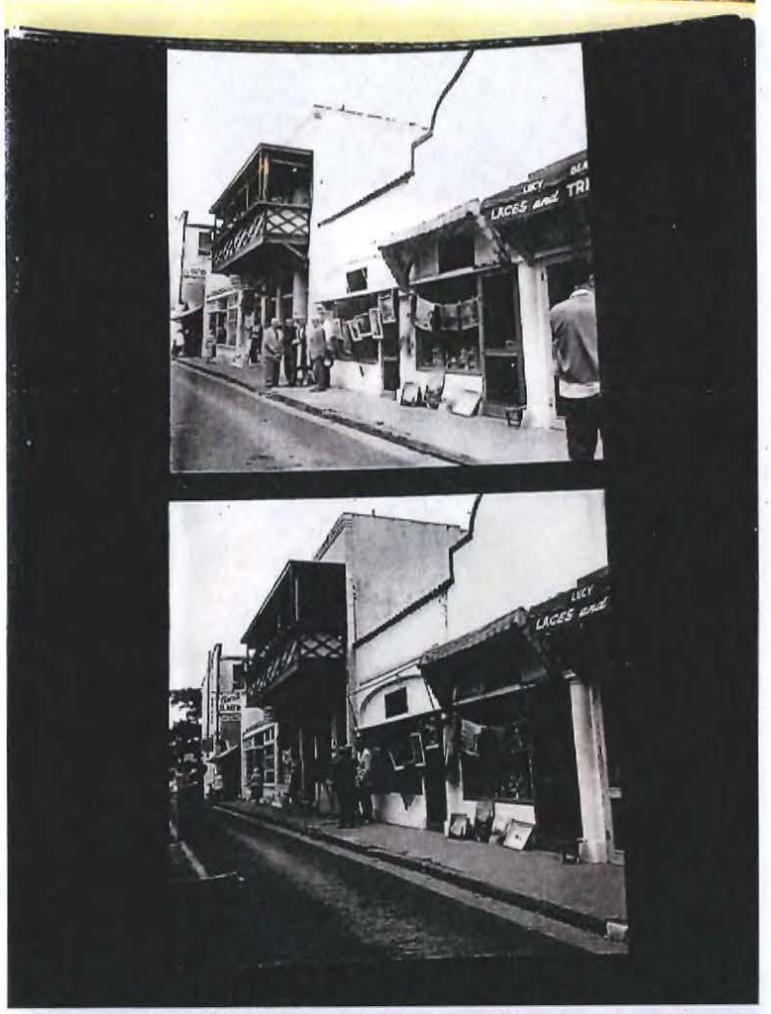
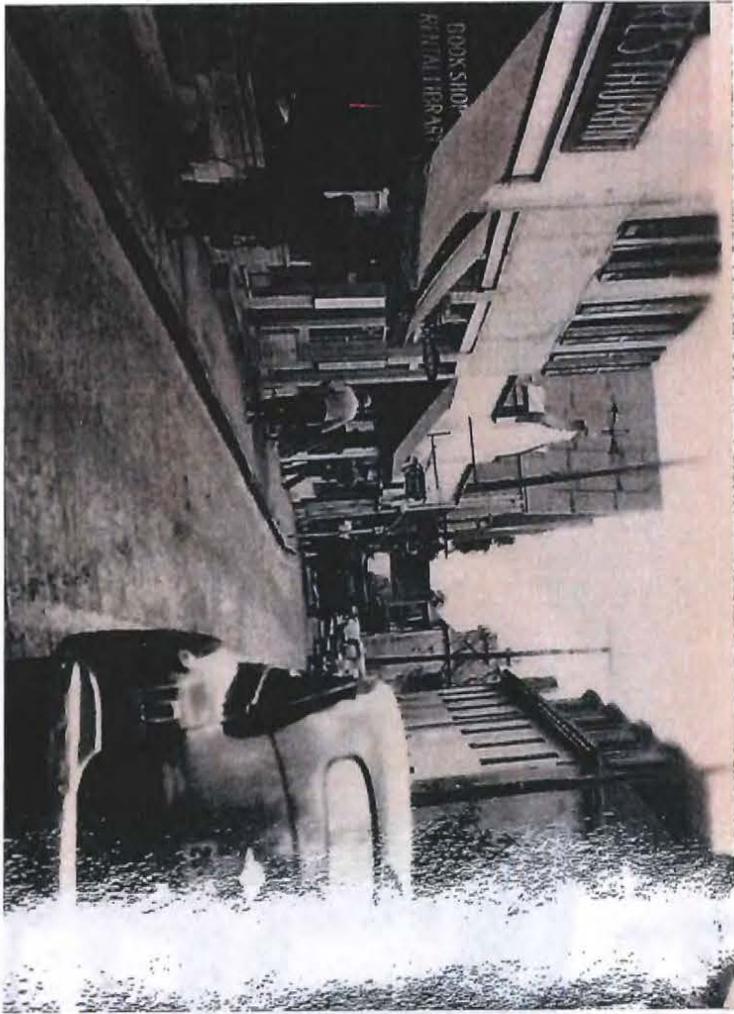
ENVIRONMENTAL SERVICES, INC.
 3220 Financial Way, Suite 100
 Jacksonville, Florida 32256
 (904) 470-2200
 (904) 470-2112 Fax

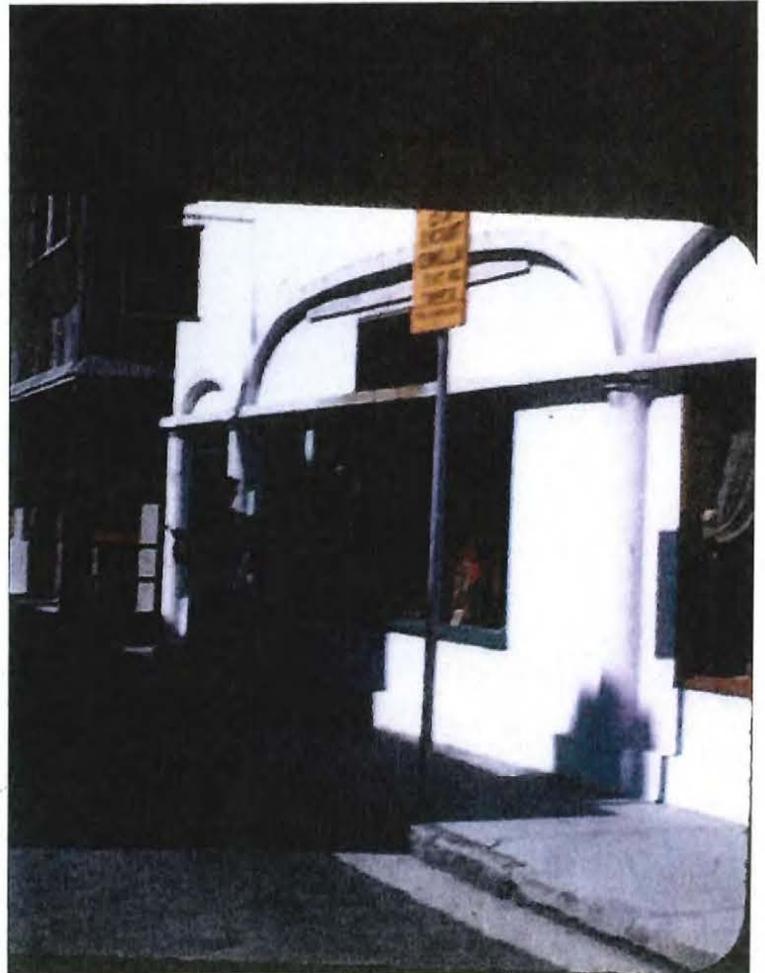
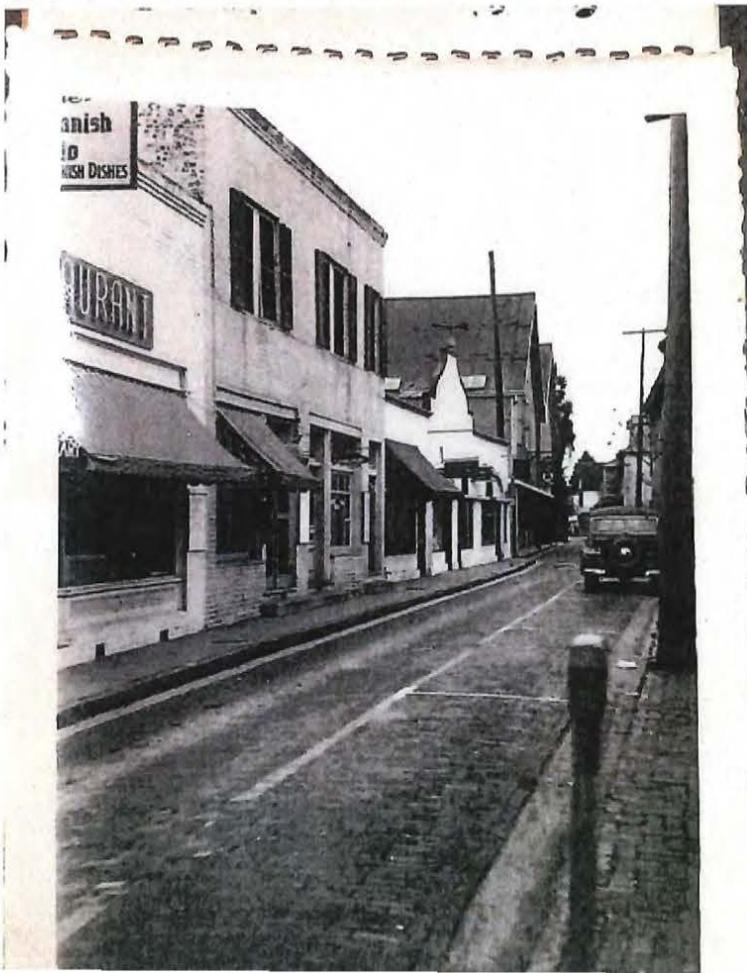
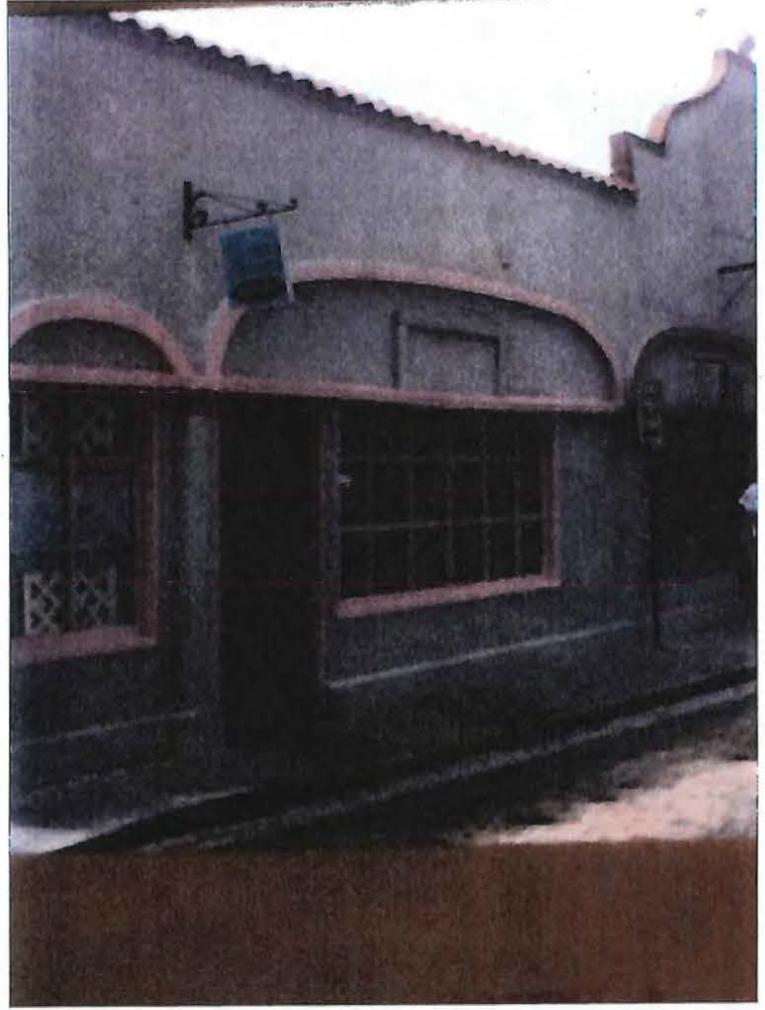
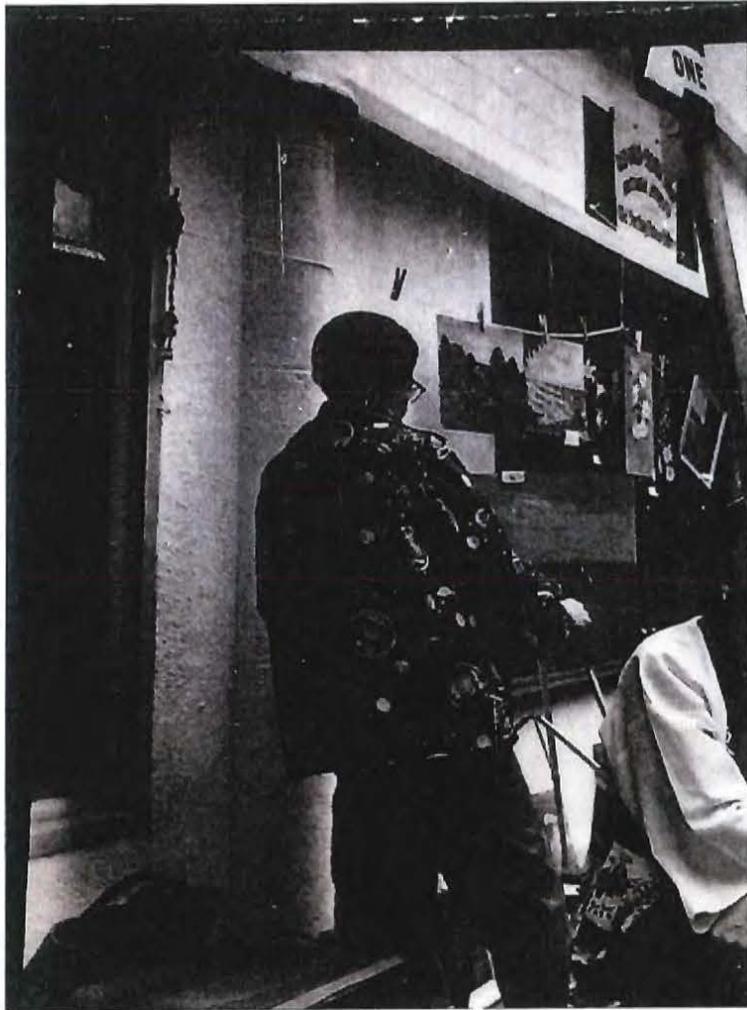
Parcel Location - SJ00219
City of St. Augustine
Historic Structure Survey
 St. Johns County, Florida

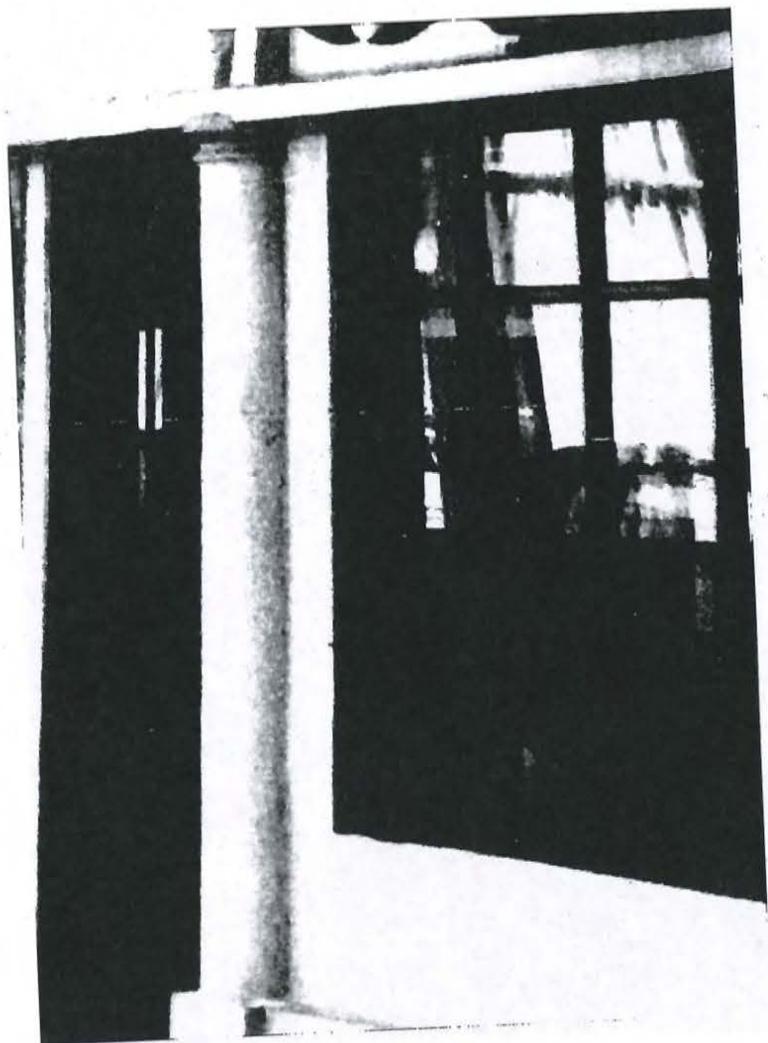
Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD











**CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION**



OPINION **CERTIFICATE OF APPROPRIATENESS**

\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
<u>\$100.00</u>	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0109

Receipt No. 1408929
Advertising Costs \$ _____

Paid on _____ Meeting Date: August 16, 2018
Receipt No. _____

1. NAME OF APPLICANT RED MOON PROPERTIES, LLC
 Business (if applicable) N/A *Mail + email staff report + agenda
 Address 1093 AIA BEACH BLVD. #401 / redmoonflorida@gmail.com
 City ST. AUGUSTINE State FL Zip Code 32080
 Daytime telephone 904.990.3805 Other phone/email N/A
The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER RED MOON PROPERTIES, LLC
 Business (if applicable) N/A
 Address SAME ABOVE
 City _____ State _____ Zip Code _____
 Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS 9 AVILES ST.

4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel _____

5. EXISTING USE RETAIL PROPOSED USE RETAIL/CAFE

6. PROPOSED PROJECT WORK
- A. DEMOLITION (If historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) YES NO
 - B. REHABILITATION (check repair or replace and provide a description on the line provided) N/A

REPAIR	REPLACE	
<input type="checkbox"/>	<input type="checkbox"/>	Roof _____
<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) _____
<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony _____
<input type="checkbox"/>	<input type="checkbox"/>	Awning/Canopy _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior Doors _____
<input type="checkbox"/>	<input type="checkbox"/>	Windows _____
<input type="checkbox"/>	<input type="checkbox"/>	Shutters _____
<input type="checkbox"/>	<input type="checkbox"/>	Foundation (including infill) _____
<input type="checkbox"/>	<input type="checkbox"/>	Exterior lighting & other appurtenances _____
<input type="checkbox"/>	<input type="checkbox"/>	Existing fences, walls & gates _____
<input type="checkbox"/>	<input type="checkbox"/>	Existing parking, walkways & other site features _____

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JUL 20 2018
Planning / Building Dept.

RECEIVED

JUL 20 2018

Planning / Building Dept.

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building _____
- New addition _____
- New roof structures (dormers, chimneys, etc.) _____
- New porch/deck/balcony _____
- New awning/canopy _____
- New entrances _____
- New window opening/sashes _____
- New exterior lighting _____
- New fence/wall/gate _____
- New parking/walkways/other site features _____
- Exterior utility service/mechanical equipment _____

D. PAINT COLORS (check one)

- Scheme with pre-approved paint colors (exterior colors available upon request)
- Custom color scheme (provide color samples & building elevations showing color placement)
- No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

RECONSTRUCTION OF EXISTING 1911 MISSION STYLE SINGLE STORY BUILDING. AS APPROVED WITH COMMENTS IN OPINION OF APPROPRIATENESS. SEE GRAPHICS PACKAGE ATTACHED.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME RED MOON PROPERTIES LLC
 SIGNATURE OF APPLICANT [Signature] DATE 7/20/2018
 PRINT OWNER'S NAME RED MOON PROPERTIES LLC
 SIGNATURE OF OWNER [Signature] DATE 7/20/2018

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Planning/Building

July 24, 2018

Red Moon Properties LLC
1093 A1A Beach Blvd #401
St. Augustine, Florida 32080

RE: Project Street Address 9 Aviles Street

To whom it may concern:

Please accept this letter as acknowledgement of your application to the Historic Architectural Review Board meeting scheduled for August 16, 2018. The meeting is scheduled to begin at 1:00 in the Alcazar Room at 75 King Street.

Additionally, this letter notifies you of the sufficiency of your application. Your application is deemed substantially complete.

Additional materials will be accepted in the Planning and Building Department only up to 10 days before the meeting as per Resolution 2010-09. After that, the HARB has the discretion whether or not to consider any other additional materials presented at the meeting and your application may be continued because of its incomplete status, if applicable.

I look forward to reviewing your application in more detail. A copy of the staff report will be mailed to you at the address provided on the application and if you do not receive it before the week of the meeting please contact our department to obtain a copy.

Sincerely,

Kelli Mitchell

Historic Preservation Planner

IMPORTANT NOTICE: Now that the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the code. Costs associated with legal notice will be assessed by the city and must be paid prior to the issuance of any development permit. Costs associated for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing will also be assessed to the applicant.



**ATLANTIC
ENGINEERING
SERVICES**

6501 Arlington Expy
Building B, Suite 201
Jacksonville, FL 32211
PH: 904.743.4633
FX: 904.725.9295
jax@aespi.com
www.aespi.com

July 6, 2018

Mr. John Regan
City Manager
City of St. Augustine
75 King Street
St. Augustine, FL 32084

RECEIVED
JUL 24 2018
Planning/Building Dept.

Re: 9 Aviles Street Structural Evaluation

AES Project: #318-225

Dear Mr. Regan:

Per your request, Atlantic Engineering Services of Jacksonville, Florida (AES) visited the existing building at 9 Aviles Street to review the structural integrity of the building. Present at the site was Ms. Nancy Shaver, Mayor; Mr. John Regan, City Manager; Mr. David Birchim, Building Official; Mr. Richard Shauland, Building Official; and Mr. Jude Kostage, AES.

The existing building is a one-story wood framed building with a stucco veneer and a hipped roof, framed with wood trusses and wood rafters. There is a parapet on three sides of the building and on the north face, the building abuts a two-story building. It is assumed the building is supported on shallow foundations.

The following was observed:

- a. The west wall facing Aviles Street has visibly buckled several inches towards the street. The wall framing has been modified in previous renovations which has weakened the wall. Furthermore, the beam at the top of the wall is severely deteriorated and has rolled causing the wall to buckle. This wall supports the roof structure and no longer has the structural integrity to support the applied roof loads.
- b. The south and east walls also have significant deterioration and have a noticeable buckle at the bearing elevation of the roof.
- c. The stucco cladding was applied directly over the stud wall framing without sheathing or waterproofing to protect the wood structure, causing the wood framing to deteriorate.
- d. The parapet around the building traps water on the roof to drain through a box gutter. It is likely this gutter has been leaking and is also causing the framing to deteriorate.
- e. The north wall directly abuts the adjacent building and is in fair condition. However, this wall should be a fire-rated wall separating the two buildings and it currently is not a rated wall.
- f. The roof framing is in fair condition with some of the rafter and truss ends visibly deteriorated and in need of repair.

Based on our observations, the building is unstable and is in imminent danger of collapse. We recommend that Aviles Street in front the building remain closed until the building is stabilized or demolished. The west, east and south walls need to be completely replaced and the existing foundations supporting these walls need to be investigated to determine the condition of these foundations. The only structural element of the building that can be saved is the roof framing. However, it would require extensive shoring to support and stabilize the roof to replace the walls. Furthermore, the roof will require structural repairs and likely additional reinforcement to comply with current codes.



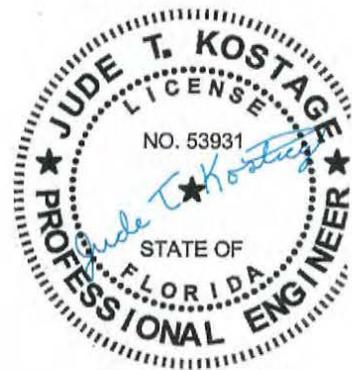
In summary, the building at 9 Aviles street is in extremely poor condition and is in imminent danger of collapse. The load bearing walls require replacement and the roof structure requires repairs. Based on the condition of the building and extent of the required shoring to stabilize the structure, it is our opinion that it would not be economically feasible to salvage the roof structure and unfortunately the building should be demolished to protect life and property. Aviles Street should remain closed until the building is stabilized or demolished.

Please contact our office if there are any questions regarding this correspondence, or if you need any additional information or assistance.

Very truly yours,
ATLANTIC ENGINEERING SERVICES OF JACKSONVILLE
FLORIDA CERTIFICATE OF AUTHORIZATION #791

Jude T. Kostage, P.E.
Senior Associate

JTK/LNI/MJK



7/06/18

RECEIVED
JUL 24 2018
Planning/Building Dept

HERSCHEL E. SHEPARD 1661 BEACH AVENUE ATLANTIC BEACH, FLORIDA 32233 904-249-9040

July 6, 2018

Mr. John P. Regan, City Manager
P.O. Box 210
St. Augustine, FL 32085-0210

RE: Structure at 9 Aviles Street

Dear John:

Thanks again to you and Commissioner Nancy Sikes-Kline for the opportunity to examine the historic structure at 9 Aviles Street with you this morning. I am pleased to offer the following observations.

In short, I agree with the conclusions of the structural engineers who have examined the building and recommend its demolition. In addition, I agree that Aviles Street can be opened to the public during demolition if special precautions are taken as noted below.

Although this 1911 building is a contributing structure to the National Register Historic District and preserves certain materials and construction methods of the early 20th century, numerous alterations over the years have removed most evidence of its original and early use. The surviving wall framing and stucco finishes are severely deteriorated and do not warrant restoration. Thus, in my opinion the building should be demolished and replaced with a structure compatible with the historic district, certain items representing the materials and construction methods of original construction should be salvaged as noted below, and most importantly, this very important archaeological site should be thoroughly investigated.

Special precautions must be taken to provide lateral stability for the existing walls and roof during all stages of demolition. In addition, all roof framing that bears upon the west wall of the building should be separately shored and braced as recommended by structural engineers. All stages of demolition should provide as much safe public access to Aviles Street as possible. During demolition, items that should be salvaged for archival use include the terra-cotta (?) columns and bell in the west wall and the terra-cotta roof tiles on the parapets.

This site is in Archaeological Zone I-B which contains "historic resources from the 16th through the 20th centuries, specifically including the earliest areas of the downtown portion of the city." For this reason the site should be thoroughly investigated by the City Archaeologist. In preparing the site for archaeological investigation the demolition contractor should remove the existing concrete floor slab throughout the building and take care not to excavate below the bottom of the slab. Note that there is evidence that the existing slab was poured over an earlier slab; all must be removed.

In concluding, it is important to document the existing structure with photographs before demolition commences as required by the demolition ordinance and permit. The roof trusses and hipped rafters are of particular interest.

Sincerely yours,

Herschel E. Shepard
Herschel E. Shepard, FAIA Emeritus
Professor Emeritus, UF School of Architecture

Cy: Commissioner Sikes-Kline; Jennifer Wolfe HPO

RECEIVED
JUL 24 2018
PLANNING DEPARTMENT



Land Development-Permitting-Utilities

1928 River Lagoon Trace -- St. Augustine, Florida -- 32092

April 10, 2018

To: Historical Preservation Committee
Attn: Jenny Wolfe

Reference: Structural Integrity of the building at 9 Aviles Street

Mrs. Wolfe

RGM Engineers, Inc. has performed another inspection of the above referenced address. At the time of this inspection there had been some demolition within the structure. The wood studs and exterior walls are all exposed now from the inside to allow a more thorough inspection of the structural members.

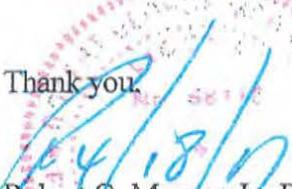
All of the main structural exterior walls are severely rotten and unstable. The roof of the structure has been previously attempted to be repaired. The roof repair consists of over spanned lumber that also contains severe wood rot.

This building is currently in an unsafe condition and should be secured from any entry. This structure could collapse at any time with any significant weather event or any more demolition. The wood contained in the structure is not serviceable or structurally sound and should be completely demolished.

Previous inspections provided by RGM Engineers include a structure at 48 Osceola in the historic district.

If I can be of any further assistance, please feel free to contact me at 904-814-7633.

Thank you.


Robert G. Morgen Jr. P.E.
#58118

RECEIVED
JUL 24 2018
Morning/Building Dept

Instr #2017087698 BK: 4483 PG: 35, Filed & Recorded: 12/28/2017 11:23 AM #Pgs:2
Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$18.50 Doc. D \$3,430.00

Prepared by and return to:
Stephen Difato, Esq.
Timeshare Title, LLC
308 Oakhaven Court
St. Augustine, FL 32092
File Number: 2017-40

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 27th day of December, 2017 between **Shawn D. Griffin and Gina M. Griffin**, husband and wife, of 555 Theodore Street, St. Augustine, FL 32084, "grantor", and **Red Moon Properties LLC, a Limited Liability Company**, of 6377 Putnam Street, St. Augustine, FL 32080, hereinafter referred to as "grantee" or "Purchaser":

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **St. Johns County, FL** to-wit:

For a Point of Beginning, commence at a point on the North line of Artillery Lane, 49 feet West of the Southeast corner of Block 28, of the City of St. Augustine, Florida, which Southeast corner of said Block 28 is 16 feet 7 inches West of the East line of Charlotte Street and which point of beginning is 61 feet 4 inches East of the East side of the Library Building on the West side of Aviles Street. From said Point of Beginning run thence Northerly 55 feet 3 inches to a point 46 feet 8 inches Westerly from the Northeast corner of Lot Three (3) of said Block 28, thence run Easterly 2 feet 6 inches to the East line of said Lot 2, of said Block 28, thence run Northerly along the East line of said Lot 2, 7 feet, more or less, to the South side of a brick wall, thence run Westerly along the South side of said brick wall to the East line of Aviles Street, thence run Southerly along the East line of Aviles Street 62 feet, more or less to the North line of Artillery Lane thence run Easterly along the North line of Artillery Lane 42 feet, more or less to the Point of Beginning.

Parcel Identification Number: 198930-0000

Subject to taxes for 2017, and subsequent years, and covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

Grantor, Shawn D. Griffin and Gina M. Griffin, warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it Grantor's spouse's homestead, nor is it contiguous to or a part of Grantor's homestead property. Grantor's residence and homestead address is: 555 Theodore Street, St. Augustine, FL 32084.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2016.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness

[Signature]
Print Name

[Signature]
Witness

[Signature]
Print Name

[Signature]
Shawn D. Griffin

[Signature]
Gina M. Griffin

State of Florida
County of St. Johns

The foregoing instrument was acknowledged before me this 22 day of December, 2017 by Shawn D. Griffin and Gina M. Griffin who is/are personally known or has/have produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
RED MOON PROPERTIES, LLC

Filing Information

Document Number L17000099745
FEI/EIN Number 82-1448533
Date Filed 05/04/2017
Effective Date 05/04/2017
State FL
Status ACTIVE

Principal Address

6348 COSTANERO ROAD
ST. AUGUSTINE, FL 32080

Mailing Address

1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Registered Agent Name & Address

BISHOP, HAROLD D
1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Authorized Person(s) Detail

Name & Address

Title AMBR

BISHOP, HAROLD D
1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Title AMBR

BISHOP, JENNIFER C
1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Annual Reports

Report Year	Filed Date
2018	06/28/2018

Document Images

[06/28/2018 -- ANNUAL REPORT](#) [View image in PDF format](#)

[05/04/2017 -- Florida Limited Liability](#) [View image in PDF format](#)



St. Johns County, FL

Quick Links

- My Tax Bill
- Tax Estimator
- Proposed Hx

TRIM Notice

- TRIM Notice

Summary

Parcel ID 1989300000
 Location Address 9 AVILES ST
 SAINT AUGUSTINE 32084-0000
 Neighborhood CITY COMM/HISTORICAL (610.03)
 Tax Description* CITY OF ST AUGUSTINE S62FT OF LOT 2 IN OR6/536 62FT ON AVILES ST X 42FT ON ARTILLERY LANE BLK 28 OR4483/35
 *The Description above is not to be used on legal documents.
 Property Use Code Stores (1100)
 Subdivision City of St Augustine
 Sec/Twp/Rng 18-7-30
 District City of St Augustine (District 452)
 Millage Rate 20.4933
 Acreage 0.060
 Homestead N

View Map

Owner

Owner Name Red Moon Properties LLC 100%
 Mailing Address 6377 PUTNAM ST
 SAINT AUGUSTINE, FL 32080-0000

Valuation

	2018
Building Value	\$174,575
Extra Features Value	\$0
Total Land Value	\$208,320
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$382,895
Total Deferred	\$0
Assessed Value	\$382,895
Total Exemptions	\$0
Taxable Value	\$382,895

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$78,910	\$0	\$208,320	\$0	\$0	\$287,230	\$155,590	\$131,640	\$155,590
2016	\$56,815	\$0	\$84,630	\$0	\$0	\$141,445	\$141,445	\$0	\$141,445
2015	\$56,815	\$0	\$84,630	\$0	\$0	\$141,445	\$141,445	\$0	\$141,445
2014	\$33,422	\$0	\$84,630	\$0	\$0	\$118,052	\$118,052	\$0	\$118,052
2013	\$33,422	\$0	\$84,630	\$0	\$0	\$118,052	\$118,052	\$0	\$118,052
2012	\$33,422	\$0	\$84,630	\$0	\$0	\$118,052	\$118,052	\$0	\$118,052
2011	\$33,422	\$0	\$93,744	\$0	\$0	\$127,166	\$127,166	\$0	\$127,166
2010	\$33,422	\$0	\$104,160	\$0	\$0	\$137,582	\$137,582	\$0	\$137,582

Building Information

Building 1	Roof Structure Gable Hip
Actual Area 2520	Roof Cover Composite Shingle
Conditioned Area 2520	Interior Flooring Carpet
Actual Year Built 1900	Interior Wall Drywall
Use Stores (Retail)	Heating Type Forced Air
Style 04	Heating Fuel

Class N Air Conditioning Window
 Exterior Wall Stucco Baths

Category	Type	Pct
Exterior Wall	Stucco	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	100%
Heating Type	Forced Air	100%
Air Conditioning	Window	100%
Frame	Wood Frame	100%
Plumbing	9 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Slab	100%
Floor System	Concrete Slab	100%
Condition	Good	100%
Insulation	4" Fiberglass	100%

Description	Conditioned Area	Actual Area
BASE AREA	2520	2520
Total SqFt	2520	2520

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Stores	62	42	2604	SF	\$208,320

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
12/28/2017	12/27/2017	\$490,000.00	WD	4483	35	Q	I	GRIFFIN SHAWN D,GINA M	RED MOON PROPERTIES LLC
12/15/2014	12/11/2014	\$0.00	WD	3964	1300	U	I	BURKE RUTH E INDIV & TRSTEE	GRIFFIN SHAWN D,GINA M
10/14/2010	10/6/2010	\$100.00	WD	3365	680	U	I	BURKE BILLY LEE,RUTH E	BURKE FAMILY TRUST
7/15/1974	7/15/1974	\$0.00	WD	258	319	U	I	HYDEN EDNA N	BURKE B L,RUTH ELIZABETH

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

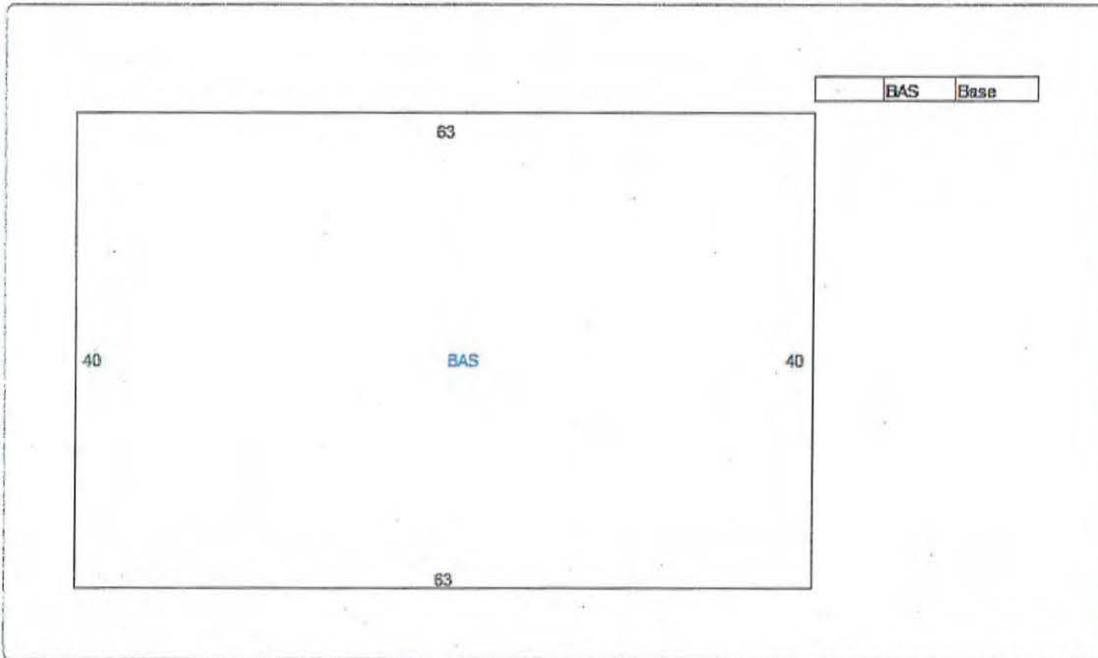
Tax Estimator

[Tax Estimator](#)

Map



Sketches



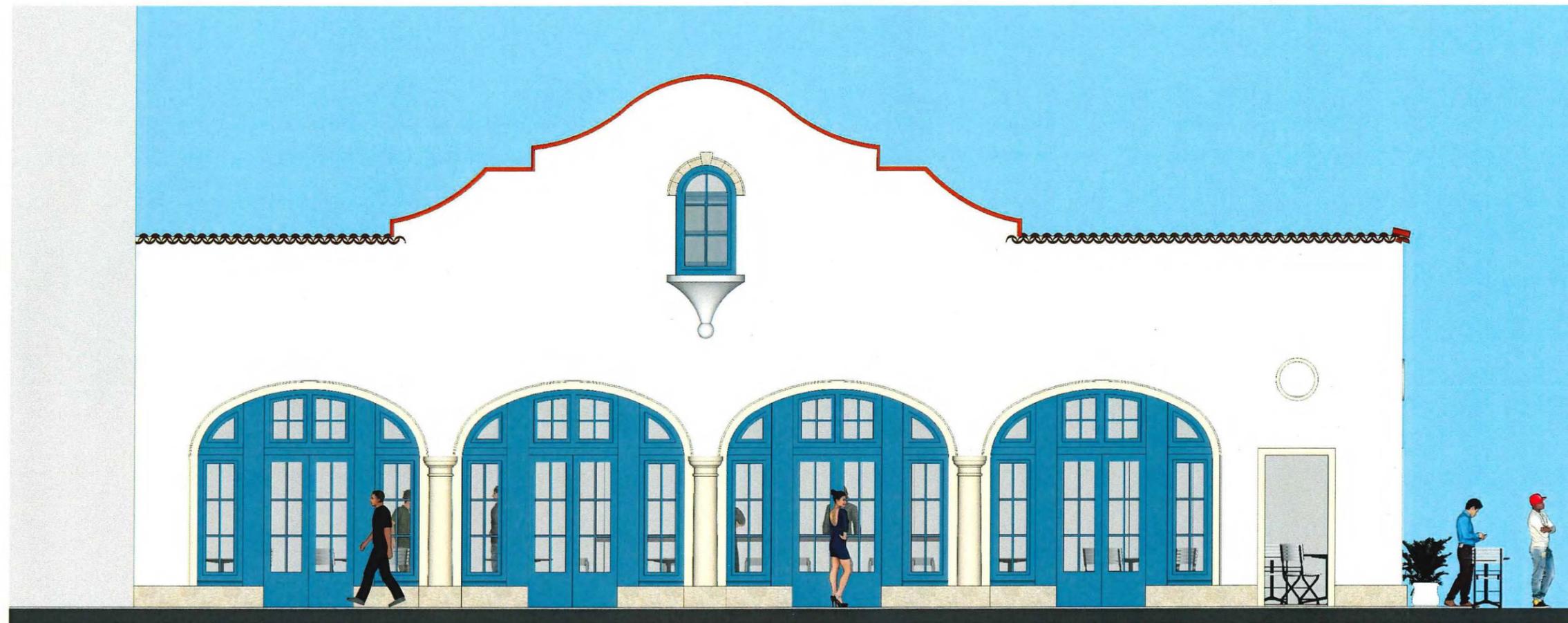
No data available for the following modules: Exemptions, Extra Features.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 7/24/2018, 3:35:11 AM

CAFÉ AVILES

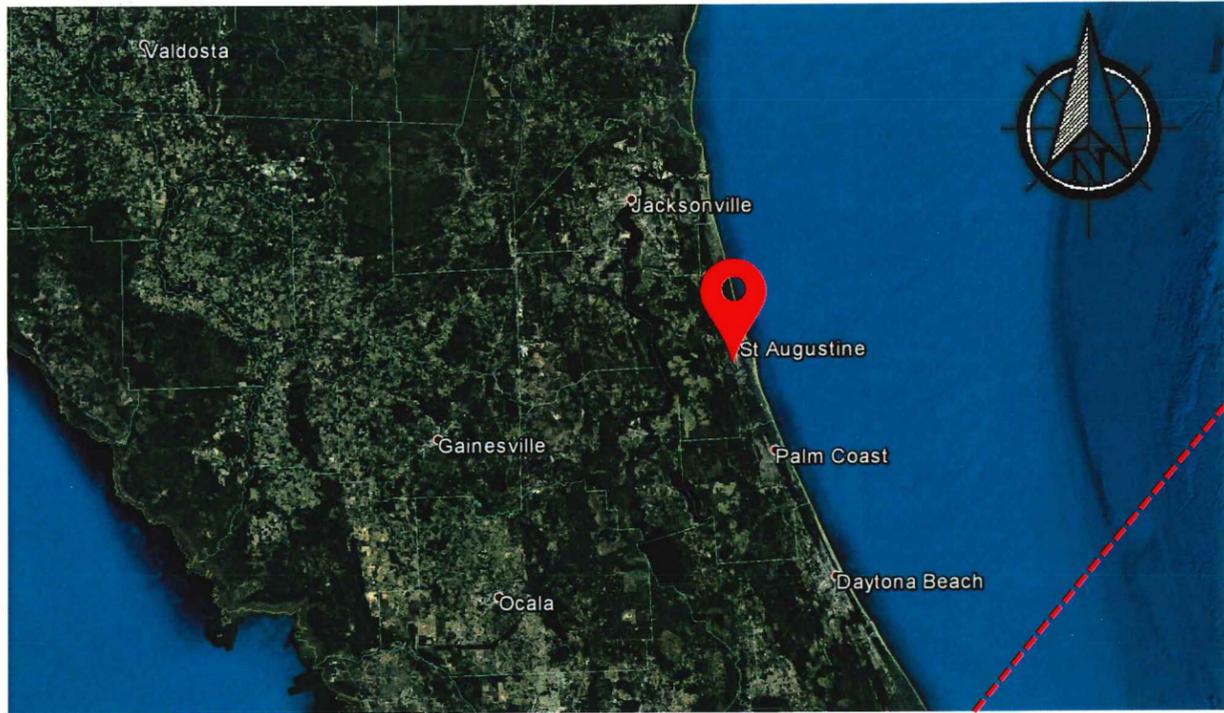
9 AVILES ST. SAINT AUGUSTINE, FL 32084



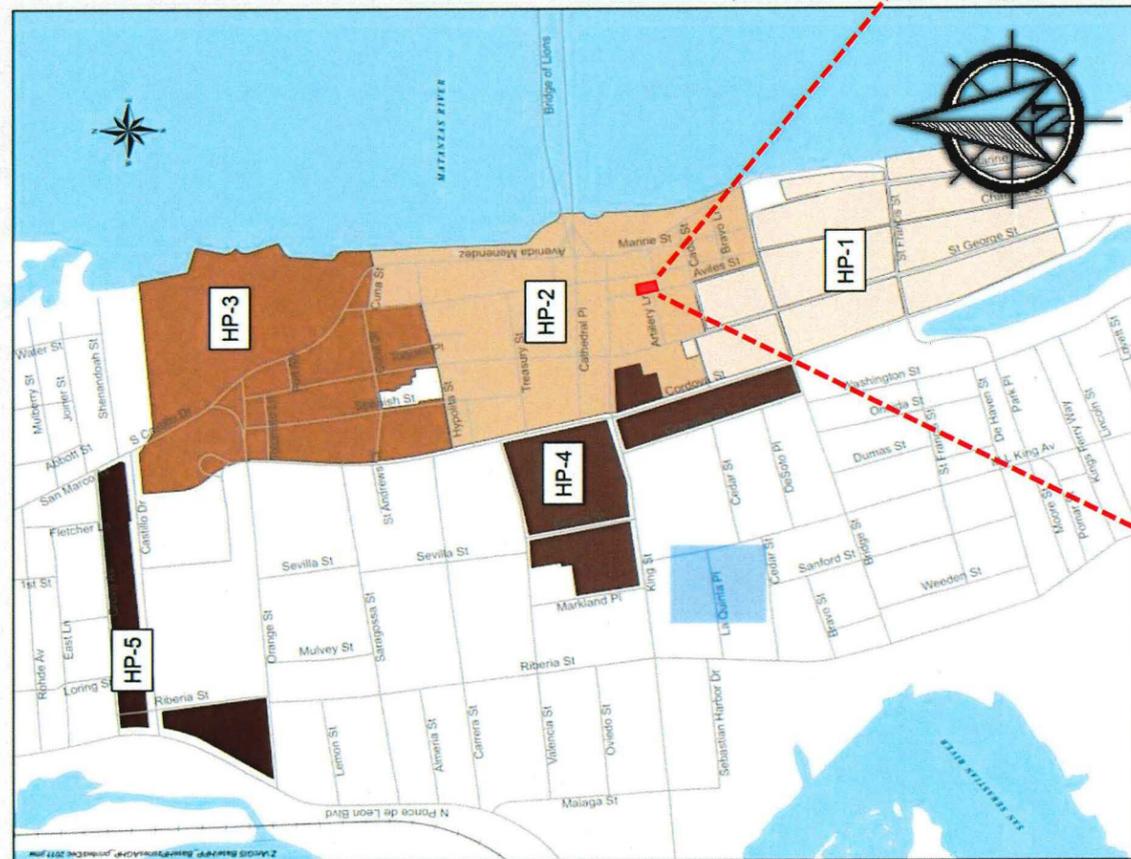
CERTIFICATE OF APPROPRIATENESS

AUGUST 16, 2018

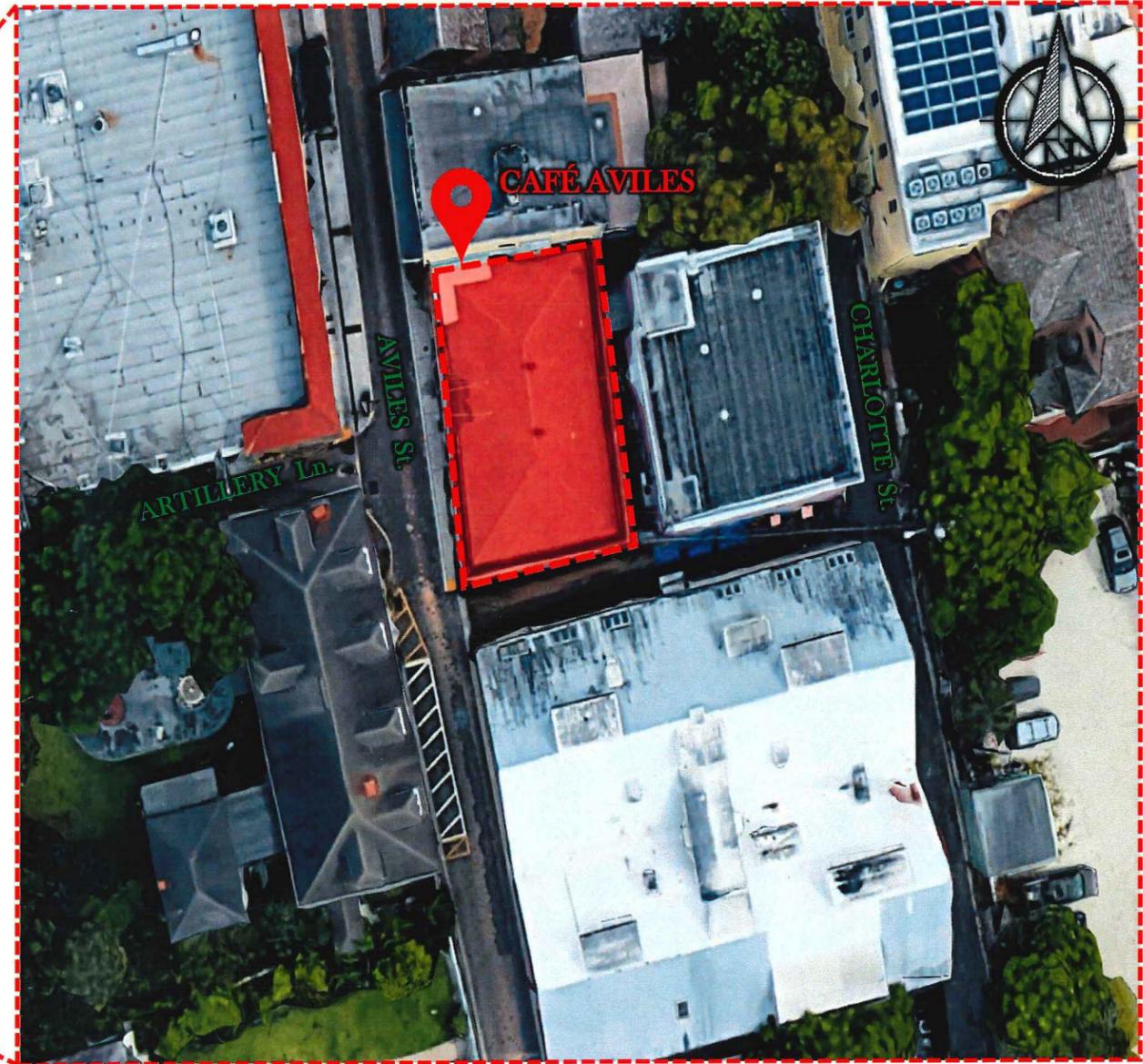
CRONK DUCH
ARCHITECTURE



LOCATION MAP



St. Augustine Historic Preservation Zones

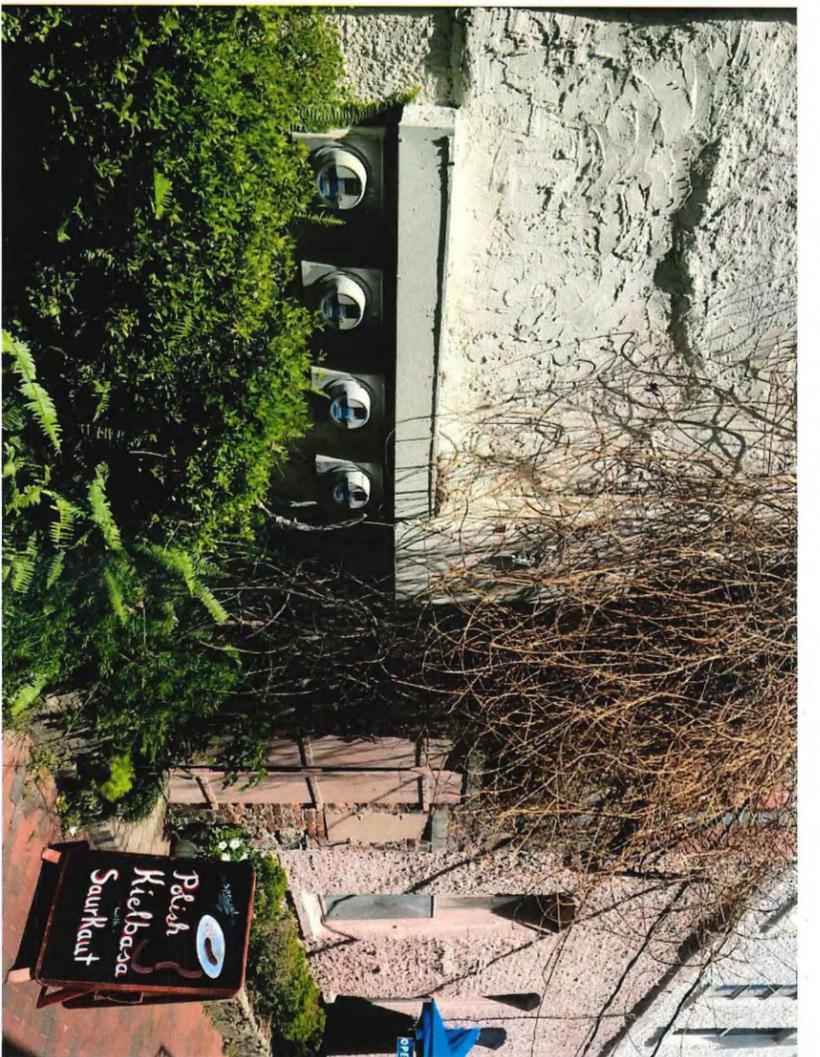


9 AVILES ST
ST. AUGUSTINE, FL 32084

ST. AUGUSTINE HISTORIC PRESERVATION ZONES

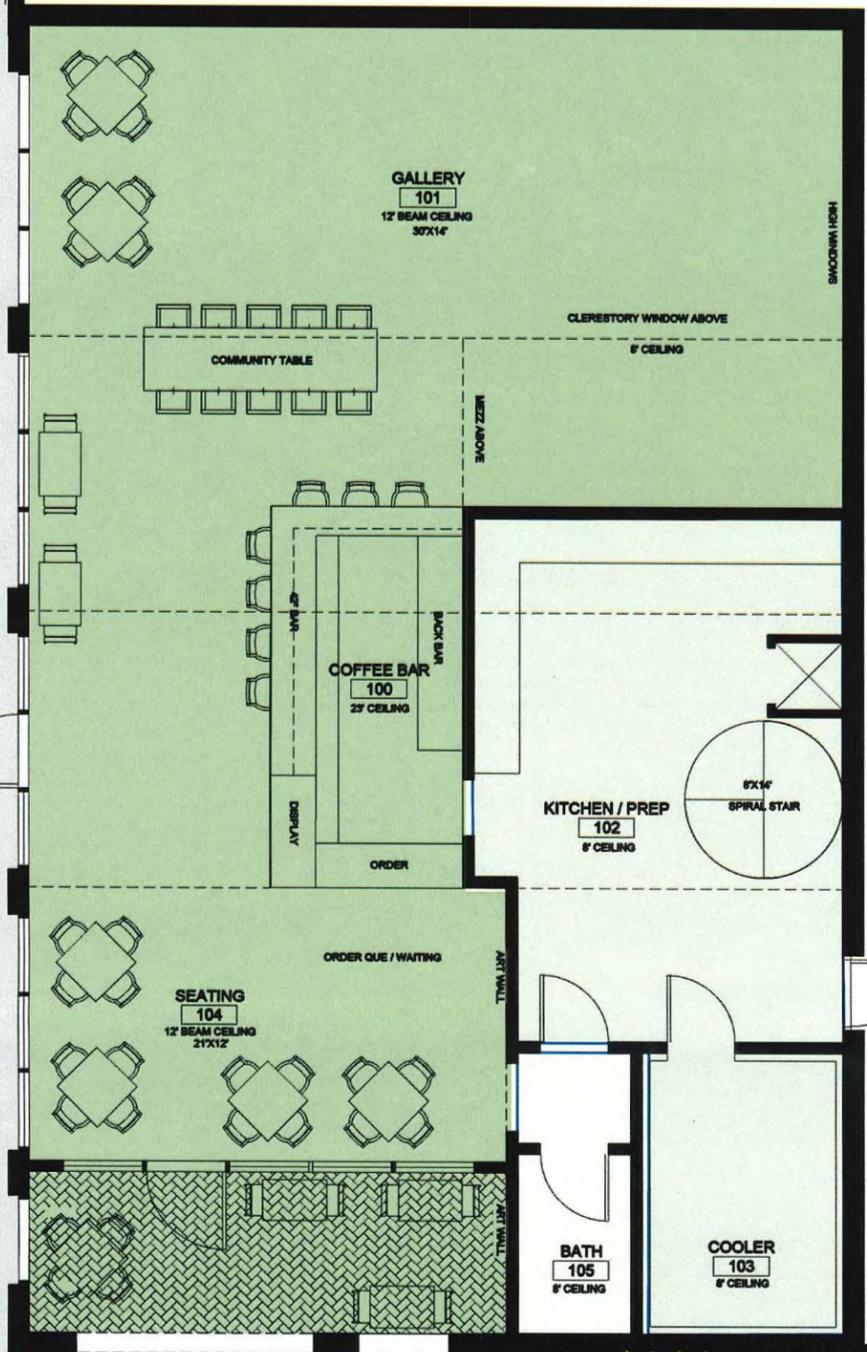


EXISTING BUILDING. CHARACTER



EXISTING BUILDING. CHARACTER

EXISTING BUILDING



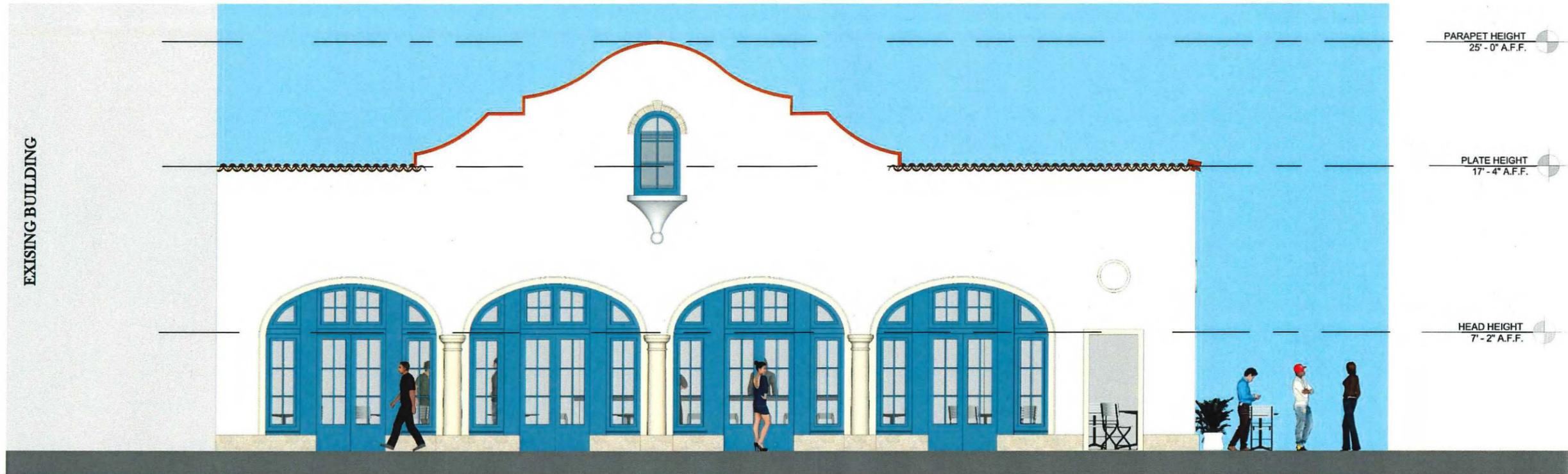
EXISTING BUILDING

EXISTING BUILDING

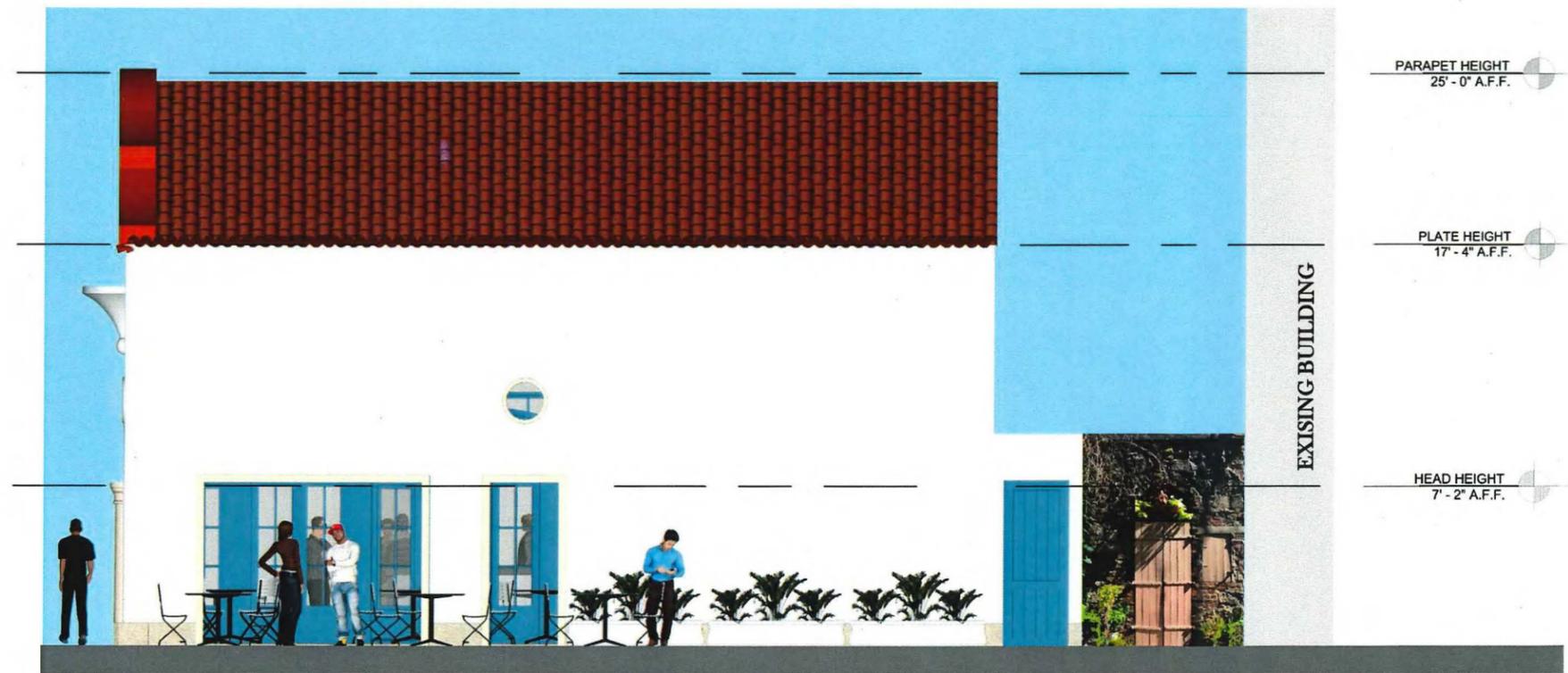
AVILES ST

PROPOSED FLOOR PLAN

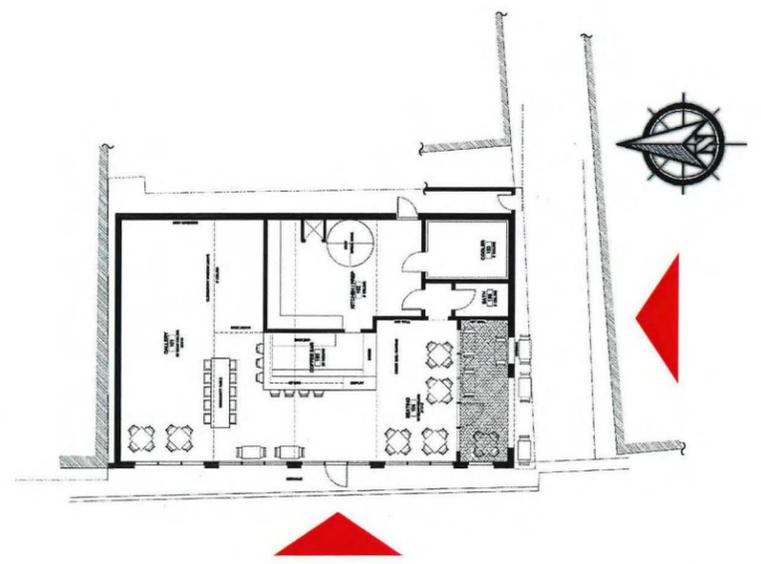




PROPOSED WEST ELEVATION



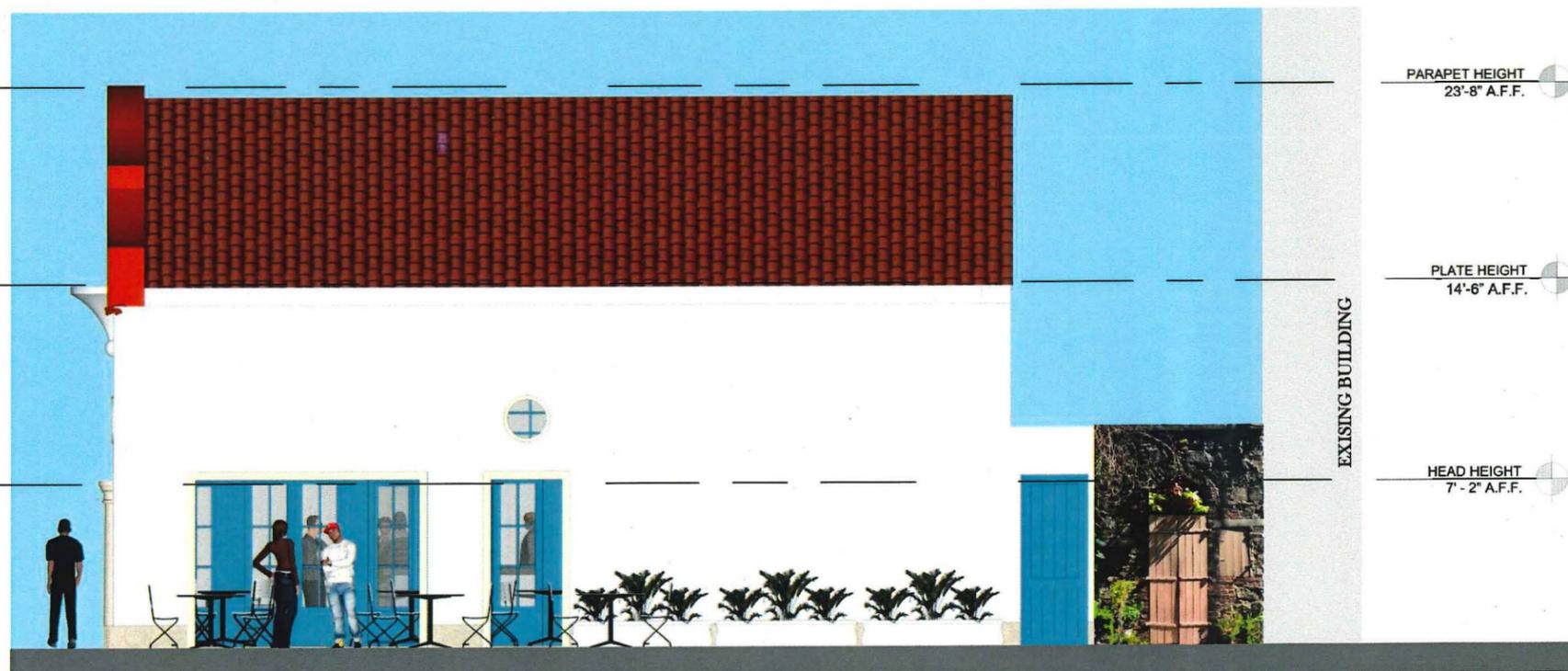
PROPOSED SOUTH ELEVATION



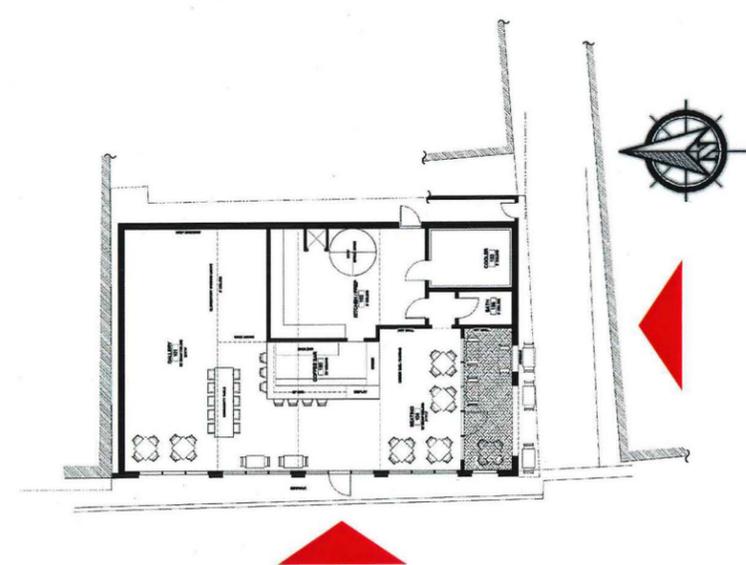
CRONK DUCH
ARCHITECTURE



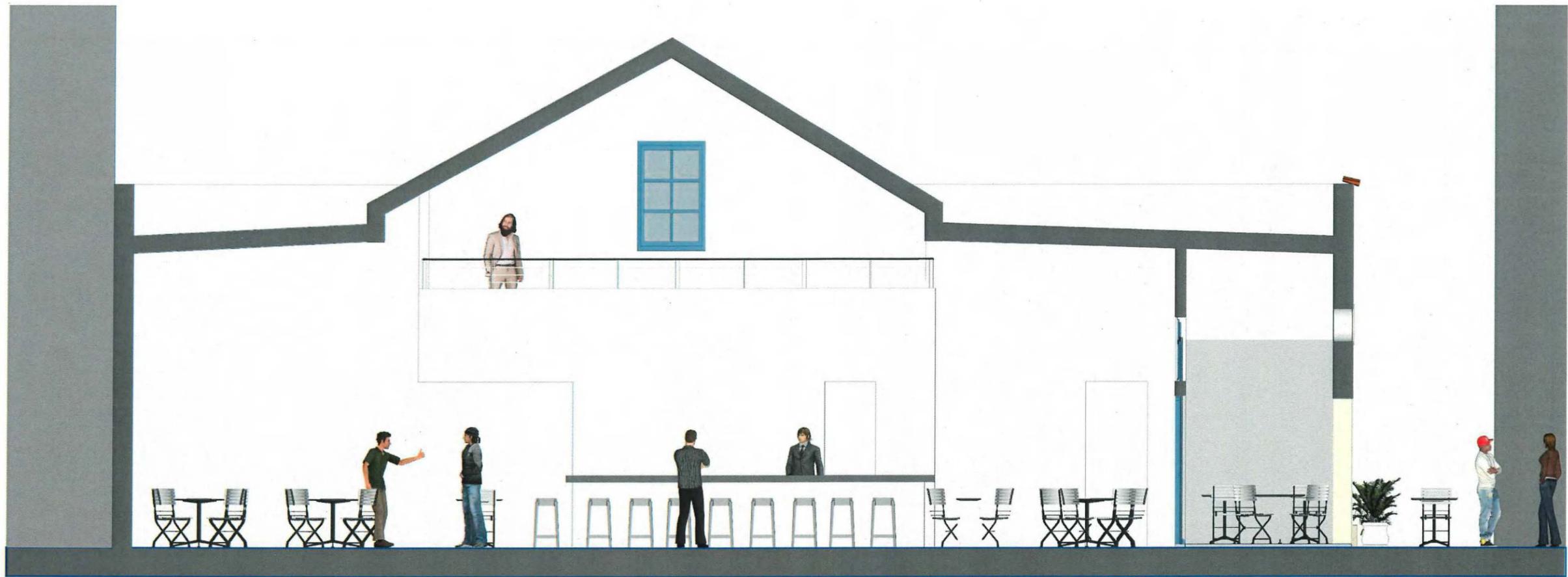
ALTERNATE WEST ELEVATION



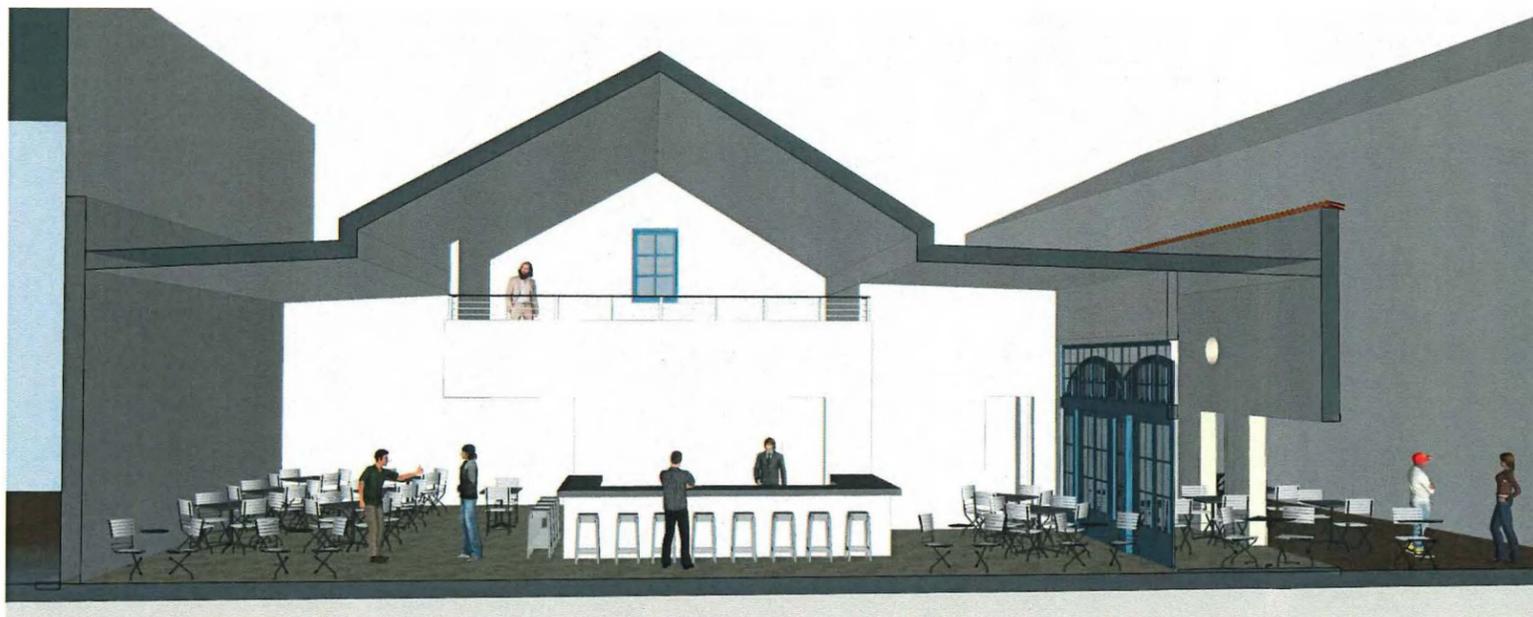
ALTERNATE SOUTH ELEVATION



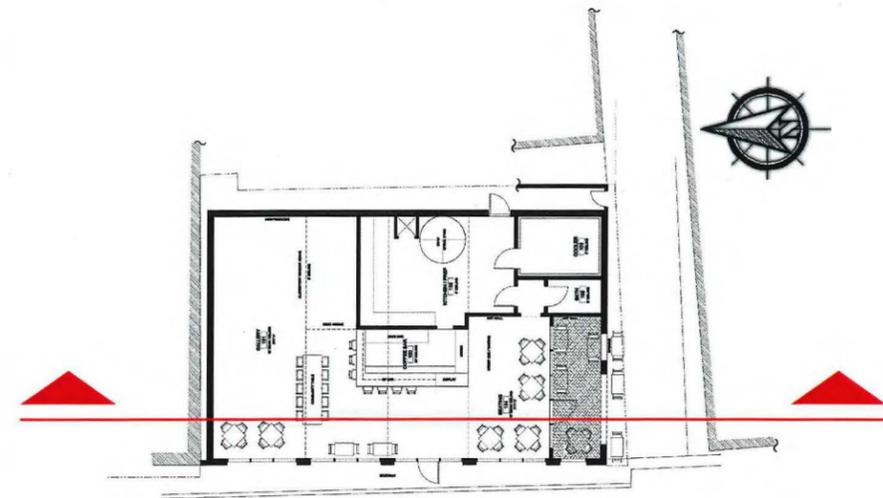
CRONK DUCH
 ARCHITECTURE

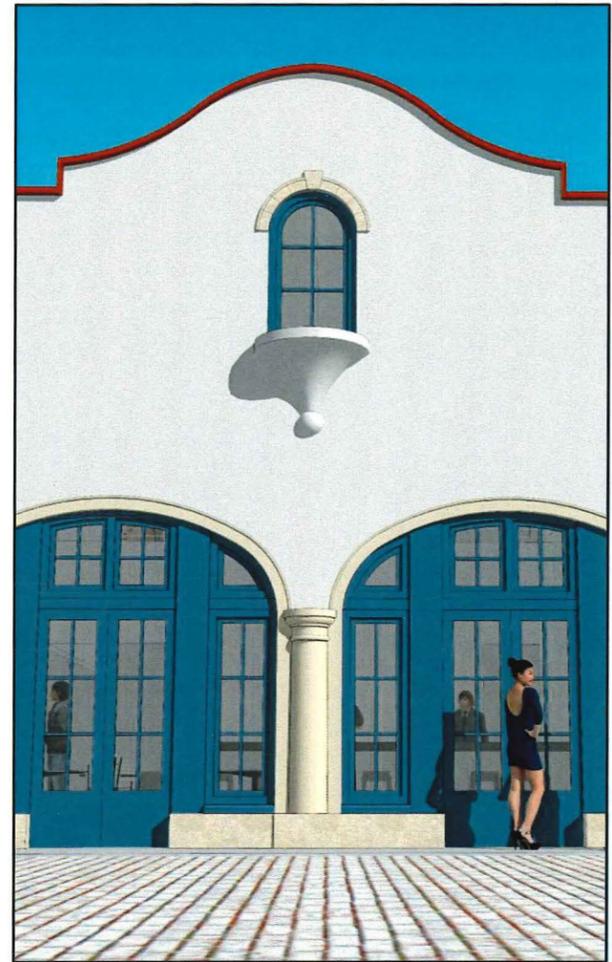


BUILDING SECTION



BUILDING SECTION ISOMETRIC





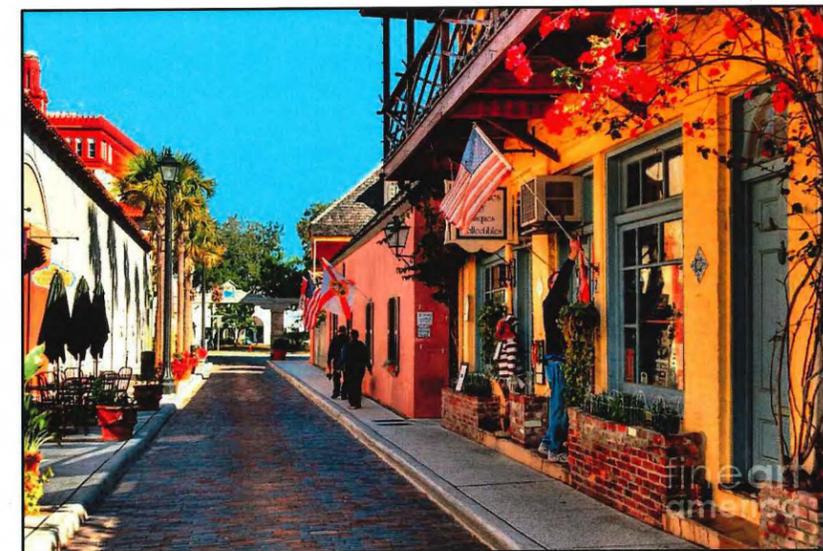
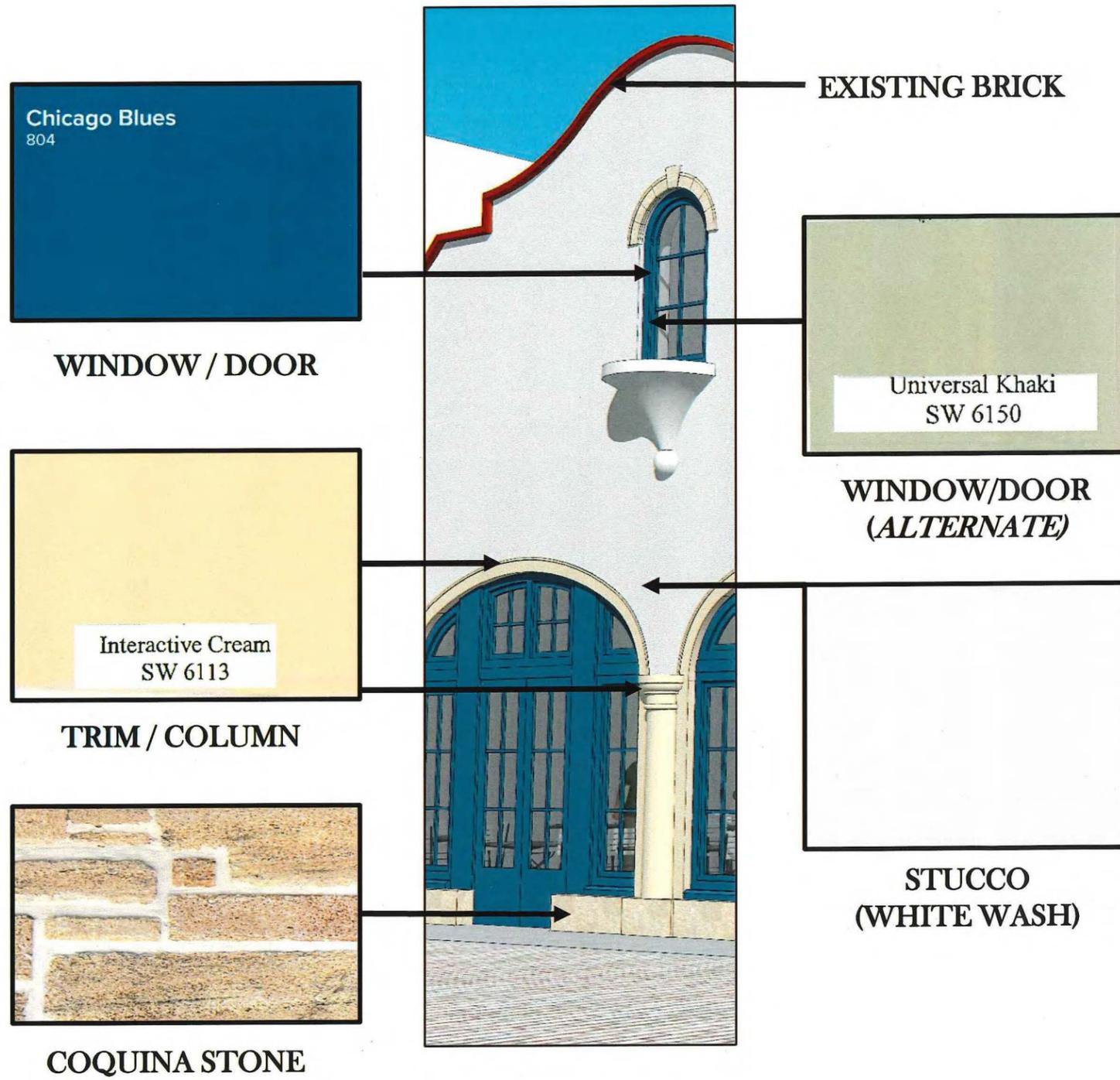
ISOMETRIC RENDERINGS



CRONK DUCH
ARCHITECTURE

PROPOSED COLORS

SAMPLES ST. AUGUSTINE



PROPOSED WINDOWS

- MANUFACTURED BY KOLBE WINDOWS
- FIXED CASEMENTS

HERITAGE SERIES | CASEMENTS

Heritage Series

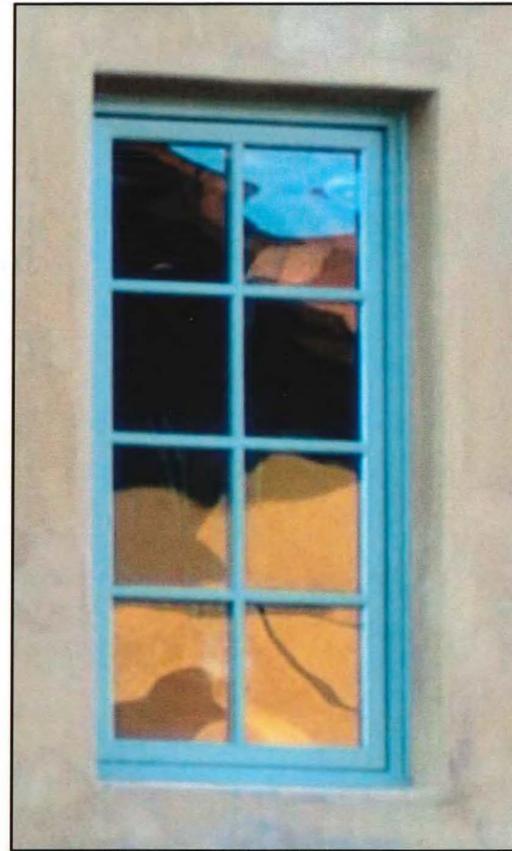
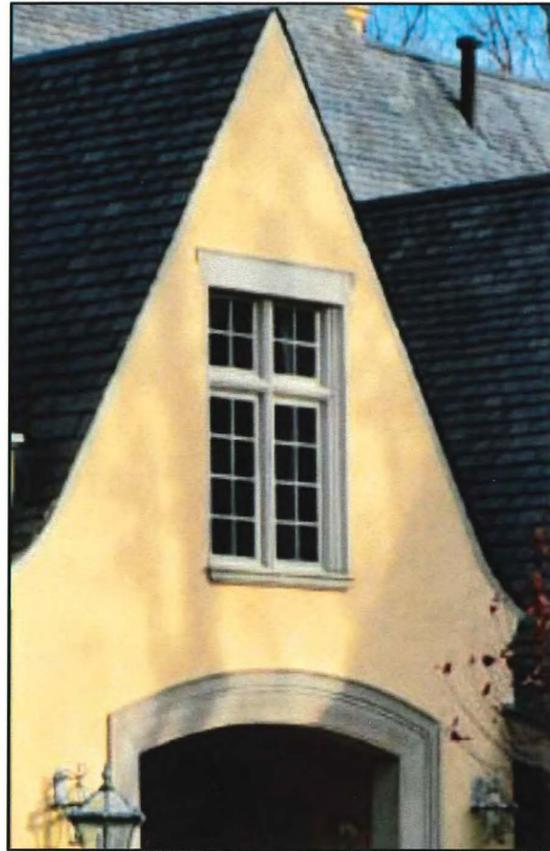
Crank-Out Casements

Swing out at the side to provide fresh air; French units, bows, 30, 45 and 90-degree bays, radius-top shapes, and combined units available

ENERGY STAR® qualified, with U-values as low as 0.23

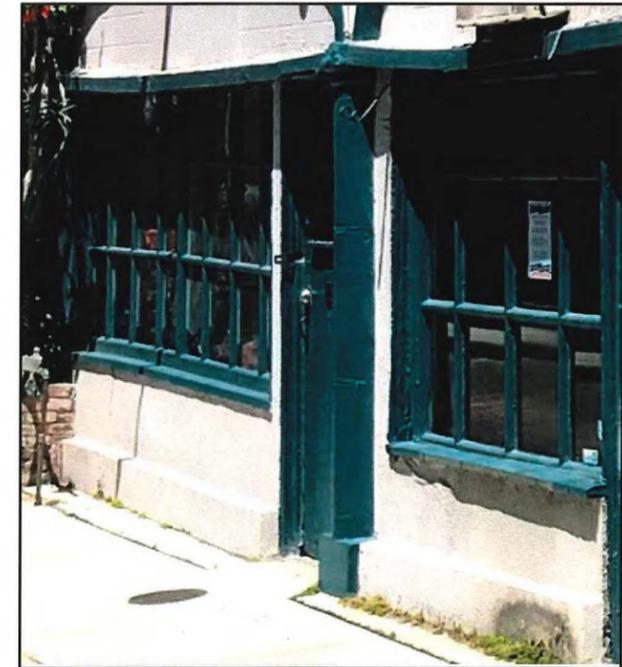
Proven structural strength, up to PG65 with high performance modifications

Impact units for hurricane-prone coastal areas meet IPD4



EXISTING WINDOWS

- SASHES TO BE REUSED AS INTERIOR
- TRANSOMS AND SCREENS



PROPOSED DOORS

- MANUFACTURED BY KOLBE DOORS
- WOOD FABRICATION

HERITAGE SERIES | ENTRANCE DOORS

Heritage Series Entrance Doors

Simple, inswing or outswing passage to the outdoors; create a stunning entrance with architectural details and a warm, welcoming wood interior

ENERGY STAR® qualified, with U-values as low as 0.20 on inswing doors and 0.25 on outswing doors; Structural strength up to PG65 on outswing doors

Impact units for hurricane-prone coastal areas meet IPD4 on outswing doors

Ask about custom entrance doors with pivoting operation



EXISTING DOORS



CRONK DUCH
ARCHITECTURE

ROOF TILES

PROPOSED ROOF TILES



- Home
- About Us
- Products
- Green Tiles
- Technical
- News
- Contact Us
- FAQs
- Links

The Masters in Clay

Home > Tile profiles

Clay Roofing Tiles

Tile Profiles | Color Selection | Green Tiles | Blends | Roof Accessories | Other Products

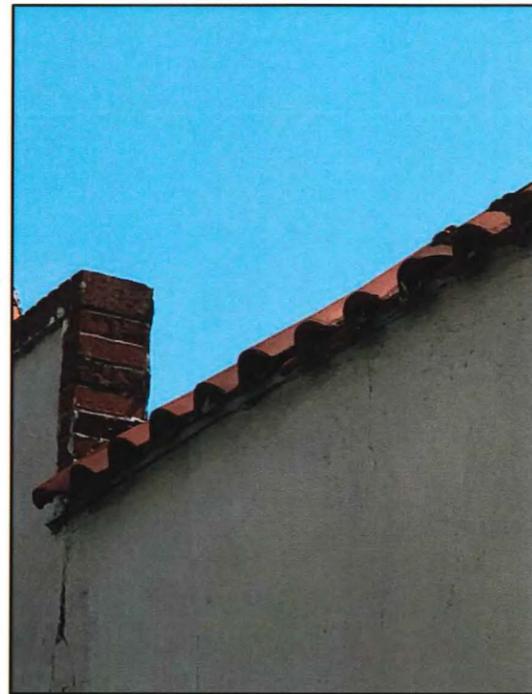
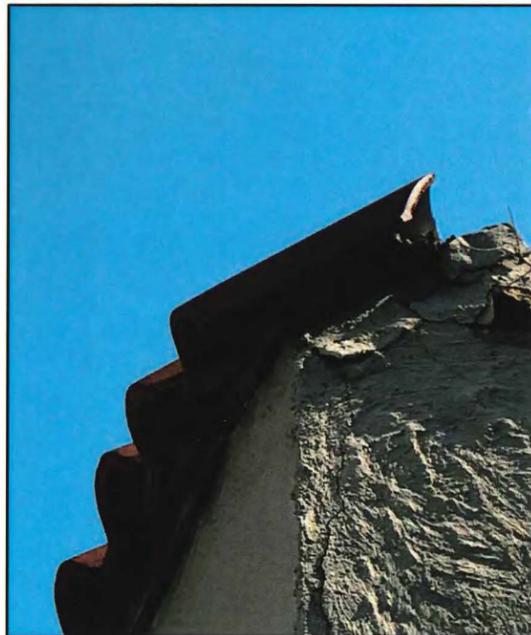
Spanish

Length: 18" | Height: 3" | Pieces/Sq.: 96

Width: 11" | Weight: 6.7 lbs. | Pieces/Pallet: 600

[See all colors available](#)

EXISTING ROOF TILES



STUCCO

TO BE 7/8" THICK TRADITIONAL 3 COAT SMOOTH STUCCO



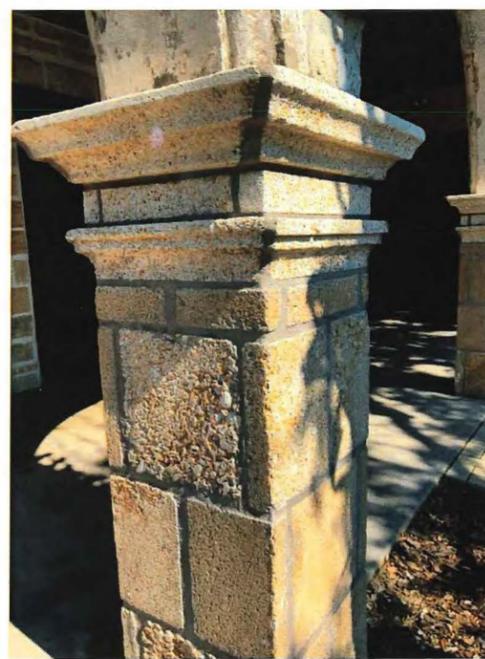
BRICK

- TO BE REUSED & REPOINTED
- MATCH EXISTING MORTAR SPEC.



COQUINA

- LOCALLY QUARRIED
- SMOOTH FACE



DOOR HARDWARE

- MFG: ROCKY MOUNTIAN HARDWARE
- BRONZE DARK LUSTER



THE ST. AUGUSTINE RECORD
Affidavit of Publication

CITY OF ST AUGUSTINE
PO BOX 210

SAINT AUGUSTINE, FL 32085

ACCT: 15560
AD# 0003073309-01

PO#

PUBLISHED EVERY MORNING SUNDAY THROUGH SATURDAY
ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF ST. JOHNS

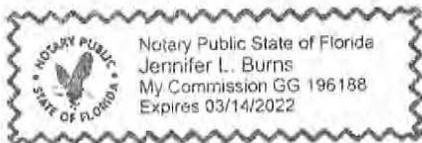
Before the undersigned authority personally appeared JAMIE WILLIAMS who on oath says he/she is an Employee of the St. Augustine Record, a daily newspaper published at St. Augustine in St. Johns County, Florida; that the attached copy of advertisement being a **NOTICE OF HEARING** in the matter of **HARB 9 AVILES STREET** was published in said newspaper on **08/06/2018**.

Affiant further says that the St. Augustine Record is a newspaper published at St. Augustine, in St. Johns County, Florida, and that the said newspaper heretofore has been continuously published in said St. Johns County, Florida each day and has been entered as second class mail matter at the post office in the City of St. Augustine, in said St. Johns County, Florida for a period of one year preceding the first publication of the attached copy of advertisement; and affiant further says the he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing this advertisement for publication in said newspaper.

Sworn to and subscribed before me this ____ day of **AUG 06 2018**

by *Samuel Williams* who is personally known to me or who has produced as identification

Jennifer L. Burns
(Signature of Notary Public)



NOTICE OF PUBLIC HEARING

Notice is hereby given of a public hearing by the Historic Architectural Review Board to be held at 1:00 PM, Thursday, August 16, 2018, in The Alcazar Room at City Hall, St. Augustine, Florida, at which time comments are invited on the following:

CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A REPLACEMENT BUILDING BASED ON THE MISSION REVIVAL CHARACTER OF THE HISTORIC BUILDING THAT WAS DEMOLISHED AND A PREVIOUS OPINION OF APPROPRIATENESS; CITY OF ST AUGUSTINE S62FT OF LOT 2 IN OR6/536 62FT ON AVILES ST X 42FT ON ARTILLERY LANE BLK 28 OR4483/35; also known as 9 Aviler Street.

APPLICANT'S NAME: Red Moon Properties LLC
SUBMITTED BY CITY CLERK'S OFFICE

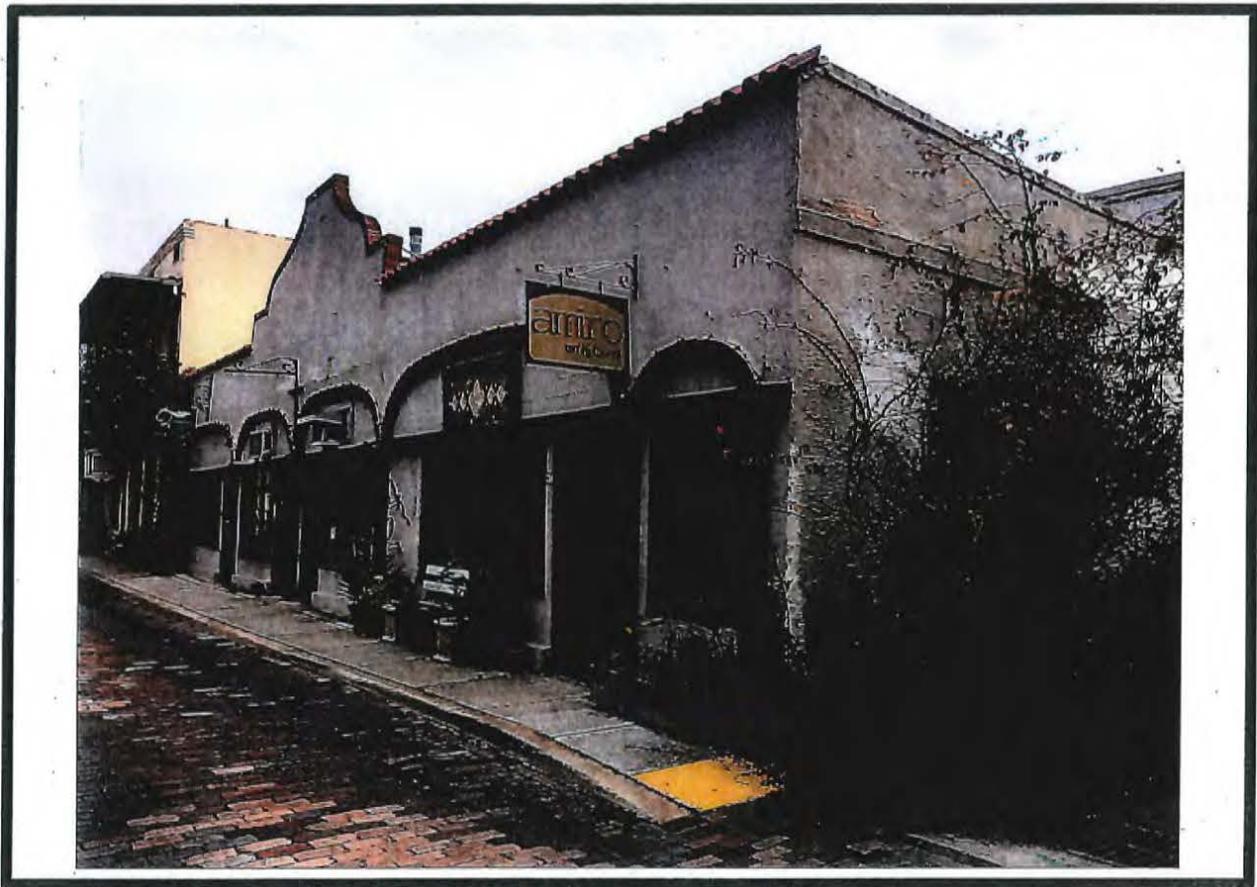
0003073309 August 6, 2018





CITY OF
ST. AUGUSTINE.
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for August 16, 2018 Meeting



Application F2018-0110

Address: 9 Aviles Street

Red Mood Properties, LLC, Applicant and Owner

Project description: To demolish a building constructed in 1911 that is listed in the Florida Master Site File and is a contributing to the St. Augustine Historic District. (After the Fact)

Architectural Style:	Mission Revival	Florida Master Site File:	8SJ219
National Register:	St. Augustine Town Plan, contributing	Construction date:	1911
Archaeology Zone:	IB	Zoning District:	HP-2
Parcel number:	198930 0000		
Agenda Item:	8(a)	Previous Action(s):	OOA 2018

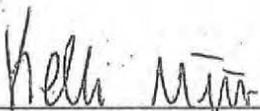
STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition to demolish a building constructed in 1911 that is listed in the Florida Master Site File and is a contributing to the St. Augustine Historic District. (After the Fact)

- Based on Sanborn Maps, the overall footprint of the building has not changed. Also, based on historic photographs, few changes have been made to exterior of the building in recent years.
- According to the City Directories, Morris Friedman was the owner of or a tenant within the building. Friedman was part of the first congregation of the Sons of Israel in St. Augustine. The building was also home to several businesses to include an auto repair shop, a welding shop, multiple antique stores, and an embroidery business.
- Four condition assessments were provided by the applicant. They were completed by Jude Kostage (professional engineer) at Atlantic Engineering Services, Herschel Shepard (architect), Luis Pontigo (professional engineer) at Lou Pontigo and Associates, Inc., and Robert G. Morgan (professional engineer) at RGM Engineering, Inc. Each report stated that the building is in poor condition and unsafe and that it needed to be demolished.
- The structure will be replaced with a new building. See the Certificate of Appropriateness for further information.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition for 9 Aviles Street.**



Kelli Mitchell, Historic Preservation Planner

COD F2018-0110
9 Aviles Street
August 16, 2018

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

The building was constructed in 1911. It is listed on the Florida Master Site File and is a contributing building in the St. Augustine National Register District.

Four condition assessments were submitted with the application. The application requirements were satisfactorily met.

COD F2018-0110
9 Aviles Street
August 16, 2018

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** The building is located in Historic Preservation District 2.
- 2. The contribution of the structure to the mass and scale of the streetscape.** The structure has a similar massing and scale to two other buildings on the street, but overall, it is smaller than the other structures on Aviles Street.
- 3. The impact of the loss of the structure on the streetscape.** The loss of the structure will negatively impact the visual continuity of the streetscape until the replacement structure is constructed.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** The structure will be replaced with a new building that will have a similar footprint as the current building. In one of the proposed designs, the building is taller than the current structure, but both designs suggest that the building will be proportionate in size with the original buildings.
- 5. The historical or cultural merit of the structure.** The building is listed in the Florida Master Site File and is a contributing building to the St. Augustine Historic District. The structure has been home to multiple businesses to include a garage, a welding shop, and an embroidery shop. A list of the tenants is provided on the City Directory research page.
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** 9 Aviles Street is a contributing building in the St. Augustine Historic District and demolishing the building can negatively impact the district as it will reduce the overall amount of contributing buildings in the area
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The building is an example of Mission Revival Architecture, which is seen in several other buildings in St. Augustine.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** Mission Revival Architecture is found in other buildings in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
- 10. The justification for the proposed demolition.** Based on the condition reports, the building is in poor condition and not safe for use.

COD F2018-0110
9 Aviles Street
August 16, 2018

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? Yes No
Did applicant submit evidence of undue economic hardship? Yes No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- 8. The assessed value of the property according to the two (2) most recent assessments;
- 9. The real estate taxes for the previous two (2) years;
- 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

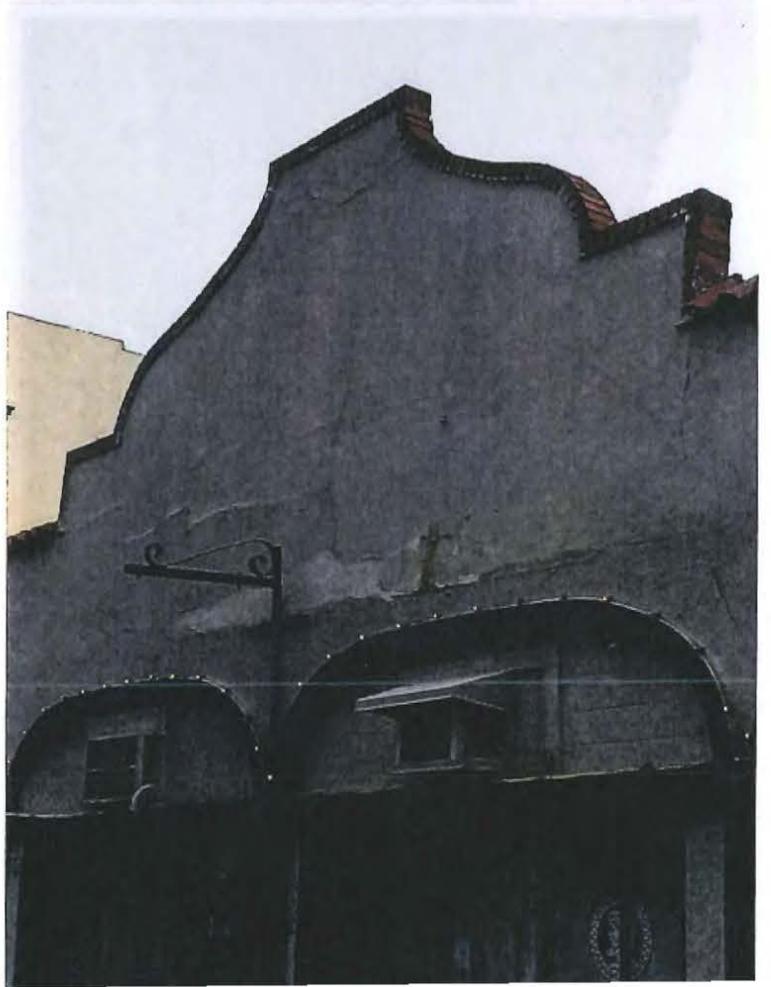
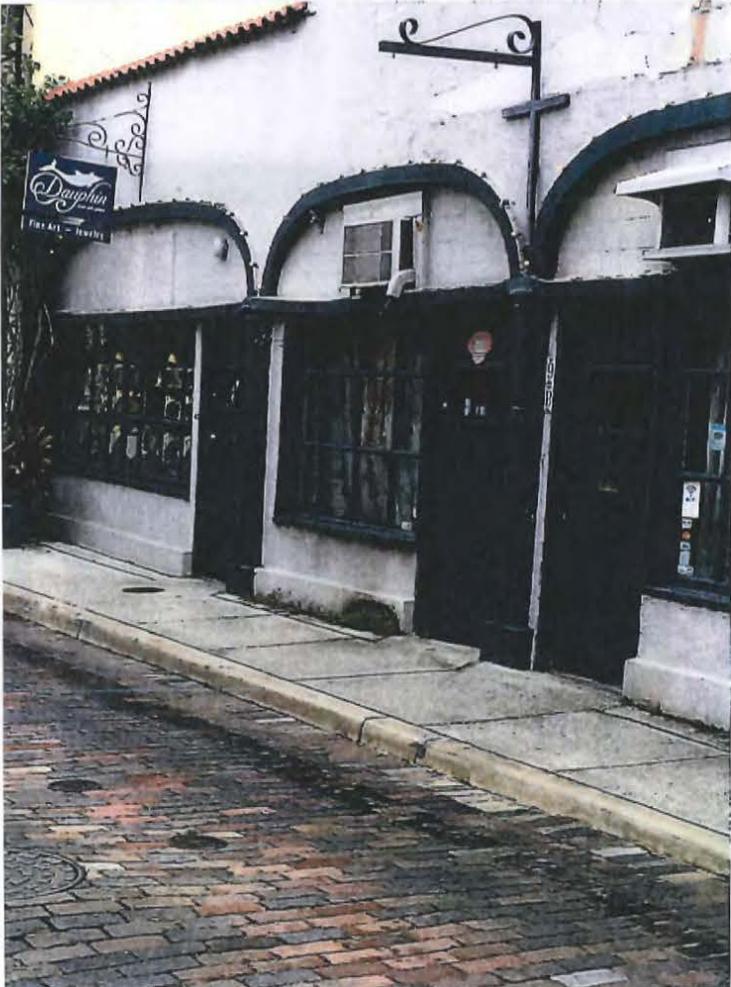
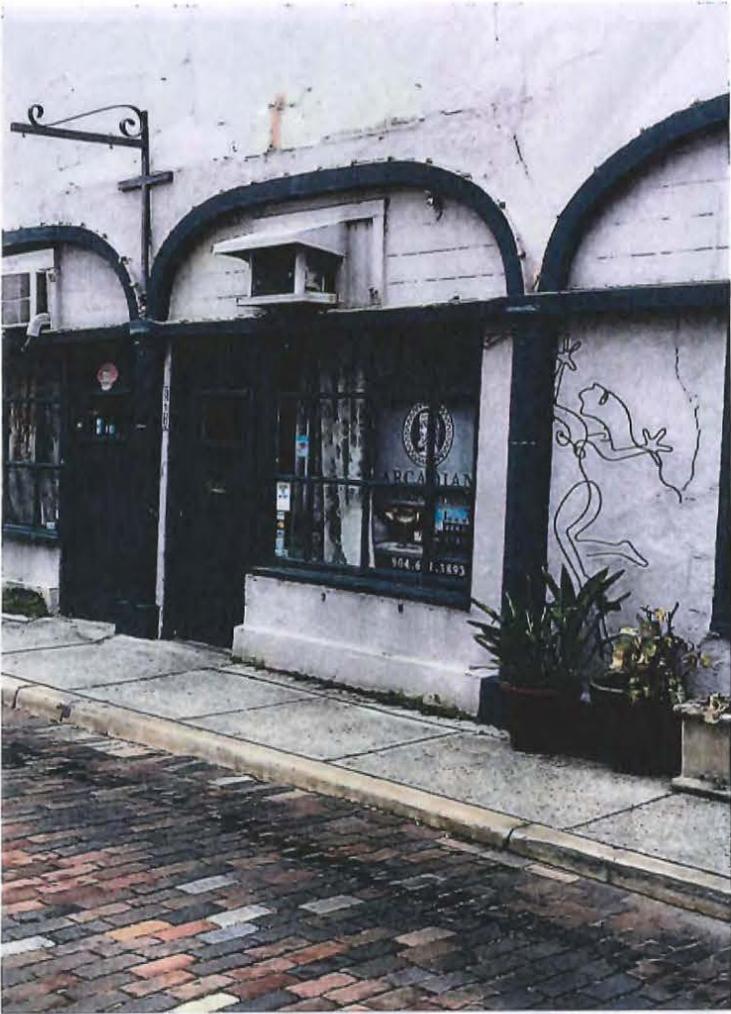
Additional information requested by HARB as per above:

COD F2018-0110
9 Aviles Street
August 16, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Newspaper Article
5. Florida Master Site File
6. Historic Photographs





**SEE SITE FILE STAFF FOR
ORIGINAL PHOTO(S) OR MAP(S)**

FLORIDA MASTER SITE FILE
HISTORIC ST. AUGUSTINE PRESERVATION BOARD
HISTORIC PROPERTIES INVENTORY FORM

I. LOCATION & LEGAL DESCRIPTION

FDAHRM _____ 802== Site No. 855219 1009==
 Site Name: 9 Aviles Street 830== Survey Date: 7808 820==
 Address: 9 Aviles Street, St. Augustine FL 32084 905==
 Instructions for Locating: _____
 _____ 813== County: St. Johns 808==
 Location: City of St. Augustine 28 South 62' of lot 2 in or 6/ 868==
 (subdivision) (block) (lot)
536, 62' on Aviles Street x 42' on Artillery Lane 868==
 Owner of Site: Name: Burke, B.L. & Ruth E. ;
 Address: 410 Theodore Street
 St. Augustine, FL 32084 902==
 Occupant or Manager: _____ 904==
 Type of Ownership: Private 848== Zoning: HP-2
 NR Classification Category: Building 916== Recording Date: 8010 832==
 UTM: 17 469900 3306600 890== Location: T07S R30E S18 812==
 (zone) (easting) (northing) (T) (R) (S)
 Map Reference: USGS St. Augustine 7.5 MIN 1956 (PR 1970) 809==
 Recorder: Name & Title: Nolan, David (Historic Sites Specialist) ;
 Address: H.S.A.P.B. 818==

II. SITE DESCRIPTION

Condition of Site:		Threats to Site:	
<input type="checkbox"/> <u>Excellent</u>	863==	<input type="checkbox"/> <u>Zoning</u>	878==
<input checked="" type="checkbox"/> <u>Good</u>	863==	<input type="checkbox"/> <u>Development</u>	878==
<input type="checkbox"/> <u>Fair</u>	863==	<input type="checkbox"/> <u>Deterioration</u>	878==
<input type="checkbox"/> <u>Deteriorated</u>	863==	<input type="checkbox"/> <u>Borrowing</u>	878==
		<input type="checkbox"/> <u>Transportation</u>	878==
Integrity of Site:		<input type="checkbox"/> <u>Fill</u>	878==
<input checked="" type="checkbox"/> <u>Altered</u>	858==	<input type="checkbox"/> <u>Dredge</u>	878==
<input type="checkbox"/> <u>Unaltered</u>	858==	<input type="checkbox"/> <u>Other</u>	878==
<input checked="" type="checkbox"/> <u>Original Site</u>	858==		
<input type="checkbox"/> <u>Restored - Date:</u>	858==		
<input type="checkbox"/> <u>Moved - Date:</u>	858==		

II. SITE DESCRIPTION, continued.

Original Use: Commercial 838== Present Use: Commercial 850==
Date: +1911 844== Period: 20th cent. 845== Culture: American 840==
Architect: _____ 872==
Builder: _____ 874==
Style: Mediterranean Revival 964==
Plan Type: Rectangular 966==
Exterior Fabrics: Stucco _____ 854==
Structural Systems: Wood frame 856==
Features of Structure: (942)
Window Type: Fixed sheet (multipane) 942==
Foundation: Poured concrete 942==
Roof Type: Flat, parapet 942==
Secondary Roof Structures: _____ 942==
Porches & Balconies: _____ 942==
Chimney Location: _____ 942==
Materials: (882)
Chimney: _____ 882==
Roof Surfacing: Built up 882==
Ornament Exterior: Clay tile cornice, rounded p9lasters, arches over windows, mission parapet. 882==
Quantitative Data: (950-954)
Chimneys: _____ 952== Dormers: _____ 954== Stories: 1 950==
Other: _____ 956==
Surroundings: Commercial 864==
Relationship to Surroundings: On narrow brick road in one of the oldest sections of the city. _____ 859==

III. PHOTOGRAPHY

Photographic Records Numbers: _____ 860==
Contact Prints

IV. SIGNIFICANCE

Areas of Significance: Architecture, Commerce, Education, Transportation

920==

Statement of Significance: (911==)

ARCHITECTURE

This one-story Mediterranean Revival building at 9 Aviles Street was constructed in 1911. Mediterranean elements include the stucco finish, clay tile cornice, rounded pilasters, and arches over the window. A mission parapet rises from the center. The building is located on a narrow brick street in one of the oldest sections of town.

The area of the colonial city south of the plaza and north of Bridge Street includes buildings ranging from colonial to modern times. It contains a significant number of St. Augustine's surviving colonial buildings as well as many fine Victorian buildings from the Flagler era like the development along Palm Row. Some remodeling and construction have taken place in the St. Augustine Colonial Revival style. The narrow colonial street plan is retained, and some of the streets are still surfaced in brick. Aviles Street retains some colonial ambiance with many buildings constructed on the street line, with overhanging balconies, and coquina walls. The visual effect of other streets tends to be mixed Colonial and Victorian, except along the bayfront, which is dominated by modern motels. Along this stretch of the bayfront are the last surviving buildings projecting out over the water. It is an area of combined usages--residential, commercial, educational and religious--all of which produce traffic and parking problems. As a result, many significant buildings, particularly Flagler era hotels and mansions, have been demolished over the years for parking lots or other facilities. The area is bounded on the west by the old Alcazar Hotel (now City Hall) and on the east by the seawall and bayfront. It is part of the National Landmark District, and listed on the National Register of Historic Places.

HISTORY

This section of the walled colonial city has been continuously occupied since the 16th century and represents the location of the 1565 settlement of St. Augustine. The small blocks and narrow streets of the early city are still evident.(1) All structures were destroyed during the 1702 attack by the South Carolinians, but by mid-century, the Rosario defense line had been erected along the present-day location of Cordova Street, and numerous buildings had been rebuilt throughout the area, although den-

(over)

V. BIBLIOGRAPHY

1. Kathleen Deagan, et. al, "A Sub-Surface Survey of the St. Augustine City Environs," (Tallahassee, 1976); Anon., "S. Augustini pars et terrae Florida," 1588.
2. Juan Jose Elixio de la Puente, "Plano . . . de la Plaza de San Agustin," January 22, 1764; Mariano de la Rocque, "Plano Particular de la Ciudad de San Agustin," April 25, 1788; East Florida Papers, Escrituras, 1784-1821; Albert Manucy, The Houses of St. Augustine, 1565-1721 (St. Augustine, 1962), pp. 22-25 and 41-47.

sity was greater towards the bayfront. In the 18th and early 19th centuries, this section contained a number of governmental and ecclesiastical structures, including La Soledad parish church and school on St. George Street and the hospital and jail on Aviles (Hospital) Street. Moreover, the largest number of extant colonial buildings are found in this section of the city: Hourritiner, MacMillan, and Murat Houses on St. George Street; Segui, Fatio, O'Reilly, and Toledo Houses on Aviles Street; Solano House on Charlotte Street; and the Jacinto House on Marine Street. The southern border of this area, Bridge Street, led to one of three late colonial San Sebastian River ferry crossings.(2) Certain patterns of earlier development persisted into the American period as this section, particularly on Aviles Street, contained a disproportionately large number of public and educational facilities such as the Territorial City Council Meeting House, and in the late 19th century, the Peabody School, city jail, library, and police and fire departments. St. Joseph's Academy opened in the 1870's on St. George Street. Several prominent hotels also opened in this section, including the Ocean View on the bayfront and the St. George adjacent to Trinity Episcopal Church. Since the Civil War, St. George Street has remained a residential neighborhood and contained some stately homes of the city's more prominent residents and visitors. The streets to the east have contained some residences, but mainly commercial and institutional buildings. The area as a whole has one of the largest concentrations of 18th and 19th century structures within the walled city despite the demolition of several of the stately residences and hotels along St. George Street and Avenida Menendez (Bay Street).(3)

This commercial building at 9 Aviles Street has always functioned as a business enterprise. From 1917 until 1930 the Sanborn Maps list it as a "garage" and "auto-repairs". Early Sanborn Maps show a two-story frame "Engine House" and "Police Headquarters" with a 50 foot tower. By 1893 a "Public School Annex" occupied the ground and by 1904 the buildings were nonexistent.(4) Numerous shops now operated from the building.

ARCHAEOLOGY

For archaeological significance of the walled colonial city see Master Site File Form 8SJ10.

3. Anon., "Copy of a Plan of the City of St. Augustine," 1833; 1885 and 1894 Birds-Eye Views; Sanborn Fire Insurance Maps, 1884-1958.

4. Sanborn, 1888, 1893, 1899, 1904, 1910, 1917, 1924, 1930.

Original
 Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8: SJ00219
Field Date: 5-11-2016
Form Date: 5-11-2016
Recorder # _____

Shaded fields represent the minimum acceptable level of documentation.
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 9 Aviles Street Multiple Listing (DHR only) _____
Survey Project Name Inv. of Structures within the St. Augustine NRHD Survey # (DHR only) _____
National Register Category (please check one) building structure district site object
Ownership: private-profit private-nonprofit private-individual private-nonspecific city county state federal Native American foreign unknown

LOCATION & MAPPING

Street Number 9 Direction _____ Street Name Aviles Street Type Street Suffix Direction _____
Address: _____
Cross Streets (nearest / between) _____
USGS 7.5 Map Name ST. AUGUSTINE USGS Date 1956 Plat or Other Map _____
City / Town (within 3 miles) St. Augustine In City Limits? yes no unknown County St. Johns
Township 7S Range 30E Section 18 1/4 section: NW SW SE NE Irregular-name: _____
Tax Parcel # 19893000000 Landgrant _____
Subdivision Name _____ Block _____ Lot _____
UTM Coordinates: Zone 16 17 Easting Northing
Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1911 approximately year listed or earlier year listed or later
Original Use: Commercial From (year): _____ To (year): _____
Current Use: Commercial From (year): _____ To (year): _____
Other Use: Shops, restaurant From (year): _____ To (year): _____
Moves: yes no unknown Date: _____ Original address _____
Alterations: yes no unknown Date: _____ Nature: Storefront changes
Additions: yes no unknown Date: _____ Nature: _____
Architect (last name first): _____ Builder (last name first): _____
Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? yes no unknown Describe _____

DESCRIPTION

Style: Mediterranean Revival Exterior Plan: Rectangular Number of Stories 1
Exterior Fabric(s): 1. Stucco 2. _____ 3. _____
Roof Type(s): 1. Flat 2. _____ 3. parapet
Roof Material(s): 1. Built-up 2. _____ 3. Brick cap
Roof secondary strucs. (domers etc.) 1. _____ 2. _____
Windows (types, materials, etc.) Fixed sheet (multipane)

Distinguishing Architectural Features (exterior or interior ornaments) Parapet style- large flat arched bays w/ round segmented concrete columns - pilasters

Ancillary Features / Outbuildings (record outbuildings; major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ SHPO - Appears to meet criteria for NR listing: yes no insufficient info Date _____ Init. _____
 Owner Objection _____ KEEPER - Determined eligible: yes no Date _____
NR Criteria for Evaluation: a b c d (see *National Register Bulletin 15*, p. 2)

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Masonry - General 2. _____ 3. _____
 Foundation Type(s): 1. Continuous 2. Slab
 Foundation Material(s): 1. Concrete, Generic 2. _____
 Main Entrance (stylistic details) Single wood plank doors w/ rectangular light

Porch Descriptions (types, locations, roof types, etc.) none

Condition (overall resource condition): excellent good fair deteriorated ruinous

Narrative Description of Resource _____

Archaeological Remains _____ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

FMSF record search (sites/surveys) library research building permits Sanborn maps
 FL State Archives/photo collection city directory occupant/owner interview plat maps
 property appraiser / tax records newspaper files neighbor interview Public Lands Survey (DEP)
 cultural resource survey (CRAS) historic photos interior inspection HABS/HAER record search
 other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? yes no insufficient information
 Appears to meet the criteria for National Register listing as part of a district? yes no insufficient information
 Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) contributes to contiguous fabric of district

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

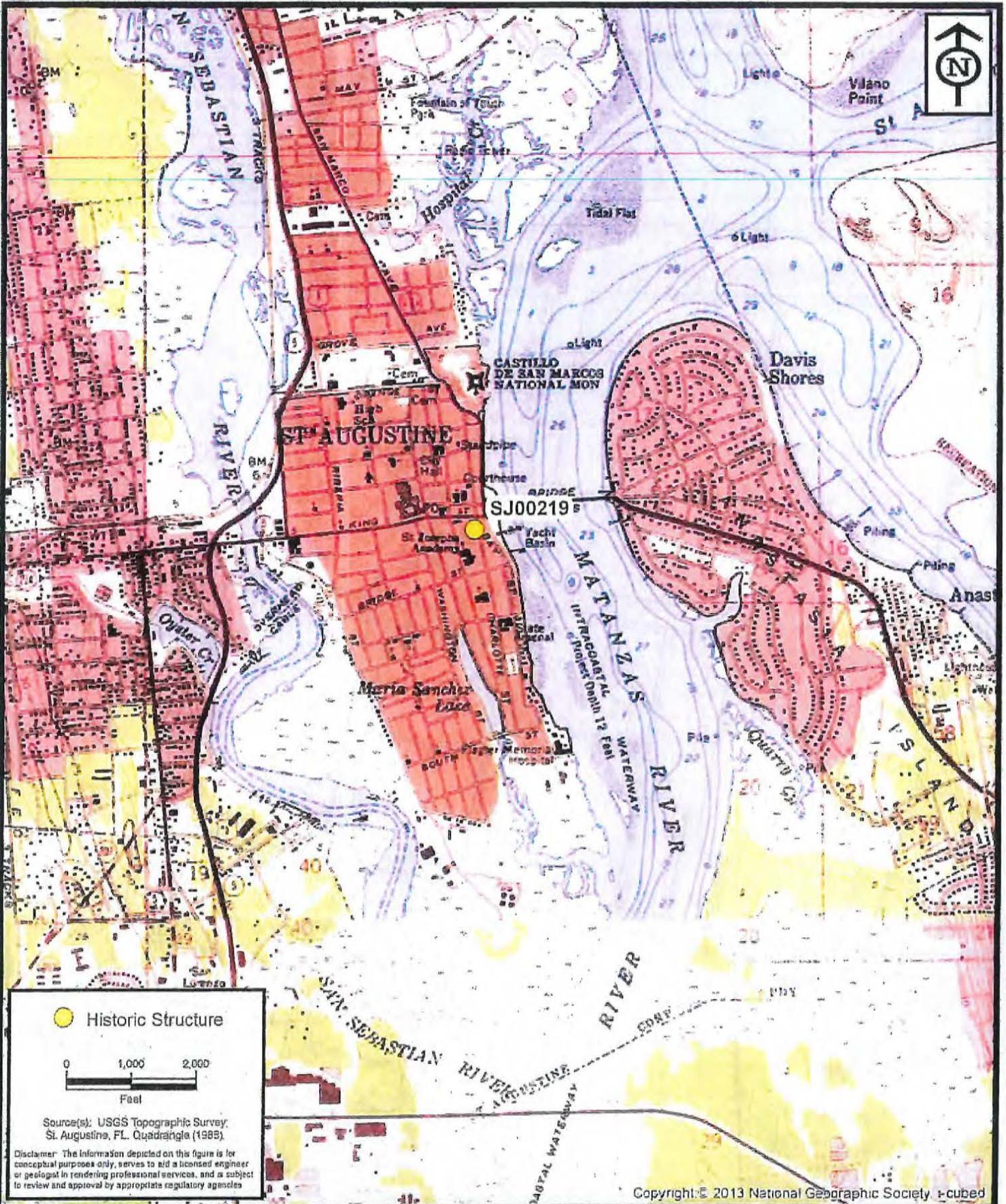
1) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Patricia Davenport Affiliation Environmental Services, Inc.
 Recorder Contact Information 7220 Financial Way Ste. 100 Jacksonville, FL 32256 904-470-2200, pdavenport@esinc.cc
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



ENVIRONMENTAL SERVICES, INC.

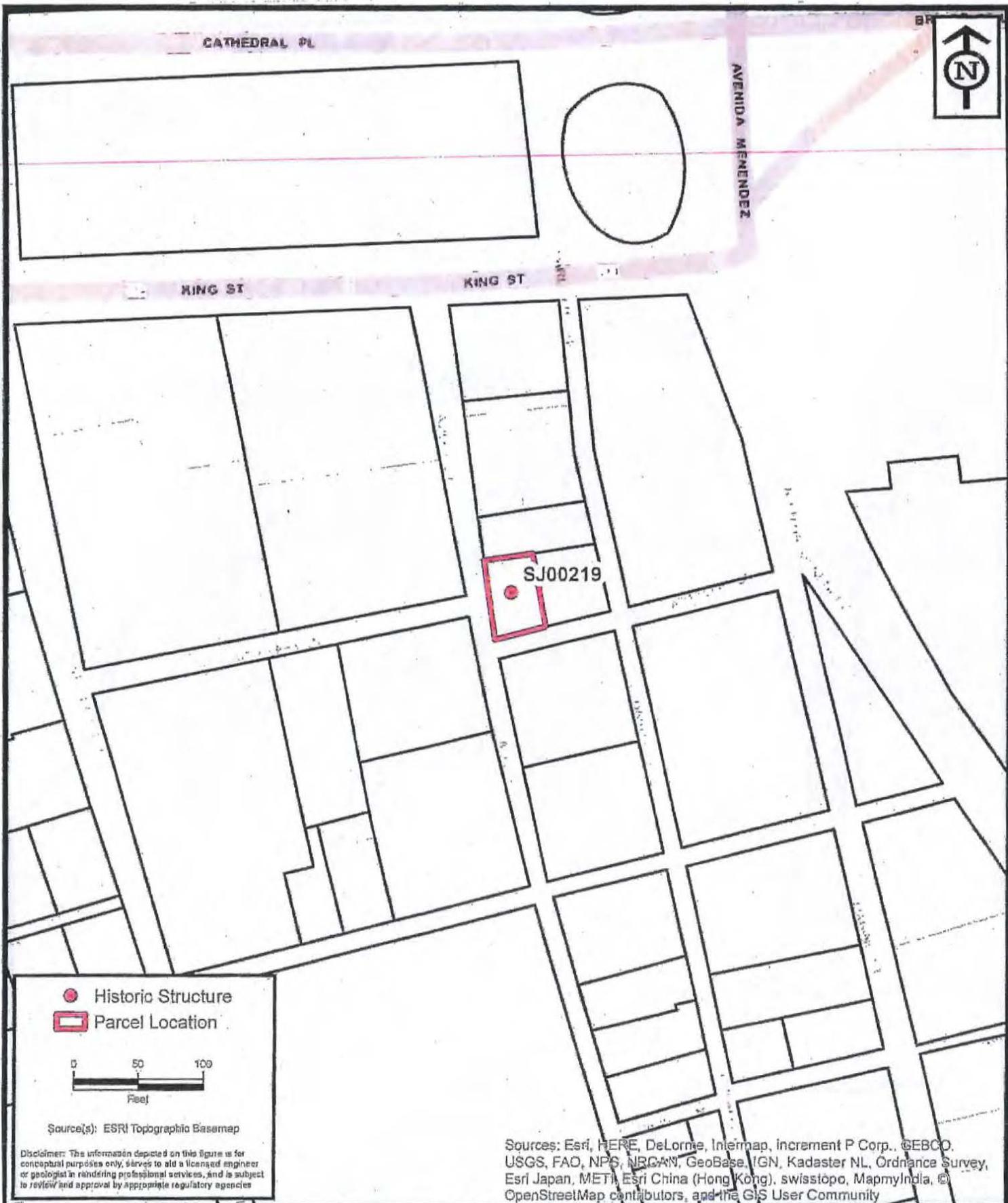
7220 Financial Way, Suite 109
Jacksonville, Florida 32256
(904) 470-2209
(904) 470-2112 Fax

www.environmentalservicesinc.com

Project Location - SJ00219
City of St. Augustine
Historic Structure Survey

St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD



- Historic Structure
- Parcel Location



Source(s): ESRI Topographic Basemap

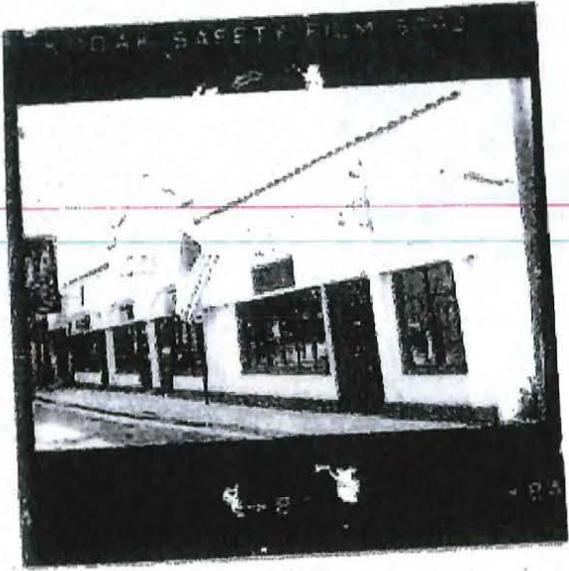
Disclaimer: The information depicted on this figure is for conceptual purposes only, serves to aid a licensed engineer or geologist in rendering professional services, and is subject to review and approval by appropriate regulatory agencies

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

ENVIRONMENTAL SERVICES, INC.
 2220 Financial Way, Suite 100
 Jacksonville, Florida 32256
 (904) 470-3260
 (904) 470-2112 Fax
www.environmentalservicesinc.com

Parcel Location - SJ00219
City of St. Augustine
Historic Structure Survey
 St. Johns County, Florida

Project:	AJ15441.00
Date:	May 2016
Drawn By:	AVL
Checked By:	JRN
Approved By:	PD
Flatten:	



should solve it since it did not benefit the general public.

Konrad Karahoca was concerned with the health impacts of the proposed antenna. He recommended a health impact study.

The Board discussed:

- If the antenna were placed on Sevilla Street, it would still trigger Board review
- Allowable heights set by State Statute
- Reasonable location context, color, stealth, and concealment requirements allowed for review per State Statute
- Possibility of attaching the antenna to a building at Flagler College
- Antenna would cover more than just the college campus
- Possibility of attaching the antenna to utility pole unfeasible due to existing uses of the area poles
- Lateness of the application
- Preference for Sevilla Street Alternative
- Show an effort in response to staff comments regarding design and screening

MOTION

Mr. Benoit MOVED to CONTINUE application F2018-0064 to the July 19, 2018 meeting to allow the applicant time to supply all of the supporting documentations to staff by the appropriate deadline and to explore screening and/or softening effects with the pole. The motion was SECONDED by Mr. Weaver.

VOTE ON MOTION:

AYES: Benoit, Weaver, Wingo, Wallace

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. (c) Certificate of Demolition F2018-0061 – Century 21 Property Group and Les Thomas Architect Inc. – Applicants Mary Ann Cramer & Ana Filomena Macedo – Owners 155 Washington Street

To demolish a building constructed in 1930 that is recorded on the Florida Master Site File and is a contributing building to the Lincolnville Historic District (Deemed substantially damaged by the city building official).

The application was withdrawn prior to the meeting.

7. Opinion of Appropriateness

7. (a) F2018-0081 – Harold D. Bishop – Applicant and Owner 9 Aviles Street

To alter the exterior façade to include changing the doors and windows; adding new doorways along with a window in the parapet; changing the roofline; and adding decorative details.

Mr. Weaver recused himself as a consultant for the applicant on an unrelated project.²

Ms. Mitchell read the staff report and said based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the Board can DENY an Opinion of Appropriateness for 9 Aviles Street as the proposed design does not meet Secretary of the Interior Standards 2, 3, and 5.

Joe Cronk reviewed the application.

Ex Parte Communication:

(None)

Public hearing was opened.

² Form attached to original minutes

Karen Sheridan, a neighboring business owner, spoke in favor of the application citing the poor condition of the existing building. She approved of the proposed design.

Public hearing was closed.

The Board discussed:

- Original use of the building was a garage, and the proposed design mirrored that use
- Window and door designs
- Scope of work for the project
- Roof design
- Proposed lighting could be replaced per staff recommendation
- Changes in arch design would raise the height

Ms. Wolfe noted the HP-2 architectural style requirements.

The Board continued discussion regarding:

- The amount of rehabilitation required for the structure
- The increase of two feet in the parapet
- Possibility of rehabilitating the windows
- Parapet wall, rhythm of arches and columns were the main character defining features, stucco cladding, Bath tile and window units with re-use of original materials
- Side-wall opening

MOTION

Mr. Benoit **MOVED to APPROVE** Opinion of Appropriateness application F2018-0081 based on the findings that the decorative parapet and the rhythm of the four arches and the columns in between are character defining features of the structure and that the air condition units, tile above those openings, and the solid

block wall on the south elevation are not character defining features of the structure. The motion was SECONDED by Ms. Wingo.

VOTE ON MOTION:

AYES: Benoit, Wingo, Wallace

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

Mr. Cronk gave a brief synopsis of the context for the certificate of appropriateness submittal for clarification including, windows and muntins, separation between windows and doors, utilization of salvaged brick and stone, removal of the proposed lanterns, and use of a stucco finish.

8. Certificates of Appropriateness

8. (a) F2018-0075 – Marquis Latimer + Halback, Inc. – Applicant
Jalaram Hotels, Inc. – Owner
6 West Castillo Drive & 28 San Marco Avenue

To approve a color scheme for a previously approved building.

Ms. Wolfe read the staff report, noting that the applicant had provided a revised application, and said based on a review of the AGHP and without the support of evidence to the contrary; staff finds that the Board can **APPROVE** a Certificate of Appropriateness for paint colors at **6 West Castillo Drive and 28 San Marco Avenue.**

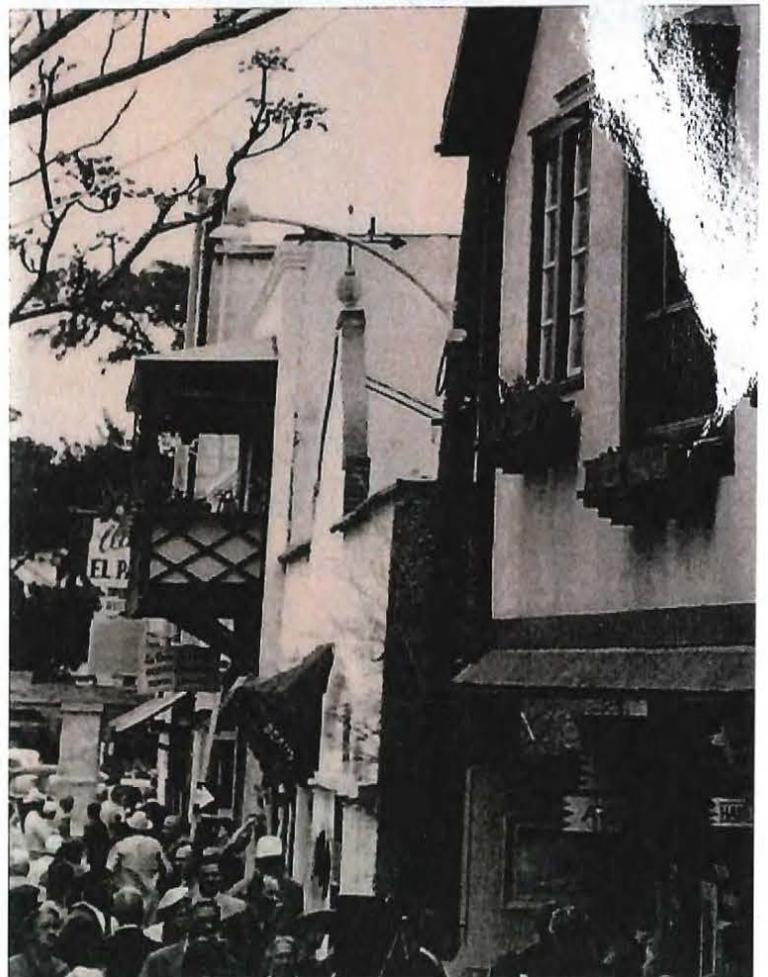
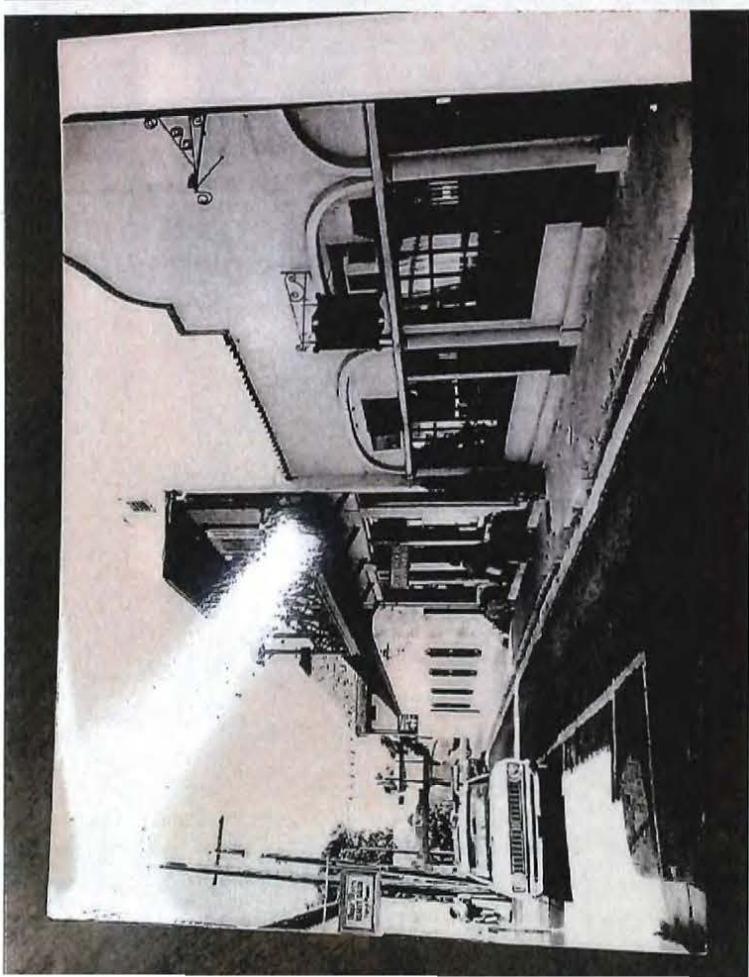
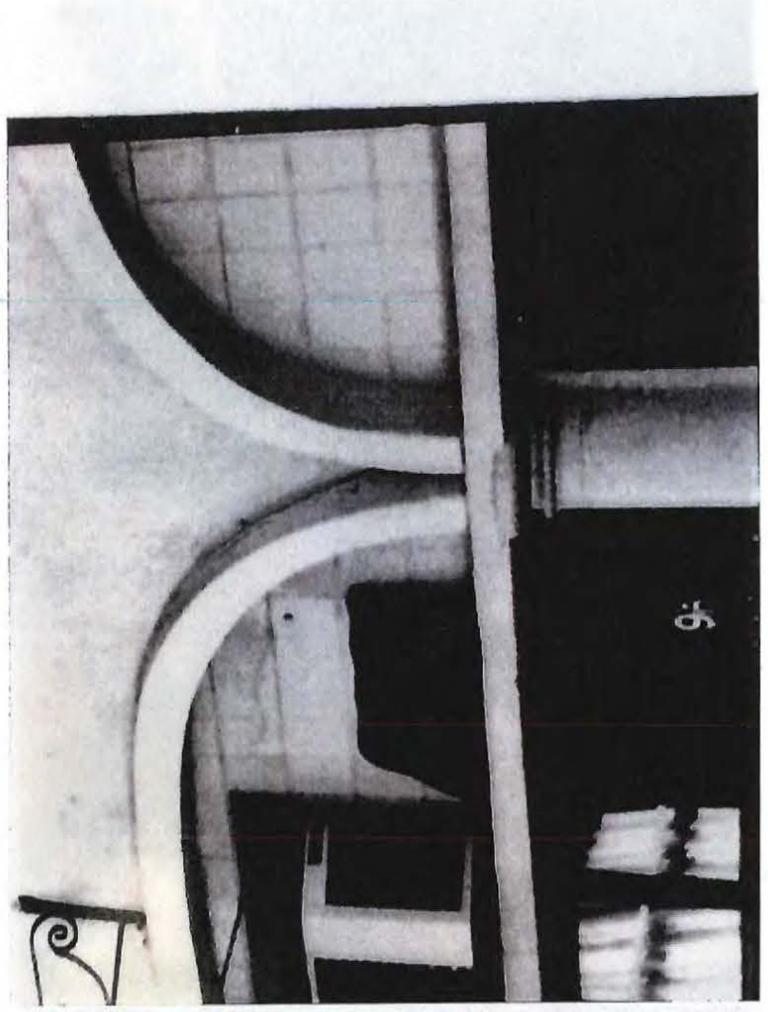
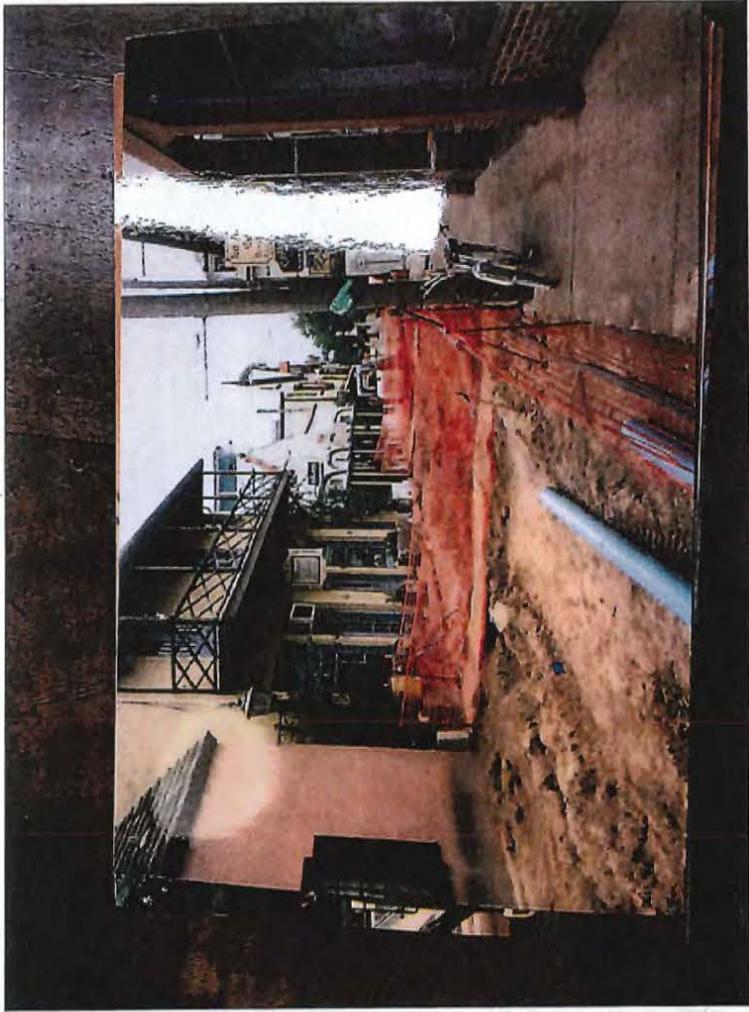
Freemont Latimer reviewed the revised application with a presentation.³

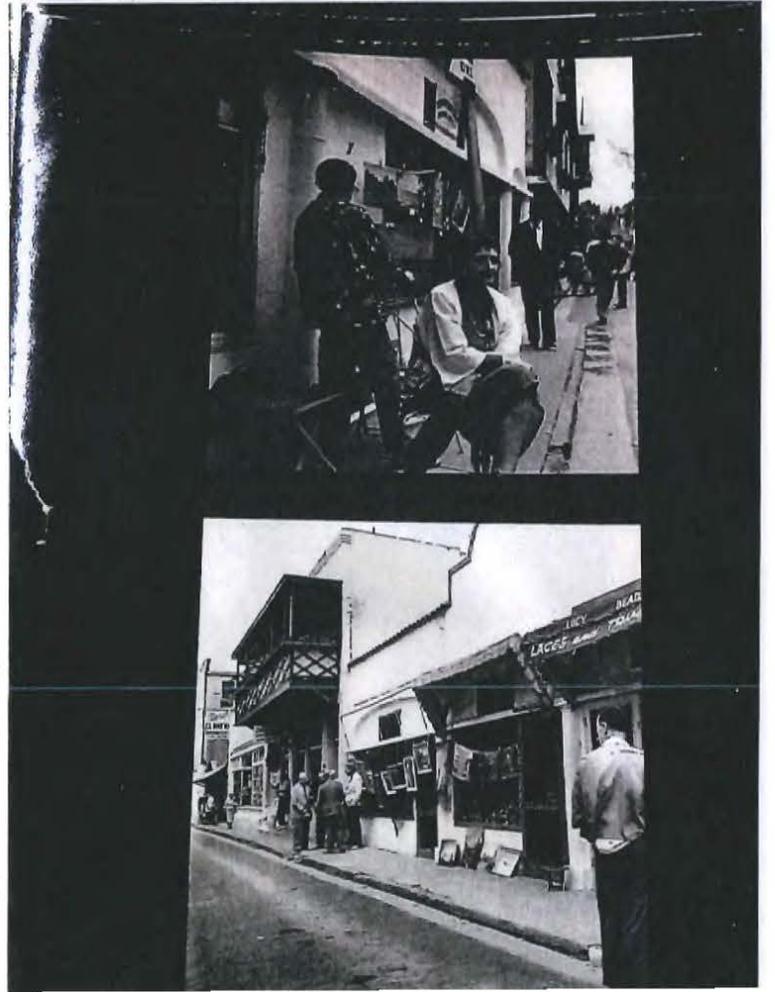
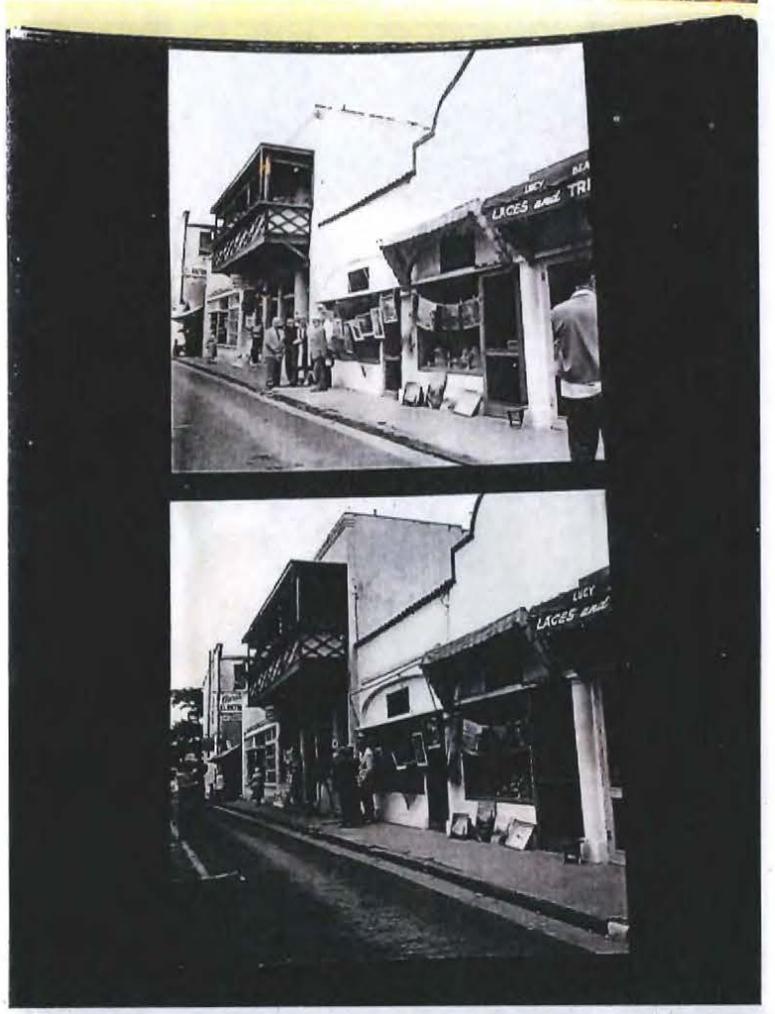
Ex Parte Communication:

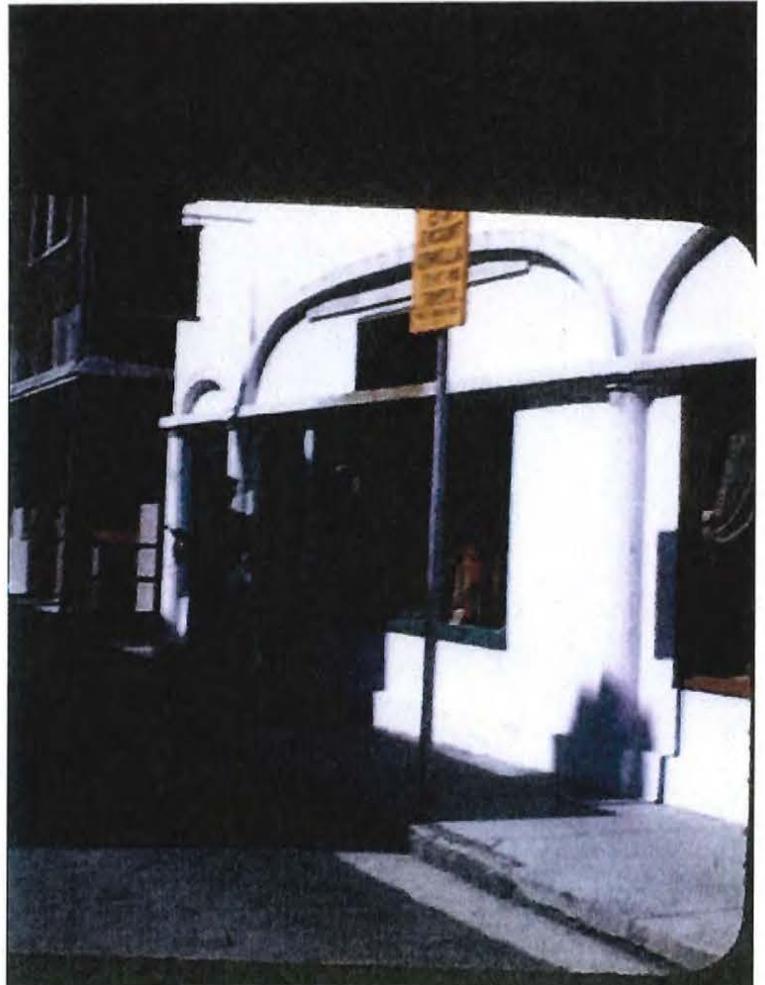
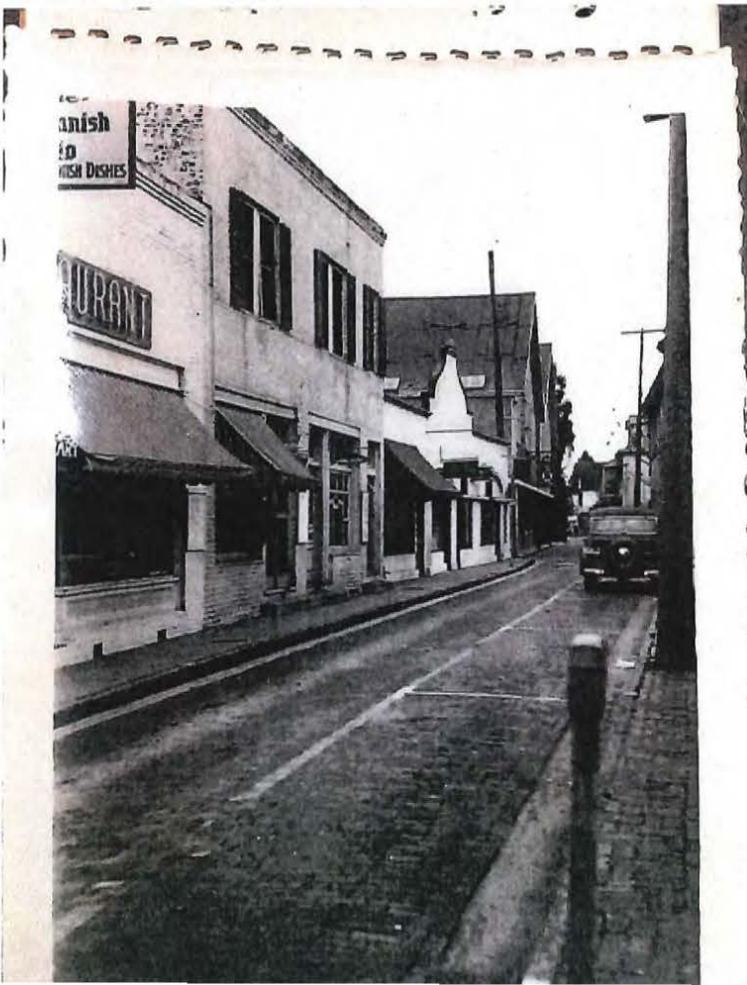
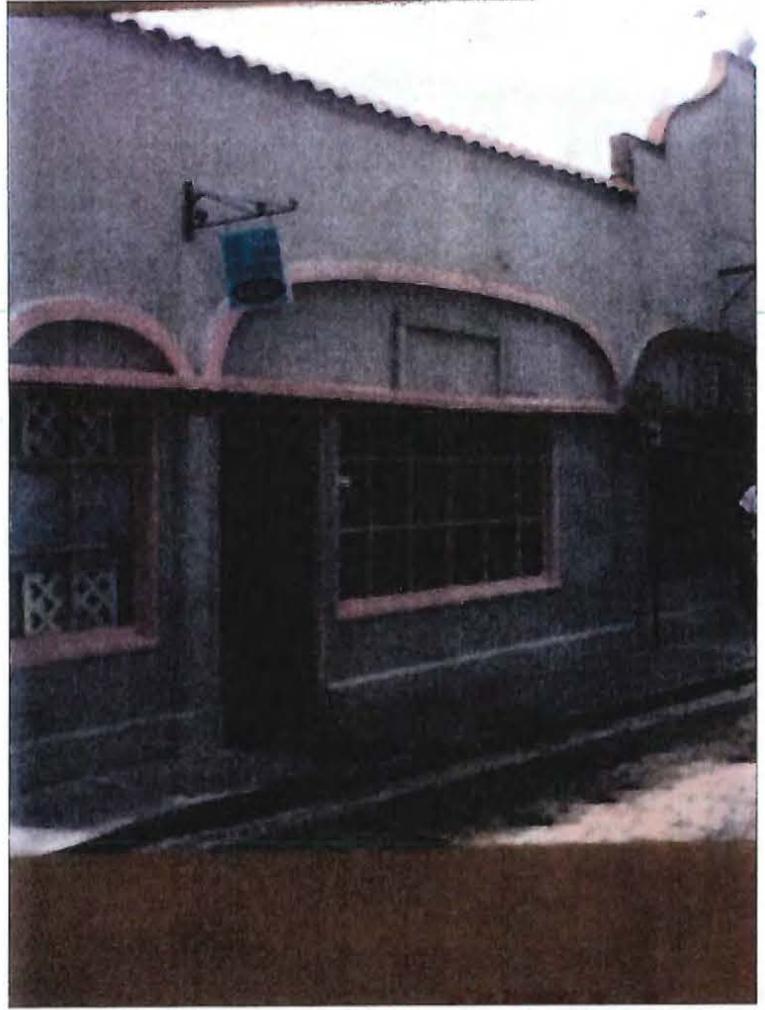
(None)

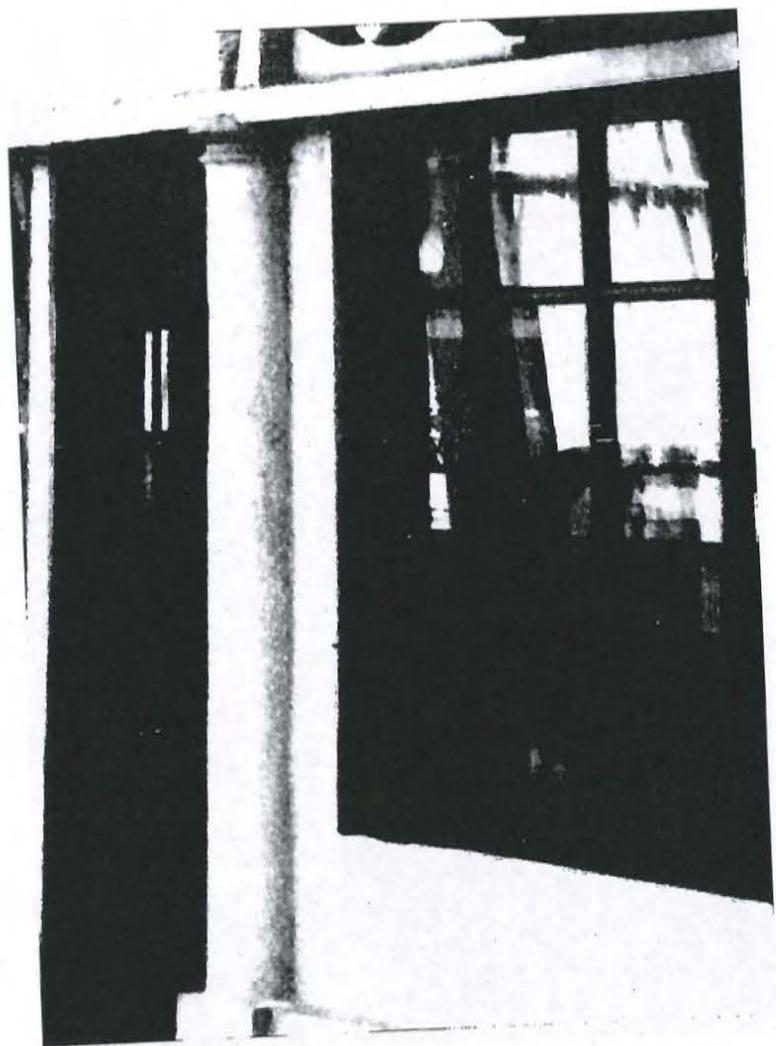
Public hearing was opened; however, there was no response.

³ Presentation and revised drawings attached to original minutes











City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Planning/Building

July 24, 2018

Red Moon Properties LLC
1093 A1A Beach Blvd #401
St. Augustine, Florida 32080

RE: Project Street Address 9 Aviles Street

To whom it may concern:

Please accept this letter as acknowledgement of your application to the Historic Architectural Review Board meeting scheduled for August 16, 2018. The meeting is scheduled to begin at 1:00 in the Alcazar Room at 75 King Street.

Additionally, this letter notifies you of the sufficiency of your application. The application form includes a checklist which was used to review the documents provided with your application. The formal staff evaluation of the proposed project may recommend additional materials and/or include conditions associated with the staff recommendation. The HARB may request additional information during the course of the public hearing.

Additional materials will be accepted in the Planning and Building Department only up to 10 days before the meeting as per Resolution 2010-09. After that, the HARB has the discretion whether or not to consider any other additional materials presented at the meeting and your application may be continued because of its incomplete status, if applicable.

I look forward to reviewing your application in more detail. A copy of the staff report will be mailed to you at the address provided on the application and if you do not receive it before the week of the meeting please contact our department to obtain a copy.

Sincerely,

Kelli Mitchell
Historic Preservation Planner

IMPORTANT NOTICE: Now that the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the code. Costs associated with legal notice will be assessed by the city and must be paid prior to the issuance of any development permit. Costs associated for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing

COMPLETENESS REVIEW CHECKLIST

A Certificate or Opinion of Appropriateness application and related plans shall be submitted for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any building in designated historic preservation zoning districts (HP-1 through HP-5). In addition, a Certificate of Appropriateness shall be required for any proposed work on buildings immediately adjacent and in view of historic preservation zoning districts HP-1, HP-2, and HP-3. All proposed work items shall be reviewed for consistency and compliance with the 2011 edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. Copies of this document are available for a fee upon request and on the website at: http://www.staugustinegovernment.com/your_government/documents/AGHP2.pdf

Relevant information necessary for Certificate or Opinion of Appropriateness review shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Architectural Guidelines for Historic Preservation*. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)

- | OK | Need | N/A | |
|-------------------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing roof and affected features |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only) |

EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)

- | OK | Need | N/A | |
|-------------------------------------|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing surface or feature including close-up and full building perspective |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the siding, finish, or feature and the extent of the affected area |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture |

PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)

- | OK | Need | N/A | |
|--------------------------|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

AWNING/CANOPY

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing awning/canopy or location of proposed awning/canopy |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the façade |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing awning/canopy and the extent of the affected area |

EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing door(s) or location of proposed new door opening(s) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the existing door(s) and the extent of the affected area. |

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section with proposed window |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | | | | |
|-------------------------------------|--------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | | | | |
|--------------------------|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Wall sections |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

A full landscape plan isn't necessary but information about proposed plants should be provided

See above check list

Project number: 2018-109 Project Address: 9 Aviles Street

Reviewed by: Kelli Mitchell Date: 7/24/18



St. Johns County, FL

Quick Links

- [My Tax Bill](#)
- [Tax Estimator](#)
- [Proposed Hx](#)

TRIM Notice

- [TRIM Notice](#)

Summary

Parcel ID 1989300000
Location Address 9 AVILES ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY COMM/HISTORICAL (610.03)
Tax Description* CITY OF ST AUGUSTINE S62FT OF LOT 2 IN OR6/536 62FT ON AVILES ST X 42FT ON ARTILLERY LANE BLK 28 OR4483/35
 *The Description above is not to be used on legal documents.
Property Use Code Stores (1100)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.060
Homestead N

View Map

Owner

Owner Name Red Moon Properties LLC 100%
Mailing Address 6377 PUTNAM ST
 SAINT AUGUSTINE, FL 32080-0000

Valuation

	2018
Building Value	\$174,575
Extra Features Value	\$0
Total Land Value	\$208,320
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$382,895
Total Deferred	\$0
Assessed Value	\$382,895
Total Exemptions	\$0
Taxable Value	\$382,895

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$78,910	\$0	\$208,320	\$0	\$0	\$287,230	\$155,590	\$131,640	\$155,590
2016	\$56,815	\$0	\$84,630	\$0	\$0	\$141,445	\$141,445	\$0	\$141,445
2015	\$56,815	\$0	\$84,630	\$0	\$0	\$141,445	\$141,445	\$0	\$141,445
2014	\$33,422	\$0	\$84,630	\$0	\$0	\$118,052	\$118,052	\$0	\$118,052
2013	\$33,422	\$0	\$84,630	\$0	\$0	\$118,052	\$118,052	\$0	\$118,052
2012	\$33,422	\$0	\$84,630	\$0	\$0	\$118,052	\$118,052	\$0	\$118,052
2011	\$33,422	\$0	\$93,744	\$0	\$0	\$127,166	\$127,166	\$0	\$127,166
2010	\$33,422	\$0	\$104,160	\$0	\$0	\$137,582	\$137,582	\$0	\$137,582

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	2520	Roof Cover	Composite Shingle
Conditioned Area	2520	Interior Flooring	Carpet
Actual Year Built	1900	Interior Wall	Drywall
Use	Stores (Retail)	Heating Type	Forced Air
Style	04	Heating Fuel	

Class N Air Conditioning Window
 Exterior Wall Stucco Baths

Category	Type	Pct
Exterior Wall	Stucco	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Carpet	100%
Heating Type	Forced Air	100%
Air Conditioning	Window	100%
Frame	Wood Frame	100%
Plumbing	9 Fixtures	100%
Electrical	Average	100%
Foundation	Concrete Slab	100%
Floor System	Concrete Slab	100%
Condition	Good	100%
Insulation	4" Fiberglass	100%

Description	Conditioned Area	Actual Area
BASE AREA	2520	2520
Total SqFt	2520	2520

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Stores	62	42	2604	SF	\$208,320

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
12/28/2017	12/27/2017	\$490,000.00	WD	4483	35	Q	I	GRIFFIN SHAWN D,GINA M	RED MOON PROPERTIES LLC
12/15/2014	12/11/2014	\$0.00	WD	3964	1300	U	I	BURKE RUTH E INDIV & TRSTEE	GRIFFIN SHAWN D,GINA M
10/14/2010	10/6/2010	\$100.00	WD	3365	680	U	I	BURKE BILLY LEE,RUTH E	BURKE FAMILY TRUST
7/15/1974	7/15/1974	\$0.00	WD	258	319	U	I	HYDEN EDNA N	BURKE B L,RUTH ELIZABETH

Area Sales Report

Recent Sales in Area

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

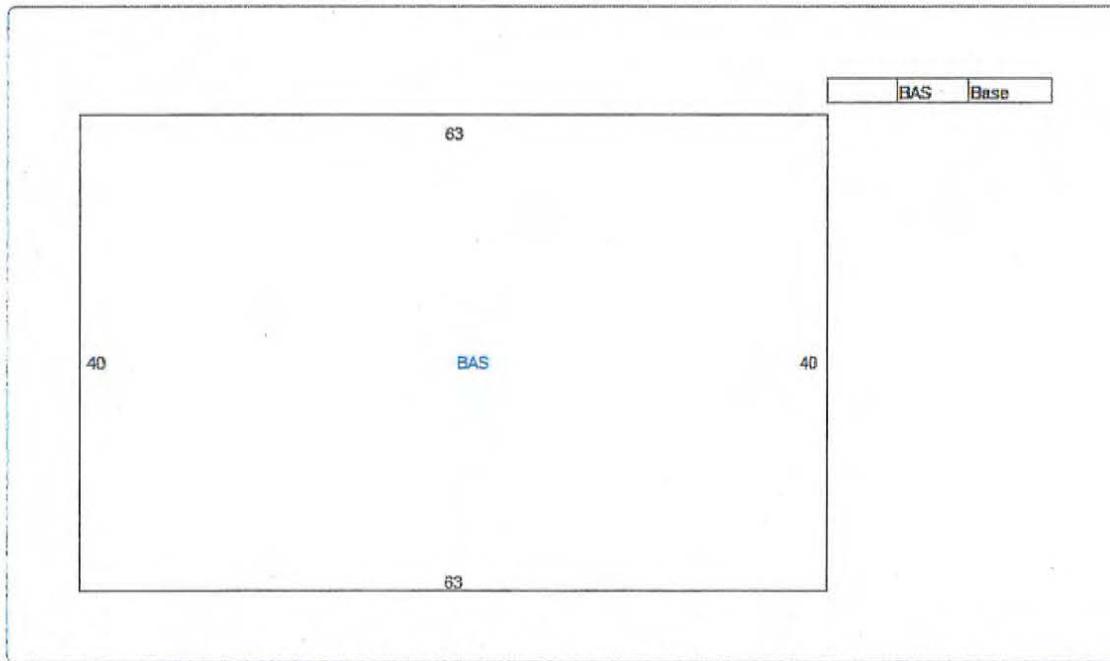
Tax Estimator

[Tax Estimator](#)

Map



Sketches



No data available for the following modules: Exemptions, Extra Features.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 7/20/2018, 1:05:00 AM

Instr #2017087698 BK: 4483 PG: 35, Filed & Recorded: 12/28/2017 11:23 AM #Pgs:2
Hunter S. Conrad, Clerk of the Circuit Court St. Johns County FL Recording \$18.50 Doc. D \$3,430.00

Prepared by and return to:
Stephen Difato, Esq.
Timeshare Title, LLC
308 Oakhaven Court
St. Augustine, FL 32092
File Number: 2017-40

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 27th day of December, 2017 between Shawn D. Griffin and Gina M. Griffin, husband and wife, of 555 Theodore Street, St. Augustine, FL 32084, "grantor", and Red Moon Properties LLC, a Limited Liability Company, of 6377 Putnam Street, St. Augustine, FL 32080, hereinafter referred to as "grantee" or "Purchaser":

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Johns County, FL to-wit:

For a Point of Beginning, commence at a point on the North line of Artillery Lane, 49 feet West of the Southeast corner of Block 28, of the City of St. Augustine, Florida, which Southeast corner of said Block 28 is 16 feet 7 inches West of the East line of Charlotte Street and which point of beginning is 61 feet 4 inches East of the East side of the Library Building on the West side of Aviles Street. From said Point of Beginning run thence Northerly 55 feet 3 inches to a point 46 feet 8 inches Westerly from the Northeast corner of Lot Three (3) of said Block 28, thence run Easterly 2 feet 6 inches to the East line of said Lot 2, of said Block 28, thence run Northerly along the East line of said Lot 2, 7 feet, more or less, to the South side of a brick wall, thence run Westerly along the South side of said brick wall to the East line of Aviles Street, thence run Southerly along the East line of Aviles Street 62 feet, more or less to the North line of Artillery Lane thence run Easterly along the North line of Artillery Lane 42 feet, more or less to the Point of Beginning.

Parcel Identification Number: 198930-0000

Subject to taxes for 2017, and subsequent years, and covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

Grantor, Shawn D. Griffin and Gina M. Griffin, warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it Grantor's spouse's homestead, nor is it contiguous to or a part of Grantor's homestead property. Grantor's residence and homestead address is: 555 Theodore Street, St. Augustine, FL 32084.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2016.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Victoria Cuevas

Witness

Victoria Cuevas

Print Name

Shawn Wood

Witness

Stephen Difato

Print Name

Shawn D. Griffin

Shawn D. Griffin

Gina M. Griffin

Gina M. Griffin

State of Florida
County of St. Johns

The foregoing instrument was acknowledged before me this 22 day of December, 2017 by Shawn D. Griffin and Gina M. Griffin who is/are personally known or has/have produced a driver's license as identification.

[Notary Seal]



Shawn Wood

Notary Public

Detail by Entity Name

Florida Limited Liability Company
RED MOON PROPERTIES, LLC

Filing Information

Document Number L17000099745
FEI/EIN Number 82-1448533
Date Filed 05/04/2017
Effective Date 05/04/2017
State FL
Status ACTIVE

Principal Address

6348 COSTANERO ROAD
ST. AUGUSTINE, FL 32080

Mailing Address

1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Registered Agent Name & Address

BISHOP, HAROLD D
1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Authorized Person(s) Detail

Name & Address

Title AMBR

BISHOP, HAROLD D
1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Title AMBR

BISHOP, JENNIFER C
1093 A1A BEACH BOULEVARD
ST. AUGUSTINE, FL 32080

Annual Reports

Report Year	Filed Date
2018	06/28/2018

Document Images

[06/28/2018 -- ANNUAL REPORT](#) [View image in PDF format](#)

[05/04/2017 -- Florida Limited Liability](#) [View image in PDF format](#)



**CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION**



- CERTIFICATE OF DEMOLITION**
 CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full/\$150.00 partial (plus advertising costs) BDAC Project No. _____

Receipt No. 1410782 Meeting Date Aug. 16, 2018

Advertising Costs \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT RED MOON PROPERTIES LLC

Business (if applicable) _____

Address 1093 A1A BEACH BLVD #401

City ST AUGUSTINE State FLORIDA Zip 32080

Daytime telephone (904) 990-3805 Other phone/email _____

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER RED MOON PROPERTIES LLC

Business (if applicable) _____

Address 1093 A1A BEACH BLVD #401

City ST AUGUSTINE State FLORIDA Zip 32080

Daytime telephone (required) (904) 990-3805 Other phone _____

3. PROJECT STREET ADDRESS 9 AVILE STREET, ST AUGUSTINE, FL, 32084

4. LEGAL DESCRIPTION OF PROPERTY

Lot 2 Block 28 Subdivision _____ Parcel Number 198930-0000

5. DATE OF CONSTRUCTION 1911 Source: Historical Library

6. HISTORIC STATUS (check all that apply)

- Designated Local Landmark
- Property individually listed on the National Register of Historic Places
- Contributing building in National Register Historic District
- Listed on Florida Master Site File
- 50 years of age or older

7. PROPOSED PROJECT WORK (check one)

- PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
- FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
- RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: _____

RECEIVED
 JUL 24 2018
 Planning/Building Dept.

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

<u>HISTORIC</u>	<u>NOT HISTORIC</u>	<u>NOT SURE</u>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- Photographs and/or drawings of elevations and architectural features to be removed.
- Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- Photographs of existing conditions including façades of the building and interior features if applicable.
- Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - The assessed value of the property according to the two (2) most recent assessments;
 - The real estate taxes for the previous two (2) years.
 - The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
 - o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
 - Photographs of existing conditions including façade of the building.
 - If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Red Moon Properties LLC DATE 7/24/2018

SIGNATURE OF APPLICANT c/o Harold Bishop 

PRINT 1st OWNER'S NAME Red Moon Properties LLC DATE 7/24/2018

SIGNATURE OF 1st PROPERTY OWNER c/o Harold Bishop 

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

APPLICATIONS FOR CERTIFICATES OF DEMOLITION AND RELOCATION

The applicant shall submit a completed application on or before the monthly deadline in order for it to be placed on the following month's Historic Architectural Review Board (HARB) agenda. The board meets the third Thursday of each month unless otherwise scheduled. Failure to submit a substantially complete application may result in a continuance of the request.

In the event that the property owner is not a governmental agency; licensed business or company; incorporated organization; or an administered estate, all property owners of record must sign the application.

All Certificate of Demolition applications are reviewed by city staff for consistency and compliance with the 2011, 4th edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. (Copies of this document are available for a fee upon request.) Guidelines include consideration of historic and architectural significance; uniqueness of the building; existing conditions; and potential for relocation.

Within zoning districts HP-1, HP-2 and HP-3, HARB may approve a Certificate of Appropriateness for a replacement structure before approving a Certificate of Demolition. These applications may be reviewed concurrently.

For buildings relocated within any historic preservation zoning district a Certificate of Appropriateness is required for the building's new location.

PUBLIC NOTICE REQUIREMENTS (costs to be assessed to the applicant)

Certificates of Demolition shall meet the following public notice requirements:

1. *Mailed notices* - The applicant shall notify not less than ten (10) days in advance of the date of public hearing, via the United States Postal Service, all adjacent property owners within 150 feet of the boundaries of the subject property. A list of owners is provided by the Planning & Building Department. The applicant shall produce evidence that the mailing was completed by the deadline.
2. *Legal ad* - The city shall publish a legal advertisement for the application in a newspaper of general circulation not less than ten (10) days prior to the public hearing.
3. *Signs* - The city shall post a sign on each street frontage of the property in full view of the public providing notification of the pending hearing not less than seven (7) days in advance of the meeting. The sign shall be maintained by the applicant until final determination has been made.

BOARD REVIEW

Members of HARB review each application at a public hearing where all interested parties have an opportunity to be heard and present evidence. It is the duty of board members to weigh the evidence and render a decision. The board may approve, approve with conditions, continue or deny an application. Conditions that may be stipulated for demolitions include architectural salvage, pre-approval for the design of any new construction, and/or archival documentation of the existing building. Also the board has the option to postpone any demolition for two, 12-month periods. The proposed demolition of any colonial building or designated local landmark requires additional review and approval by the city commission.

After receiving an approval from the HARB and satisfying any stipulated conditions, the applicant may submit a building permit application for demolition based on the approved HARB order of demolition which is effective on the 31st day following the date of the rendered order. Please note that city inspection of the property and a building permit is required before the actual demolition can begin. In certain areas of the city an archeological permit may also be required.

When construction of the new structure is delayed, the site must be cleared and sodded within thirty (30) days of the demolition or relocation. In historic preservation zoning districts (HP-1 through 5) the vacant property must be enclosed by a solid board fence at least 5 ½ feet high.



**ATLANTIC
ENGINEERING
SERVICES**

6501 Arlington Expy
Building B, Suite 201
Jacksonville, FL 32211
PH: 904.743.4633
FX: 904.725.9295
jax@aespi.com
www.aespi.com

July 6, 2018

Mr. John Regan
City Manager
City of St. Augustine
75 King Street
St. Augustine, FL 32084

RECEIVED
JUL 24 2018
Planning/Building Dept.

Re: 9 Aviles Street Structural Evaluation

AES Project: #318-225

Dear Mr. Regan:

Per your request, Atlantic Engineering Services of Jacksonville, Florida (AES) visited the existing building at 9 Aviles Street to review the structural integrity of the building. Present at the site was Ms. Nancy Shaver, Mayor; Mr. John Regan, City Manager; Mr. David Birchim, Building Official; Mr. Richard Shauland, Building Official; and Mr. Jude Kostage, AES.

The existing building is a one-story wood framed building with a stucco veneer and a hipped roof, framed with wood trusses and wood rafters. There is a parapet on three sides of the building and on the north face, the building abuts a two-story building. It is assumed the building is supported on shallow foundations.

The following was observed:

- a. The west wall facing Aviles Street has visibly buckled several inches towards the street. The wall framing has been modified in previous renovations which has weakened the wall. Furthermore, the beam at the top of the wall is severely deteriorated and has rolled causing the wall to buckle. This wall supports the roof structure and no longer has the structural integrity to support the applied roof loads.
- b. The south and east walls also have significant deterioration and have a noticeable buckle at the bearing elevation of the roof.
- c. The stucco cladding was applied directly over the stud wall framing without sheathing or waterproofing to protect the wood structure, causing the wood framing to deteriorate.
- d. The parapet around the building traps water on the roof to drain through a box gutter. It is likely this gutter has been leaking and is also causing the framing to deteriorate.
- e. The north wall directly abuts the adjacent building and is in fair condition. However, this wall should be a fire-rated wall separating the two buildings and it currently is not a rated wall.
- f. The roof framing is in fair condition with some of the rafter and truss ends visibly deteriorated and in need of repair.

Based on our observations, the building is unstable and is in imminent danger of collapse. We recommend that Aviles Street in front the building remain closed until the building is stabilized or demolished. The west, east and south walls need to be completely replaced and the existing foundations supporting these walls need to be investigated to determine the condition of these foundations. The only structural element of the building that can be saved is the roof framing. However, it would require extensive shoring to support and stabilize the roof to replace the walls. Furthermore, the roof will require structural repairs and likely additional reinforcement to comply with current codes.



In summary, the building at 9 Aviles street is in extremely poor condition and is in imminent danger of collapse. The load bearing walls require replacement and the roof structure requires repairs. Based on the condition of the building and extent of the required shoring to stabilize the structure, it is our opinion that it would not be economically feasible to salvage the roof structure and unfortunately the building should be demolished to protect life and property. Aviles Street should remain closed until the building is stabilized or demolished.

Please contact our office if there are any questions regarding this correspondence, or if you need any additional information or assistance.

Very truly yours,
ATLANTIC ENGINEERING SERVICES OF JACKSONVILLE
FLORIDA CERTIFICATE OF AUTHORIZATION #791

Jude T. Kostage, P.E.
Senior Associate

JTK/LNI/MJK



7/06/18

RECEIVED
JUL 24 2018
Planning/Building Dept.

HERSCHEL E. SHEPARD 1661 BEACH AVENUE ATLANTIC BEACH, FLORIDA 32233 904-249-9040

July 6, 2018

Mr. John P. Regan, City Manager
P.O. Box 210
St. Augustine, FL 32085-0210

RE: Structure at 9 Aviles Street

Dear John:

Thanks again to you and Commissioner Nancy Sikes-Kline for the opportunity to examine the historic structure at 9 Aviles Street with you this morning. I am pleased to offer the following observations.

In short, I agree with the conclusions of the structural engineers who have examined the building and recommend its demolition. In addition, I agree that Aviles Street can be opened to the public during demolition if special precautions are taken as noted below.

Although this 1911 building is a contributing structure to the National Register Historic District and preserves certain materials and construction methods of the early 20th century, numerous alterations over the years have removed most evidence of its original and early use. The surviving wall framing and stucco finishes are severely deteriorated and do not warrant restoration. Thus, in my opinion the building should be demolished and replaced with a structure compatible with the historic district, certain items representing the materials and construction methods of original construction should be salvaged as noted below, and most importantly, this very important archaeological site should be thoroughly investigated.

Special precautions must be taken to provide lateral stability for the existing walls and roof during all stages of demolition. In addition, all roof framing that bears upon the west wall of the building should be separately shored and braced as recommended by structural engineers. All stages of demolition should provide as much safe public access to Aviles Street as possible. During demolition, items that should be salvaged for archival use include the terra-cotta (?) columns and bell in the west wall and the terra-cotta roof tiles on the parapets.

This site is in Archaeological Zone I-B which contains "historic resources from the 16th through the 20th centuries, specifically including the earliest areas of the downtown portion of the city." For this reason the site should be thoroughly investigated by the City Archaeologist. In preparing the site for archaeological investigation the demolition contractor should remove the existing concrete floor slab throughout the building and take care not to excavate below the bottom of the slab. Note that there is evidence that the existing slab was poured over an earlier slab; all must be removed.

In concluding, it is important to document the existing structure with photographs before demolition commences as required by the demolition ordinance and permit. The roof trusses and hipped rafters are of particular interest.

Sincerely yours,

Herschel E. Shepard
Herschel E. Shepard, FAIA Emeritus
Professor Emeritus, UF School of Architecture

Cy: Commissioner Sikes-Kline; Jennifer Wolfe HPO

RECEIVED
JUL 24 2018
Planning/Building Dept



Lou Pontigo & Associates, Inc.

CONSULTING STRUCTURAL ENGINEERS

420 Osceola Avenue, Jacksonville Beach, Florida 32250

Ph: (904)242-0908

Fax: (904)241-9557

July 3, 2018

David Bishop
Red Moon Properties, LLC
6377 Putnam St.
St. Augustine, FL 32080

Project: 9 Aviles St.
St. Augustine, Florida

Pursuant to your request, I visited this site this morning to perform a visual condition assessment of the subject building with the intent of providing shoring recommendations to stabilize the existing building. Based on the site visit it became clear that the building's roof and walls are in such poor condition that it would be dangerous for field personnel to work inside the building during any shoring operation. All of the building walls are severely deteriorated from rot and water damage. The front façade, including the roof to front wall framing intersection are so severely rotted that the front wall plane has recently shifted to the west cracking the front wall and parapet stucco. This is an integral connection between the roof and wall that has been completely compromised. Any accidental sudden impact of the wall structure could cause the roof to collapse. Given the small site constraints and limited access in and out of the building it would be impossible to control a safe work area to stage and install the necessary shoring.

It's my recommendation that the building be demolished as soon as possible in a controlled manner to avoid any damage to adjoining buildings, field personnel and pedestrians.

If you have any questions please contact us any time.

Sincerely,



Luis Pontigo, P.E.
06/03/18

Luis A
Pontigo

Digitally signed by Luis A Pontigo
DN: cn=Luis A Pontigo, o=LP & A
Pontigo, email=Luis@lpandassociates.com, c=US
09.2402.15200908.1001.1-0.01297C01
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Date: 2018.07.03 16:23:51 -0400

RECEIVED
JUL 24 2018
Planning/Building Dept.

Your 'Solutions' Consultant



Land Development-Permitting-Utilities

1928 River Lagoon Trace -- St. Augustine, Florida -- 32092

April 10, 2018

To: Historical Preservation Committee
Attn: Jenny Wolfe

Reference: Structural Integrity of the building at 9 Aviles Street

Mrs. Wolfe

RGM Engineers, Inc. has performed another inspection of the above referenced address. At the time of this inspection there had been some demolition within the structure. The wood studs and exterior walls are all exposed now from the inside to allow a more thorough inspection of the structural members.

All of the main structural exterior walls are severely rotten and unstable. The roof of the structure has been previously attempted to be repaired. The roof repair consists of over spanned lumber that also contains severe wood rot.

This building is currently in an unsafe condition and should be secured from any entry. This structure could collapse at any time with any significant weather event or any more demolition. The wood contained in the structure is not serviceable or structurally sound and should be completely demolished.

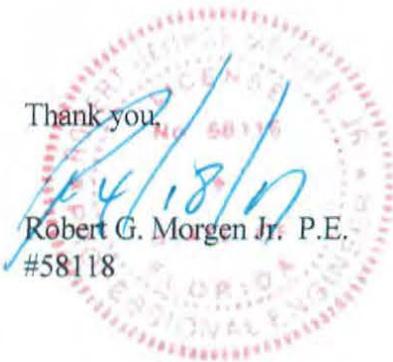
Previous inspections provided by RGM Engineers include a structure at 48 Osceola in the historic district.

If I can be of any further assistance, please feel free to contact me at 904-814-7633.

Thank you.

Robert G. Morgen Jr. P.E.

#58118



RECEIVED
JUL 24 2018
Planning/Building Dept.

THE ST. AUGUSTINE RECORD
Affidavit of Publication

CITY OF ST AUGUSTINE
PO BOX 210

SAINT AUGUSTINE, FL 32085

ACCT: 15560
AD# 0003073313-01

PO#

PUBLISHED EVERY MORNING SUNDAY THROUGH SATURDAY
ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF ST. JOHNS

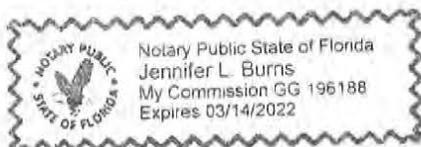
Before the undersigned authority personally appeared JAMIE WILLIAMS who on oath says he/she is an Employee of the St. Augustine Record, a daily newspaper published at St. Augustine in St. Johns County, Florida; that the attached copy of advertisement being a **NOTICE OF HEARING** in the matter of **HARB 9 Aviles Street** was published in said newspaper on **08/06/2018**.

Affiant further says that the St. Augustine Record is a newspaper published at St. Augustine, in St. Johns County, Florida, and that the said newspaper heretofore has been continuously published in said St. Johns County, Florida each day and has been entered as second class mail matter at the post office in the City of St. Augustine, in said St. Johns County, Florida for a period of one year preceding the first publication of the attached copy of advertisement; and affiant further says the he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing this advertisement for publication in said newspaper.

Sworn to and subscribed before me this _____ day of AUG 06 2018

by Jamie Williams who is personally known to me or who has produced as identification

Jennifer L. Burns
(Signature of Notary Public)



NOTICE OF
PUBLIC HEARING

Notice is hereby given of a public hearing by the Historic Architectural Review Board to be held at 1:00 PM, Thursday, August 16, 2018, in The Alcazar Room at City Hall, St. Augustine, Florida, at which time comments are invited on the following:
CERTIFICATE OF DEMOLITION TO DEMOLISH A BUILDING CONSTRUCTED IN 1911 THAT IS LISTED IN THE FLORIDA MASTER SITE FILE AND IS A CONTRIBUTING TO THE ST. AUGUSTINE HISTORIC DISTRICT. (AFTER THE FACT); CITY OF ST AUGUSTINE 562FT OF LOT 2 IN OR6/536 62FT ON AVILES ST X 42FT ON ARTILLERY LANE BLK 28 OR4483/35; also known as 9 Aviles Street.
APPLICANT'S NAME: Red Moon Properties LLC
SUBMITTED BY CITY CLERK'S OFFICE
0003073313 August 6, 2018





CITY OF
ST. AUGUSTINE.
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION
Prepared for August 16, 2018 Meeting



Application F2018-0104

Address: 101 South Street

Ronald L. Bailey, Applicant and Owner

Project description: To demolish a building constructed in 1954 that does not contribute to the Lincolnville National Register Historic District and that is not listed in the Florida Master Site File.

Architectural Style:	Masonry Vernacular	Florida Master Site File:	N/A
National Register:	Noncontributing to the Lincolnvile National Register Historic District	Construction date:	1953 or 1954
Archaeology Zone:	IIIA	Zoning District:	RS-2
Parcel number:	212070 0000		
Agenda Item:	8(b)	Previous Action(s):	N/A

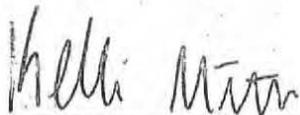
STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a Certificate of Demolition to demolish a building constructed in 1954 that does not contribute to the Lincolnvile National Register Historic District and that is not listed in the Florida Master Site File.

- 101 South Street is on the same parcel of land as 152 Martin Luther King Street but, according to the applicant, only 101 South Street is being demolished.
- Based on Sanborn Maps, the footprint of the building has not been altered.
- No significant historical connection was found, and the building has little architectural significance.
- No condition assessment was provided and is not required since the building does not contribute to the Lincolnvile National Register District.
- No information was provided about a replacement building.
- Demolition could meet the ground disturbance criteria outlined in the APO. Archaeological monitoring of the demolition or the minimization of ground disturbance (i.e., no excavation of subsurface foundations) is recommended.

STAFF RECOMMENDATION:

Based on a review of the AGHP and without the support of evidence to the contrary, staff finds that the board can **Approve a Certificate of Demolition for 101 South Street.**



Kelli Mitchell, Historic Preservation Planner

Eligibility for Demolition Review (Section 28-87(3), CoSA Code of Ordinances)

The Historic Architectural Review Board (HARB) is responsible for the review of all applications for demolition permits for structures that are fifty (50) years of age or older, listed on the Florida Master Site File, or designated as an historical landmark (as defined by Sec. 28-87.10)

National Register Status (Section 28-89, CoSA Code of Ordinances)

A property currently listed on the National Register of Historic Places individually or as a contributing structure in an historic district is afforded additional scrutiny in the demolition review process by: 1) requiring submittal of a condition assessment report performed by a qualified professional; 2) requiring the applicant to prove "undue economic hardship" to justify demolition; and 3) allowing HARB the option to deny the demolition request if an undue economic hardship is not proven and removal of the building or structure will be detrimental to the historic and architectural character of the city.

Local Landmark Designation (Section 28-87(3) & (10), CoSA Code of Ordinances)

HARB is assigned the authority of reviewing all applications for demolition permits for primary structures... for potential designation as an historical landmark. Local "historical landmarks" are defined as a building, object, site or structure of the highest historical, architectural, cultural or archaeological importance and whose demolition, removal, relocation, or alteration would constitute an irreplaceable loss to the character and quality of the city.

Conditions for Demolition Approval (Section 28-89(2)d, CoSA Code of Ordinances)

HARB has the discretion in its review of an application for Certificate of Demolition to require, as conditions for approval, one or more of the following:

- Design of Replacement Building - *As a condition of issuing a certificate of demolition, the board may require the replacement design be approved by the board and that no permit be issued for the demolition of said structure until drawings sufficient for a building permit and all necessary requirements for the construction of a new building have been submitted for the new construction.*
- Architectural Salvage - *As a condition of issuing a certificate of demolition, the board may require, at the applicant's expense, salvage and preservation of significant building materials, architectural details and ornaments, fixtures, and the like for reuse in restoration of other historic properties.*
- Archival Documentation - *The board may also require at the applicant's expense the recording of the structure for archival purposes prior to demolition. The recording may include, but shall not be limited to, photographs and measured drawings.*

According to the property accessor, the building was constructed in 1954. The structure is not listed on the Florida Master Site File and is not a contributing building to the Lincolnville National Register Historic District.

The application requirements are sufficiently met.

DEMOLITION REVIEW CRITERIA (AGHP):

- 1. Whether or not the structure is within or is immediately facing a locally designated historic preservation zoning district.** Not applicable.
- 2. The contribution of the structure to the mass and scale of the streetscape.** Though smaller than many of the other buildings on the street, the building contributes to the streetscape which includes buildings of similar mass and scale.
- 3. The impact of the loss of the structure on the streetscape.** Demolition of the structure will reduce the visual continuity of the streetscape immediately around the building.
- 4. Whether or not the structure will be replaced and the impact of a replacement structure, or lack thereof, on the streetscape.** No drawings were provided for a replacement structure, and there is no indication that the building will be replaced. Having an empty lot in this neighborhood will negatively impact the streetscape as there are few empty lots in the immediate area.
- 5. The historical or cultural merit of the structure.** The building is located in the Lincolnville National Register District but is a noncontributing structure to the district. The building has had several residents to include O.C. Batten (1953/1954 City Directory), Fred Sparrow (1955 City Directory), Frank Allen (1960 City Directory), Mrs. Janie Peebles (1965 City Directory), Marg. L Hampton (1975 City Directory), Corona Bailey (1979/1980, 1984/1985, 1990, and 1995 City Directories), Eliza Edwards (2000 City Directories).
- 6. The impact of the loss of the structure on the historical or cultural integrity of the city, district and neighborhood.** There is no historic designation for this building and no known historic or cultural significance for the building individually.
- 7. Whether or not the structure is representative of a style or type of architecture or a method of construction.** The building is an example of masonry vernacular architecture.
- 8. Whether or not the structure is one of the last surviving examples of its style or type of architecture or a method of construction.** There are multiple examples of masonry vernacular architecture in St. Augustine.
- 9. Whether or not the structure is of such design, craftsmanship or materials that it either could not be reproduced, or could be reproduced only with great difficulty or expense. The condition of the structure, and the possibility of rehabilitating or relocating the structure.** There is not a high degree of craftsmanship that would make reproduction of the building difficult.
- 10. The justification for the proposed demolition.** No information was provided to explain why the building needs to be demolished. The building is in poor condition, however.

UNREASONABLE OR UNDUE ECONOMIC HARDSHIP:

Defined as an onerous and excessive financial burden that would be placed upon a property owner by the denial of a certificate of demolition or a similar burden which would be placed on a property owner by conditions which the Commission seeks to place on the granting of a certificate. (Section 28-2 CoSA Code of Ordinances)

Is applicant entitled to a Certificate of Demolition independent of any hardship? Yes No

Did applicant submit evidence of undue economic hardship? Yes No

In any instance where an undue economic hardship, as defined in this chapter, is claimed by a property owner, the property owner may submit to the board any or all of the following information before the board makes a decision on the application for certificate of demolition: (Section 28-89(3) b, CoSA Code of Ordinances)

(Materials submitted by applicant noted with a checked box)

- 1. An estimate of the cost of the proposed construction, alteration, demolition, or removal;
- 2. The estimated market value of the property in its current condition; after completion of the proposed construction, alteration, demolition, or removal; and, in the case of a proposed demolition, after renovation of the existing property for continued use;
- 3. In the case of a proposed demolition, an estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property;
- 4. The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period;
- 5. The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years;
- 6. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property;
- 7. Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years;
- 8. The assessed value of the property according to the two (2) most recent assessments;
- 9. The real estate taxes for the previous two (2) years;
- 10. The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, joint venture, or other;

Any other information considered necessary by the board to a determination as to whether the property does yield or may yield a reasonable return to the property owner. The board may require that the property owner furnish such additional information as the board believes is relevant to the board's determination of any alleged undue economic hardship. No decision of the board shall result in undue economic hardship for the property owner. In any case where undue economic hardship is claimed, the board shall make two (2) specific findings. First, the board shall determine if the owner would be entitled to a certificate of demolition without consideration of undue economic hardship. Second, the board shall determine whether the owner demonstrated an undue economic hardship.

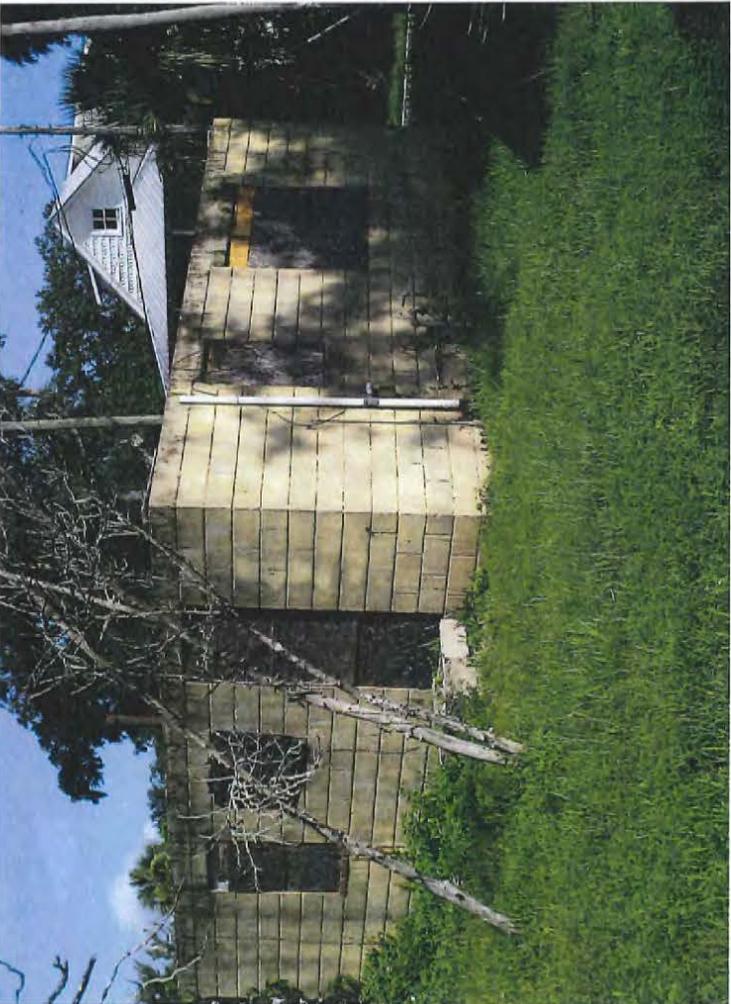
Additional information requested by HARB as per above:

COD F2018-0104
101 South Street
August 16, 2018

LIST OF ATTACHMENTS:

1. Staff Photographs
2. Sanborn Maps
3. City Directory Research
4. Florida Master Site File

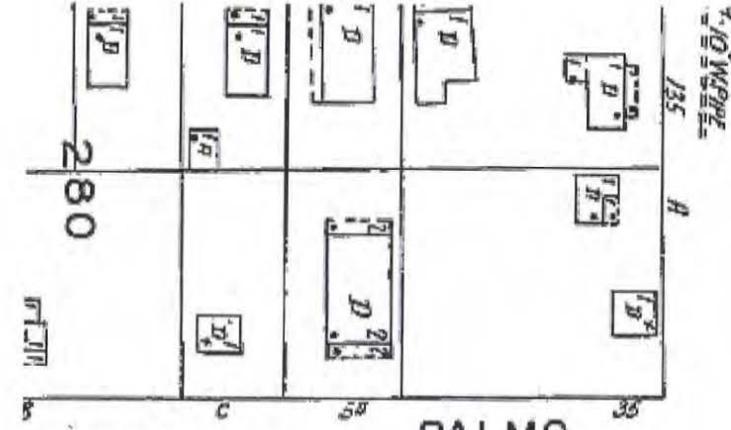




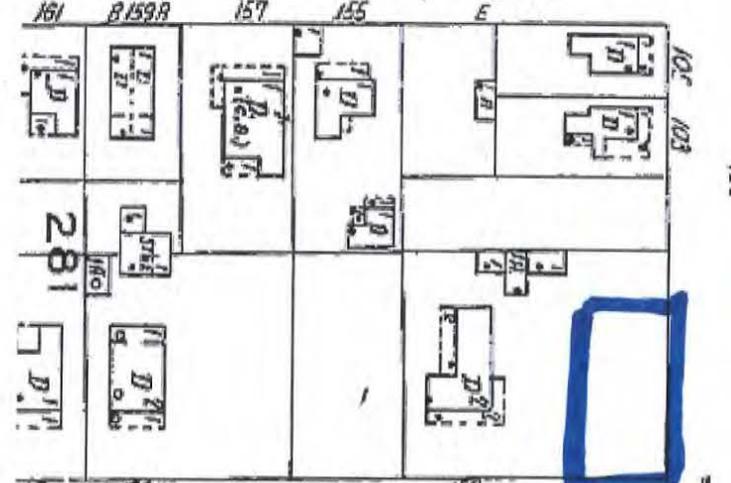
SAHS POLK CITY DIRECTORY RESEARCH

101 South St.

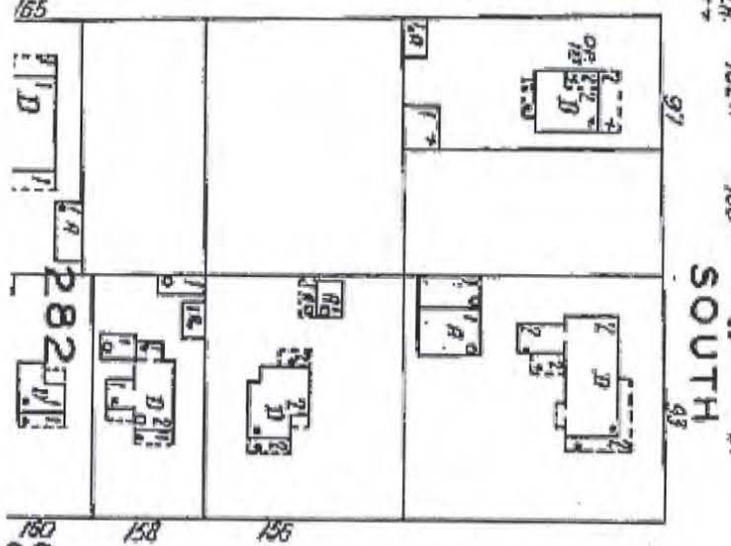
DATE(S)	NAME	SYMBOLS	PROFESSION
1953/1954	O.C. Batten		
1955	Fred Sparrow		
1960	Frank Allen		
1965	Mrs. Janie Peebles		
1975	Marg. L Hampton		
1979/1980	Corona Bailey		
1984/1985	Corona Bailey		
1990	Corona Bailey		
1995	Corona Bailey		
2000	Eliza Edwards		
Dec. 2005	Address Not Listed		
Dec. 2006	Address Not Listed		

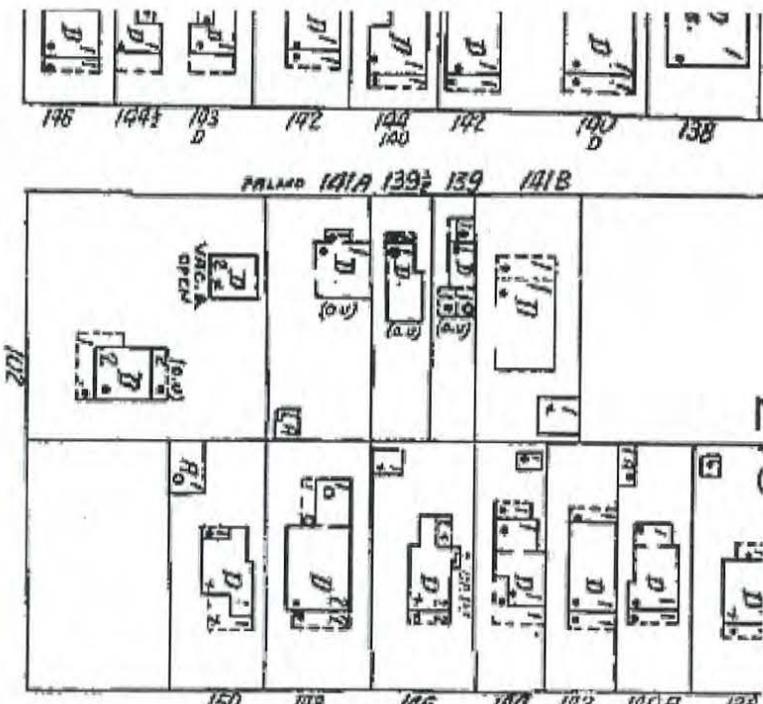
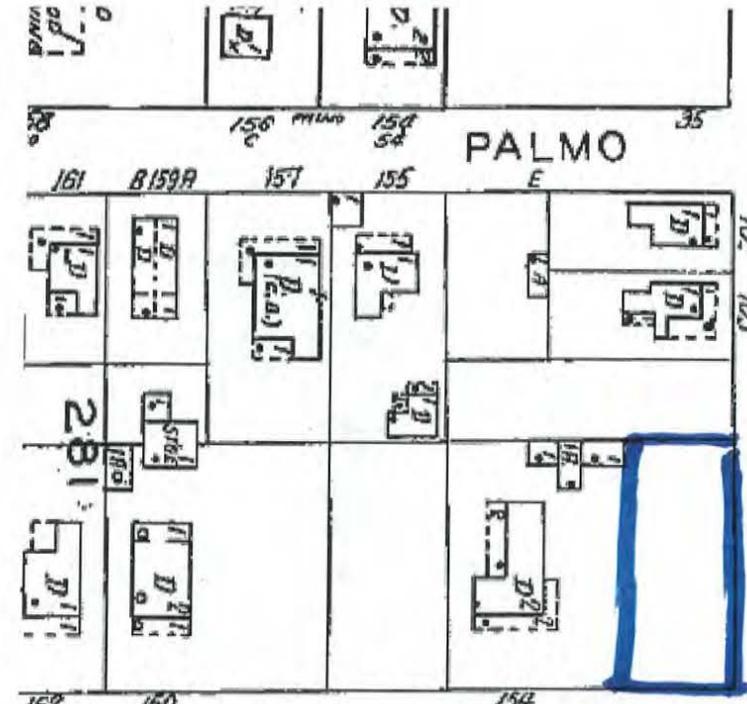


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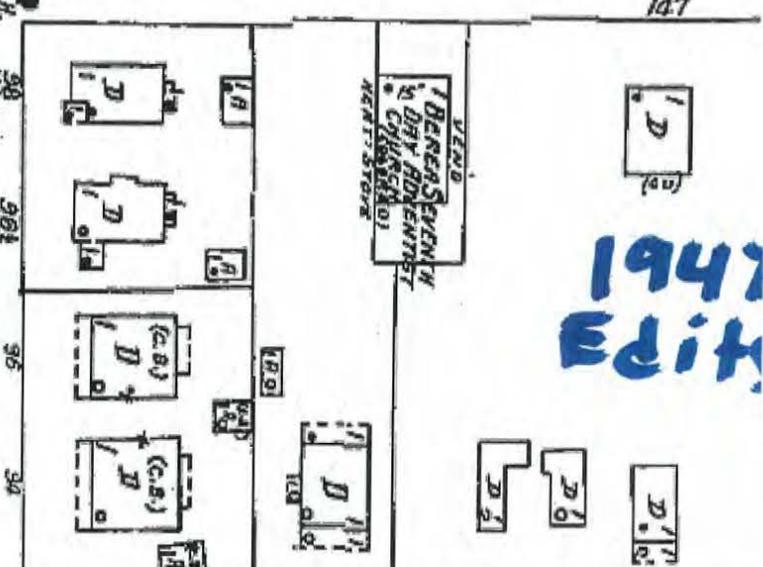
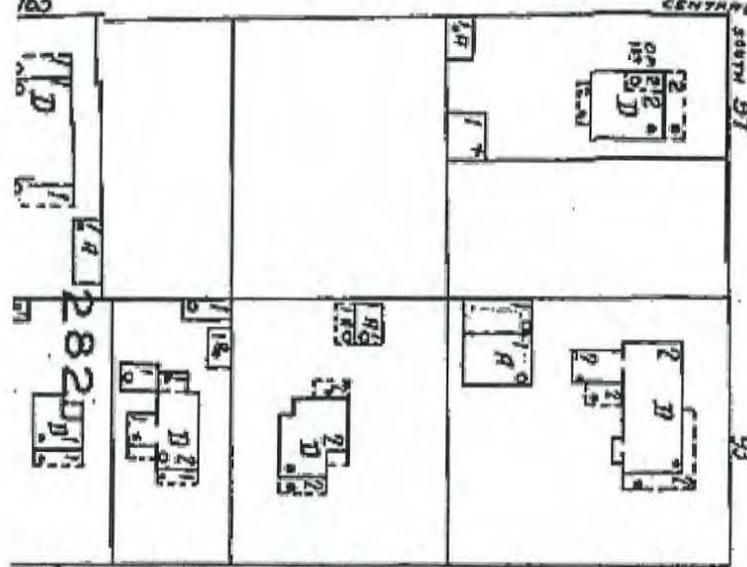


CENTRAL

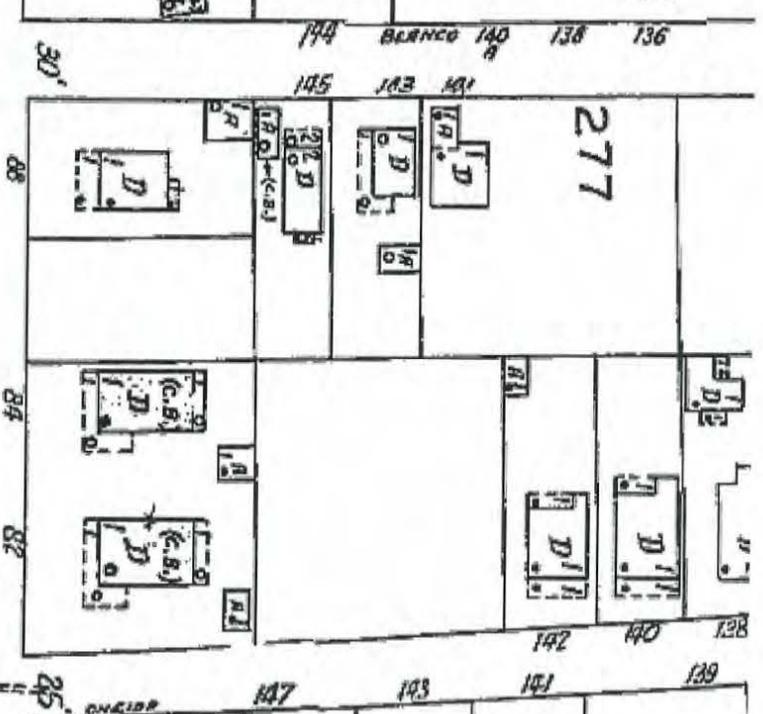
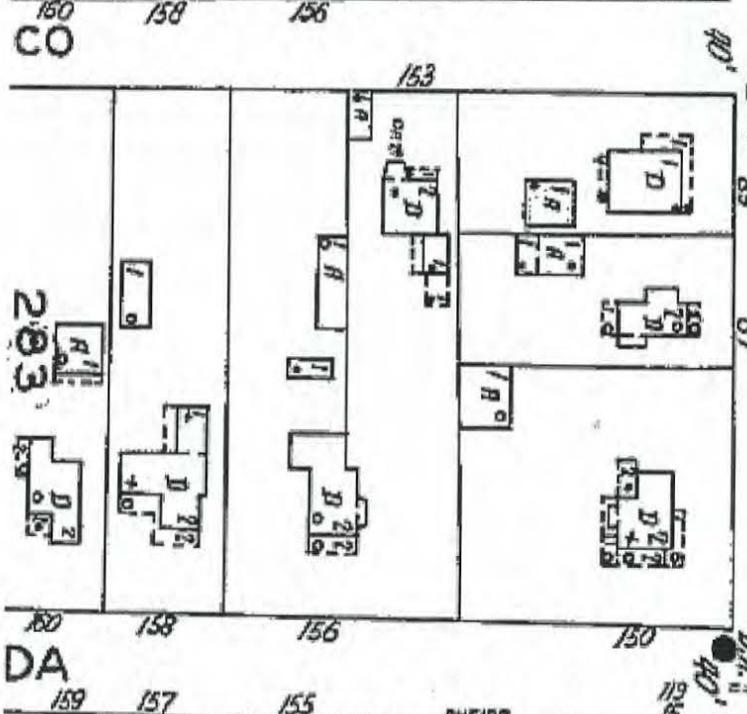




PALMO E
CENTRAL AV.

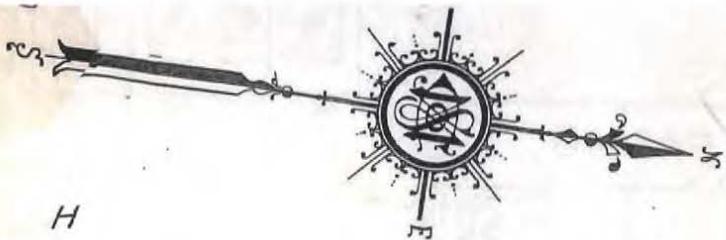


SOUTH



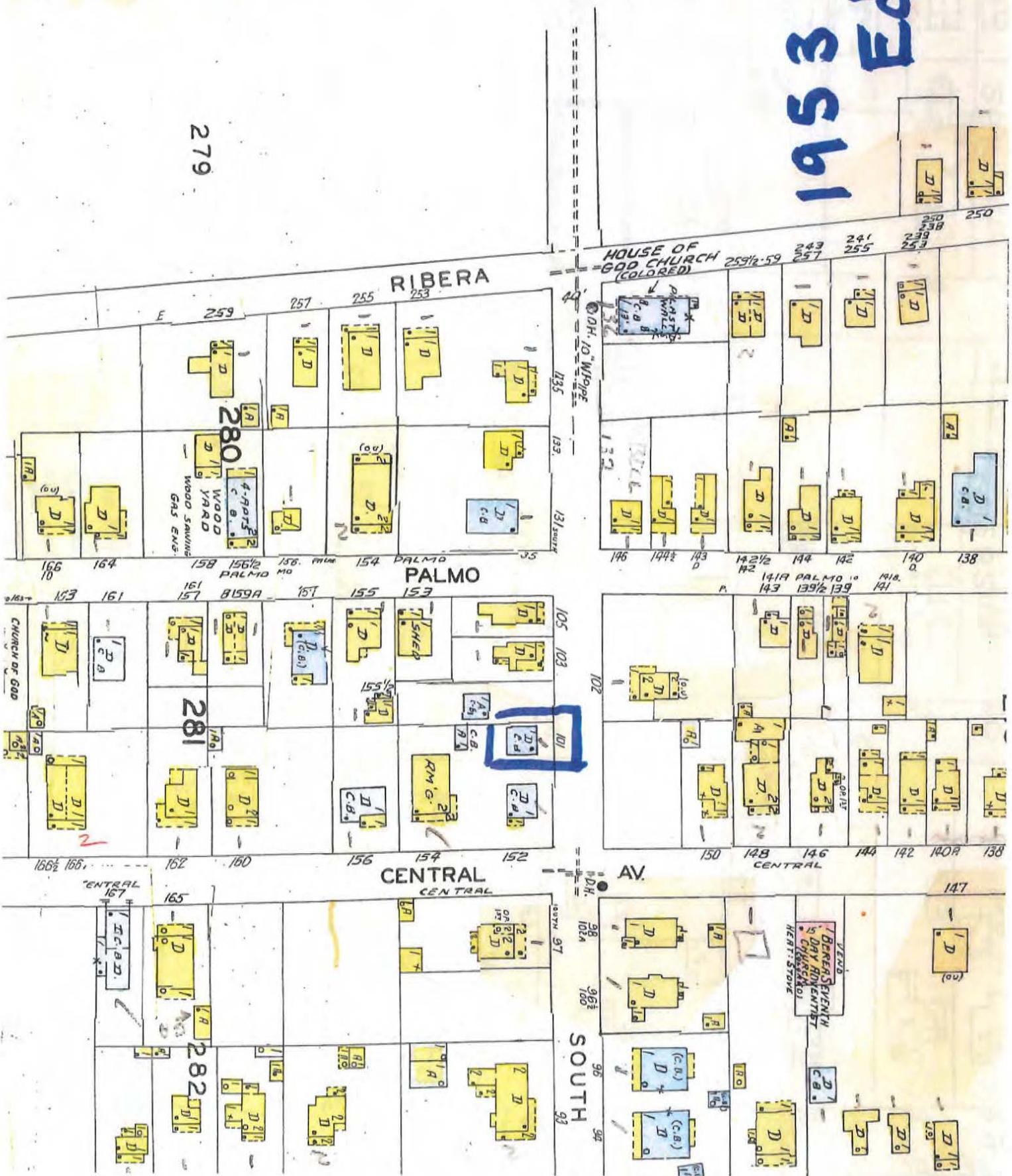
1947
Map

M A R S H



1953 E 561

279



HOUSE OF GOD CHURCH (COLORED)

WOOD SAWING GAS ENG. WOOD YARD

BERESSENTIN DAY RENTMENT CHURCH (HERT. STOVE)

CHURCH OF GOD

RIBERA

PALMO

CENTRAL

AV.

SOUTH

280

281

282



CENTRAL

AV.

SOUTH

279

1953 E 561

HOUSE OF GOD CHURCH (COLORED)

WOOD SAWING GAS ENG. WOOD YARD

BERESSENTIN DAY RENTMENT CHURCH (HERT. STOVE)

CHURCH OF GOD

RIBERA

PALMO

CENTRAL

AV.

SOUTH

280

281

282



CENTRAL

AV.

SOUTH

279

1953 E 561

RECEIVED

JUL 10 2018

CITY OF ST AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD
APPLICATION



- CERTIFICATE OF DEMOLITION
- CERTIFICATE OF RELOCATION

Application Fee: \$300.00 full / \$150.00 partial (plus advertising costs) BDAC Project No. 2018-0104

Receipt No. 1401341 CR Meeting Date 8/16/18

Advertising Costs \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT Ronald L. Bailey
 Business (if applicable) _____
 Address P.O. Box 6282
 City Woodbridge State VA Zip 22195
 Daytime telephone 703-508-7020 Other phone/email _____

***Correspondence related to this application will be based on the above information

2. NAME OF PROPERTY OWNER Ronald L. Bailey Jr
 Business (if applicable) _____
 Address P.O. Box 6282
 City Woodbr. Jge State VA Zip 22195
 Daytime telephone (required) 910-496-6256 Other phone _____

3. PROJECT STREET ADDRESS 101 South St

4. LEGAL DESCRIPTION OF PROPERTY
Lot 344 Block 5 Subdivision Buena Esperanza Parcel Number 212070-0000

5. DATE OF CONSTRUCTION 1950 Source: _____

6. HISTORIC STATUS (check all that apply)
- Designated Local Landmark
 - Property individually listed on the National Register of Historic Places
 - Contributing building in National Register Historic District
 - Listed on Florida Master Site File
 - 50 years of age or older

7. PROPOSED PROJECT WORK (check one)
- PARTIAL DEMOLITION - Permanent removal of any significant architectural features including porches, dormers, chimneys, walls, additions, etc.
 - FULL DEMOLITION - The complete razing of a building resulting in its permanent removal.
 - RELOCATION - The moving of all or part of a building from one property and placing it on a different property. Also the shifting or reorientation of all or part of a building on the same property.

8. PROPOSED REPLACEMENT BUILDING/FEATURE: _____

9. FOR PARTIAL DEMOLITION PROJECTS ONLY

A. Indicate architectural features to be permanently removed (check all that apply):

HISTORIC	NOT HISTORIC	NOT SURE	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building addition
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Outbuilding/Accessory building
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof structures (dormers, chimneys, etc.) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Porch/Deck/Balcony Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Exterior finishes (stucco, masonry, siding) Specify: _____
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Fenestration (arrangement of windows and doors)

B. Required submittals:

- Photographs and/or drawings of elevations and architectural features to be removed.
- Drawings of proposed improvements and replacement features as applicable.

10. FOR FULL DEMOLITION PROJECTS ONLY

A. Required submittals for all full demolition projects:

- Photographs of existing conditions including façades of the building and interior features if applicable.
- Drawings of proposed replacement buildings and or features if applicable.

B. Required submittals for buildings designated as Local Landmarks, individually listed on the National Register of Historic Places, or a contributing building in a National Register Historic District:

- Condition assessment report* - A report from an architect or structural engineer licensed in the State of Florida with demonstrated experience in historic restoration/rehabilitation as to the structural soundness of the building and its adaptability for continued use.
- Proof of unreasonable or undue economic hardship* - the property owner may submit to the board any or all of the following information:
 - An estimate of the cost of the proposed construction, alteration, demolition, or removal.
 - The estimated market value of the property in its current condition and after completion of the proposed construction, alteration, demolition, or removal.
 - An estimate from an architect, developer, licensed contractor, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure on the property.
 - The annual gross income from the property for the previous two (2) years; itemized operating and maintenance expenses for the previous two (2) years; and depreciation deduction and annual cash flow before and after debt service, if any.
 - The remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two (2) years.
 - All appraisals obtained within the previous two (2) years by the owner or applicant in connection with the purchase, financing, or ownership of the property.
 - Any listing of the property for sale or rent, price asked, and offers received, if any, within the previous two (2) years.
 - The assessed value of the property according to the two (2) most recent assessments;
 - The real estate taxes for the previous two (2) years.
 - The form of ownership or operation of the property, whether an individual, sole proprietorship, for profit or not-for-profit corporation, limited partnership, or joint venture.
 - Any other information deemed appropriate by the applicant as to how the property does not yield or may not yield a reasonable return to the property owner.

11. FOR RELOCATION PROJECTS ONLY

- A. Address or location where building is to be moved: _____
- B. Estimated costs:
 - o Purchase price _____
 - o Moving fee (prepared by a licensed and insured building mover) _____
 - o Building rehabilitation _____
- C. Required submittals:
 - Photographs of existing conditions including façade of the building.
 - If the new location is within the city limits, provide a site plan and drawings of any new improvements. (If the building is to be located in a Historic Preservation zoning district, a Certificate of Appropriateness will also be required.)

12. AGREEMENT – Unless the property owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, all owners of record must sign the application. If the applicant is different than the property owner, the application must be signed by both parties.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if the Certificate of Demolition or Certificate of Relocation is approved that a demolition inspection, archeological review, and building permit from the city are required prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME Ronald L Bailey DATE 10 Jul 18

SIGNATURE OF APPLICANT Ronald L Bailey

PRINT 1st OWNER'S NAME Ronald L Bailey Jr DATE 10 Jul 18

SIGNATURE OF 1st PROPERTY OWNER _____

PRINT 2nd OWNER'S NAME _____ DATE _____

SIGNATURE OF 2nd PROPERTY OWNER _____

PRINT 3rd OWNER'S NAME _____ DATE _____

SIGNATURE OF 3rd PROPERTY OWNER _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



City of St. Augustine



St. Augustine, Florida
Nation's Oldest City

Planning/Building

July 24, 2018

Ronald L. Bailey
P.O. Box 6282
Woodbridge, VA 22195

RE: Project Street Address 101 South Street

Mr. Bailey:

Please accept this letter as acknowledgement of your application to the Historic Architectural Review Board meeting scheduled for August 16, 2018. The meeting is scheduled to begin at 1:00 in the Alcazar Room at 75 King Street.

Additionally, this letter notifies you of the sufficiency of your application. Your application is deemed substantially complete. HARB may be interested, however, in how the property will be redeveloped in the future. If possible, please provide information about the future plans for the property.

Additional materials will be accepted in the Planning and Building Department only up to 10 days before the meeting as per Resolution 2010-09. After that, the HARB has the discretion whether or not to consider any other additional materials presented at the meeting and your application may be continued because of its incomplete status, if applicable.

I look forward to reviewing your application in more detail. A copy of the staff report will be mailed to you at the address provided on the application and if you do not receive it before the week of the meeting please contact our department to obtain a copy.

Sincerely,

Kelli Mitchell

Historic Preservation Planner

IMPORTANT NOTICE: Now that the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the code. Costs associated with legal notice will be assessed by the city and must be paid prior to the issuance of any development permit. Costs associated for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing will also be assessed to the applicant.



St. Johns County, FL

Quick Links

- [My Tax Bill](#)
- [Tax Estimator](#)
- [Proposed Hx](#)

TRIM Notice

- [TRIM Notice](#)

Summary

Parcel ID 2120700000
Location Address 152 M L KING AVE
 101 SOUTH ST
 SAINT AUGUSTINE 32084-0000
Neighborhood BUENA ESPR (624)
Tax Description* BUENA ESPERANZA SUB CITY N50FT OF LOTS 3 & 4 BLK 5 OR4475/429(Q/C)
 *The Description above is not to be used on legal documents.
Property Use Code Multi-Family (Less than 10 Units) (0800)
Subdivision Buena Esperanza Subdivision
Sec/Twp/Rng 19-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.140
Homestead N

View Map

Owner

Owner Name Bailey Ronald L Jr 100%
Mailing Address 16016 IMPERIAL EAGLE CT
 WOODBRIDGE, VA 22191-0000

Valuation

	2018
Building Value	\$18,648
Extra Features Value	\$0
Total Land Value	\$109,200
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$127,848
Total Deferred	\$19,737
Assessed Value	\$108,111
Total Exemptions	\$0
Taxable Value	\$108,111

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$18,648	\$185	\$98,280	\$0	\$0	\$117,113	\$98,283	\$18,830	\$98,283
2016	\$18,648	\$185	\$85,312	\$0	\$0	\$104,145	\$89,348	\$14,797	\$89,348
2015	\$18,648	\$185	\$68,250	\$0	\$0	\$87,083	\$81,225	\$5,858	\$81,225
2014	\$19,056	\$185	\$54,600	\$0	\$0	\$73,841	\$73,841	\$0	\$73,841
2013	\$30,308	\$185	\$42,315	\$0	\$0	\$72,808	\$72,808	\$0	\$72,808
2012	\$30,746	\$185	\$36,855	\$0	\$0	\$67,786	\$67,786	\$0	\$67,786
2011	\$31,620	\$185	\$40,950	\$0	\$0	\$72,755	\$72,755	\$0	\$72,755
2010	\$32,494	\$185	\$45,500	\$0	\$0	\$78,179	\$78,179	\$0	\$78,179

Building Information

Building	1	Roof Structure	Gable Hip
Actual Area	484	Roof Cover	Roll Composite
Conditioned Area	484	Interior Flooring	Hardwood
Actual Year Built	1954	Interior Wall	Minimum
Use	Single Family Residence	Heating Type	Forced Air

Style 01 Heating Fuel
 Class N Air Conditioning None
 Exterior Wall Concrete Block Baths

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Roll Composite	100%
Interior Walls	Minimum	100%
Interior Flooring	Hardwood	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	484	484
Total SqFt	484	484

Building 2 Roof Structure Gable Hip
 Actual Area 761 Roof Cover Composite Shingle
 Conditioned Area 696 Interior Flooring Sheet Vinyl
 Actual Year Built 1945 Interior Wall Drywall
 Use Single Family Residence Heating Type Forced Air
 Style 01 Heating Fuel
 Class N Air Conditioning None
 Exterior Wall Concrete Block Baths

Category	Type	Pct
Exterior Wall	Concrete Block	100%
Roofing Structure	Gable Hip	100%
Roofing Cover	Composite Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Sheet Vinyl	100%
Heating Type	Forced Air	100%
Air Conditioning	None	100%
Frame	Masonry	100%
Plumbing	5 Fixtures	100%
Electrical	Minimum	100%
Foundation	Concrete Perimeter Footing	100%
Floor System	Wood Frame	100%

Description	Conditioned Area	Actual Area
BASE AREA	696	696
F OPN PRCH	0	65
Total SqFt	696	761

Extra Features

Code Description	BLD	Length	Width	Height	Units
Residential Fence	0	0	0	0	168

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Multi-Family (Less than 10 Units)	50	100	50	EF	\$109,200

Sales

Recording Date	Sale Date	Sale Price	Instrument			Qualification	Vacant/Improved	Grantor	Grantee
			Type	Book	Page				
12/12/2017	12/12/2017	\$100.00	QC	4475	429	U	I	BAILEY RONALD L	BAILEY RONALD L JR
9/10/1987	8/28/1987	\$0.00	WD	756	1812	U	I	BAILEY CORONA	BAILEY CORONA ***
7/2/1956	8/23/1955	\$0.00	WD	229	190	U	I	DIXON GEORGE, LAURA B	BAILEY CORONA

Area Sales Report

[Recent Sales in Area](#)

Clerk of Court

[Clerk of Court](#)

Tax Collector

[My Tax Bill](#)

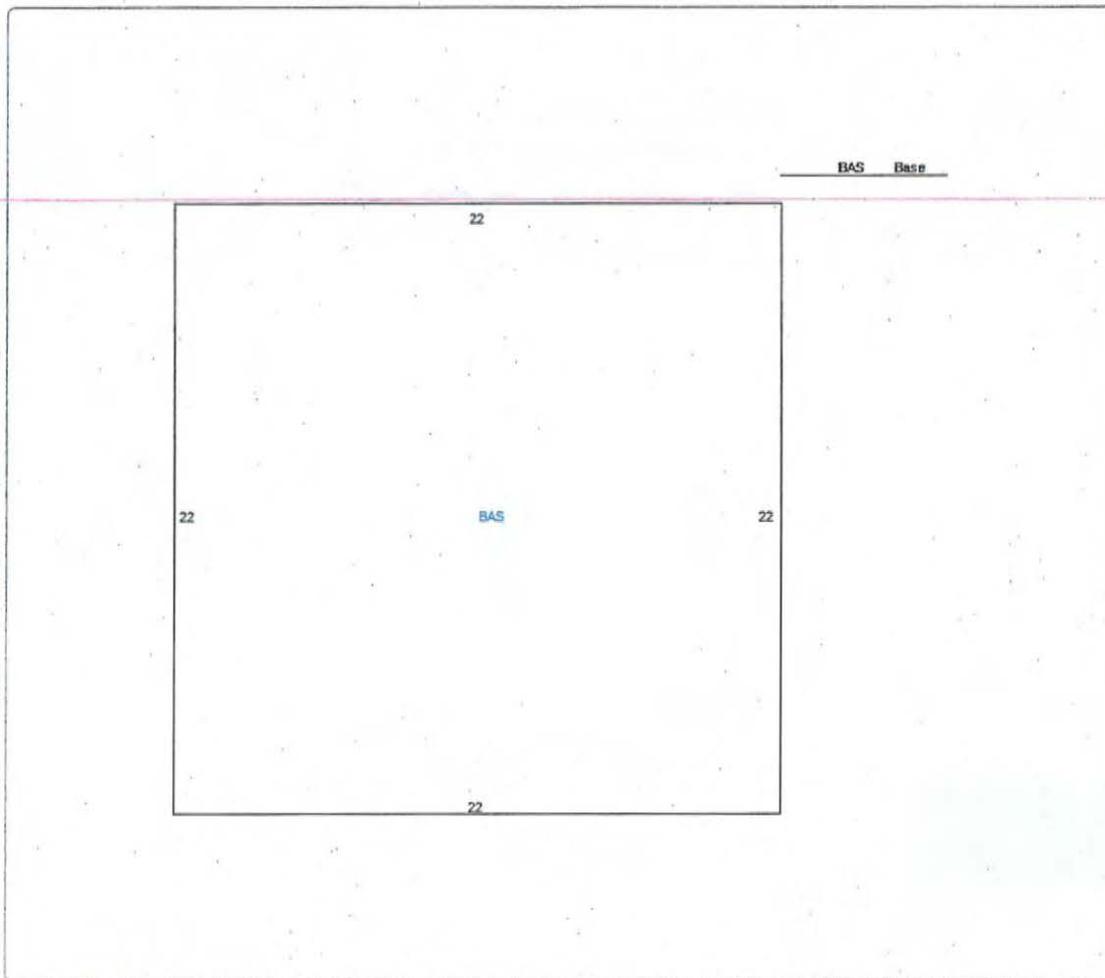
Tax Estimator

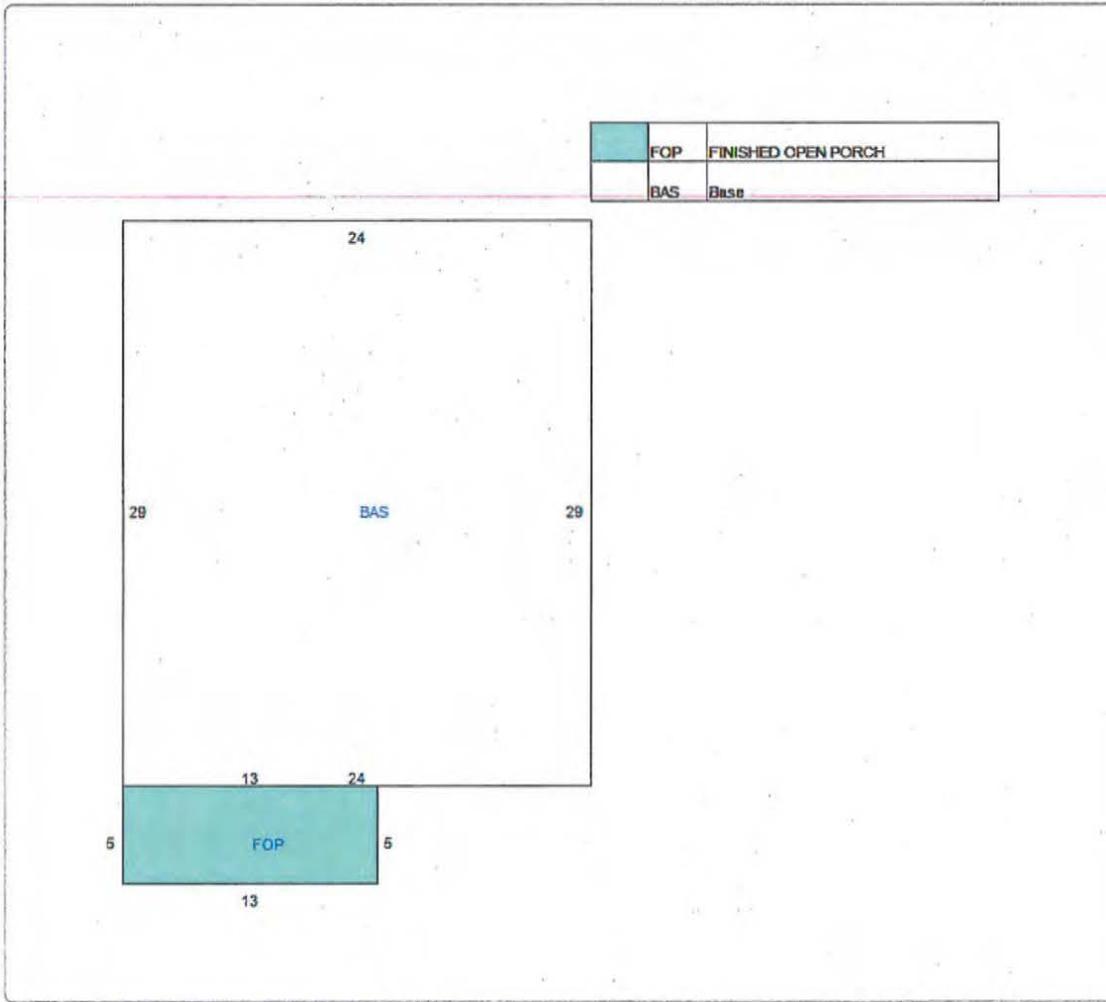
[Tax Estimator](#)

Map



Sketches





No data available for the following modules: Exemptions.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

Last Data Upload: 7/17/2018, 11:21:37 PM

Developed by
 Schneider
GEOSPATIAL

CITY OF ST AUGUSTINE
PO BOX 210
SAINT AUGUSTINE FL 32085

ACCT: 15560
AD# 0003073320-01
PO#

PUBLISHED EVERY MORNING SUNDAY THROUGH SATURDAY
ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF ST. JOHNS

Before the undersigned authority personally appeared MELISSA RHINEHART who on oath says he/she is an Employee of the St. Augustine Record, a daily newspaper published at St. Augustine in St. Johns County, Florida; that the attached copy of advertisement being a **NOTICE OF HEARING** in the matter of **HARB 101 SOUTH STRETT** published in said newspaper on **08/06/2018**.

Affiant further says that the St. Augustine Record is a newspaper published at St. Augustine, in St. Johns County, Florida, and that the said newspaper heretofore has been continuously published in said St. Johns County, Florida each day and has been entered as second class mail matter at the post office in the City of St. Augustine, in said St. Johns County, Florida for a period of one year preceding the first publication of the attached copy of advertisement; and affiant further says the he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing this advertisement for publication in said newspaper.

NOTICE OF PUBLIC HEARING
Notice is hereby given of a public hearing by the Historic Architectural Review Board to be held at 1:00 PM, Thursday, August 16, 2018, in The Alcázar Room at City Hall, St. Augustine, Florida, at which time comments are invited on the following:
CERTIFICATE OF DEMOLITION TO DEMOLISH A BUILDING CONSTRUCTED IN 1954 THAT DOES NOT CONTRIBUTE TO THE LINCOLNVILLE NATIONAL REGISTER HISTORIC DISTRICT AND THAT IS NOT LISTED IN THE FLORIDA MASTER SITE FILE; BUENA ESPERANZA SUB CITY N50FT OF LOTS 3 & 4 BLK 5 OR4475/429(Q/C); also known as 101 South Street
APPLICANT'S NAME: **Ronald L. Bailey**
SUBMITTED BY CITY CLERK'S OFFICE
0003073320 August 6, 2018



Sworn to and subscribed before me this AUG 06 2018 day of _____
by Melissa Rhinehart who is personally known to me
or who has produced as identification

Jennifer L. Burns

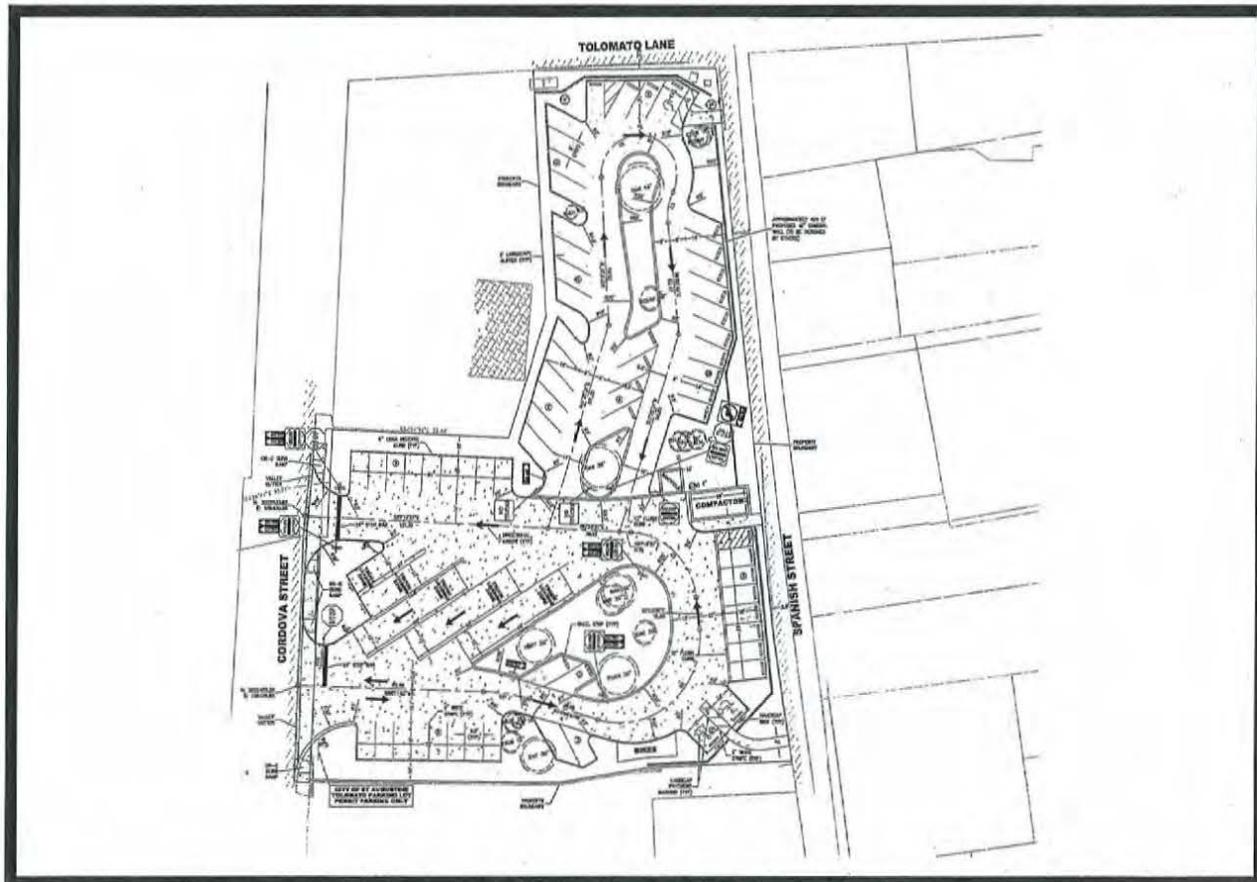




CITY OF
ST. AUGUSTINE.
EST. 1565

HISTORIC ARCHITECTURAL REVIEW BOARD
STAFF REPORT AND RECOMMENDATION

Prepared for August 16, 2018 Meeting



Application F2018-0111

Address: 20 Spanish Street, 5 and 9 Cordova Street (Tolomato Parking Lot)

City of St. Augustine, Applicant and Owner

Project description: To make alterations to an existing parking lot to include removing and adding additional landscaping; constructing a masonry wall around the lot, recycler, and compactor; repaving the lot; and removing and adding new curbing.

Architectural Style:	N/A	Florida Master Site File:	N/A
National Register:	Noncontributing to the St. Augustine Town Plan	Construction date:	N/A
Archaeology Zone:	IA	Zoning District:	HP-3
Parcel number:	197970 0000, 197780 0000, 197810 0000		
Agenda Item:	9(a)	Previous Action(s):	N/A

STAFF SUMMARY AND ANALYSIS:

The applicant is submitting an Opinion of Appropriateness to make alterations to an existing parking lot to include removing and adding additional landscaping; constructing a masonry wall around the lot, recycler, and compactor; repaving the lot; and removing and adding new curbing. An Opinion application is a determination by HARB that the general concept, preliminary construction plans, details or specifications of a project meet the architectural requirements of the AGHP but that the information submitted is insufficient to meet the requirements for a COA or building permit.

- The proposed fence along the Tolomato Lane and Spanish Street sides of the property and around the compactor and recycling elements is appropriate. Additional information about the fencing will be necessary at the Certificate level. The applicant should consider placing screening such plants on the Cordova Street side of the project to limit the parking lot's visual impact.
- The applicant needs to clarify what paving materials will be used for the road, curbing, and sidewalk. The notes suggest that they will be made from coquina and concrete pavement. Several drawings, however, suggest that they will be made from concrete, an approved coquina shell mix, or asphalt. Of the proposed materials, only coquina is appropriate. More compatible materials such as coquina concrete should be considered instead of concrete and asphalt.
- Additional information is required about the proposed trees (ex. the type of oak tree) to verify that they are appropriate.
- The applicant should specify the location of the lighting and should clarify if the existing lighting will be reused.
- This project will likely require an A14 Archaeological Review Application. Coordination with the City Archaeologist should begin as soon as possible.

STAFF RECOMMENDATION:

Staff does not provide recommendations for city projects and looks to HARB for review and comment on this proposed city project.



Kelli Mitchell, Historic Preservation Planner

SUMMARY SCOPE OF WORK:

- Construct a wall on the Tolomato Lane and Spanish Street side of the lot and around the compactor and recycling containers
- Repave the existing parking lot and add necessary sidewalks and curbing
- Plant new landscaping
- Install appropriate signage and drainage

CITY CODES/DESIGN GUIDELINES:

Parking, Landscaping and Site Features

Do...

- Retain landscape features such as parks, gardens, street lights, benches, walkways, streets, alleys, and setbacks that have traditionally linked buildings to their environment.
- Use new plant materials, fencing, walkways, street lights, and benches that are compatible with the character of the district or neighborhood in size, scale, materials and color.
- Identify and retain plants, trees, fencing, walkways, street lighting and benches that reflect a property's history and development.
- Provide proper site and roof drainage to assure that water does not splash against the building or foundation walls, or drain toward the building.
- Landscape to provide shade, privacy, screening of non-historic features and erosion control.
- Minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources.
- Survey and document areas where the terrain will be altered to determine the potential impact to important landscape features or archaeological resources.
- Provide continued protection of wood, masonry and architectural metals which comprise site features through appropriate cleaning, rust removal, limited paint removal, and re-application of protective coatings.
- Design and construct a new feature of a site when the historic feature is completely missing, such as an outbuilding, terrace or driveway. It may be based on historical, pictorial and physical documentation; or be a new design that is compatible with the historic character of the building and the site.
- Design new onsite parking, loading docks or ramps when required by the new use so that they are as unobtrusive as possible and assure the preservation of the historic relationship between the buildings or buildings and the landscape.

Don't...

- Introduce heavy machinery into areas where it may disturb or damage important landscape features or archaeological resources.
- Fail to survey the building site prior to the beginning of rehabilitation work which may result in damage to or destruction of important landscape features or archaeological resources.
- Construct a new site feature that is incompatible with the district or building because of its size, scale or materials.
- Install street lighting, benches, new plant materials, fencing, walkways, and paving material such as asphalt and pebble that are out of scale or are inappropriate to the historic district.
- Change the appearance of a building or site by removing historic plants, trees, fencing, walkways, outbuildings and other features before evaluating their importance.
- Add conjectural landscape features to the site such as period reproduction lamps, fences, fountains or vegetation that is historically inappropriate, thus creating a false sense of historic development.
- Introduce a new landscape feature, including plant material, that is visually incompatible with the site, or that alters or destroys the historic site patterns or vistas.
- Place parking facilities directly adjacent to historic buildings where automobiles may cause damage to the buildings or to important landscape features.
- Introduce new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

Post-1821

Plant materials should reflect the scale of the building. Only those plant materials known to have been introduced around the date of construction of the primary building should be planted. Design concepts that reflect the architectural style of the building should be used for landscape and garden design.

Trees should be used to frame views and provide shade. The use of mid-yard planting beds, coarse textured plants and colorful flowers is appropriate for 19th century buildings. Foundation plantings are not appropriate for pre-1930 buildings. Appropriate paving materials are poured coquina concrete, tabby, loose coquina, crushed shells, river gravel, and brick or stone on sand. Asphalt and plain concrete are not appropriate.

OOA F2018-0111
20 Spanish Street, 5 and 9 Cordova Street
August 16, 2018

Parking areas should not be adjacent to or easily viewed from public rights-of-way. Paved areas and curb cuts must be kept to a minimum. Fences, walls, gates, landscaping and buildings must screen parking areas. Whenever possible, parking should occur behind or within a building. Appropriate paving materials include loose coquina, crushed shell, gravel, stone or brick pavers on sand, coquina or tabby concrete, or concrete with a slate appearance. Asphalt and plain concrete are not appropriate.

Secretary of Interior Standards of Rehabilitation

2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided. [Retention of Distinguishing Architectural Character]

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken. [Protection and Preservation of Significant Archaeological Resources]

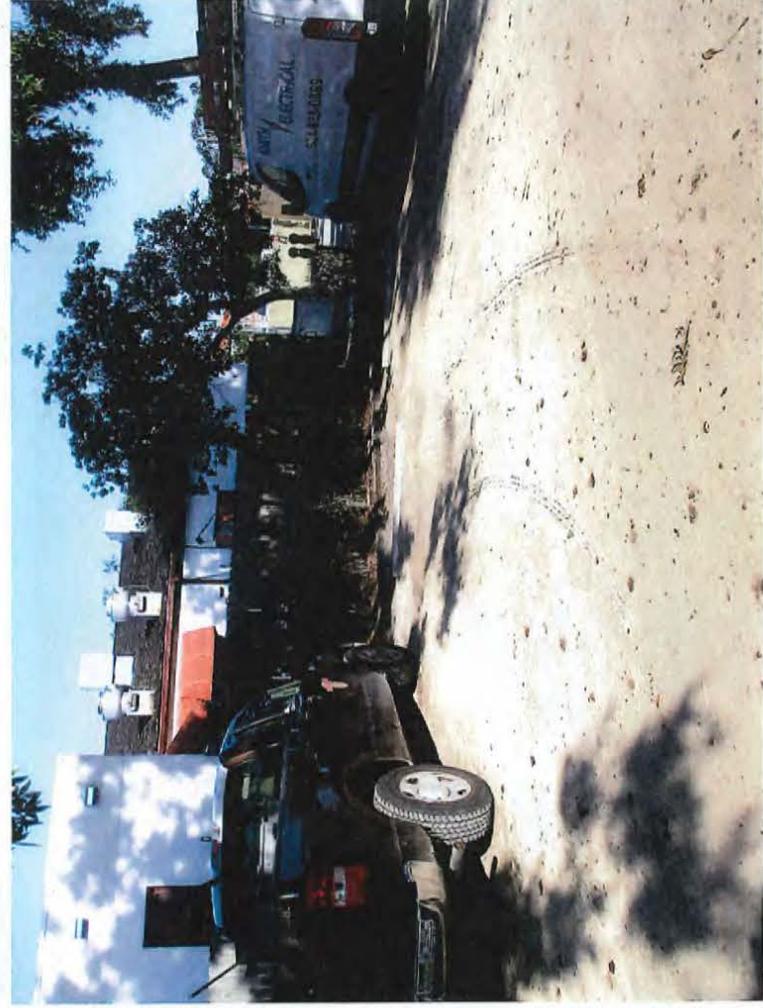
OOA F2018-0111
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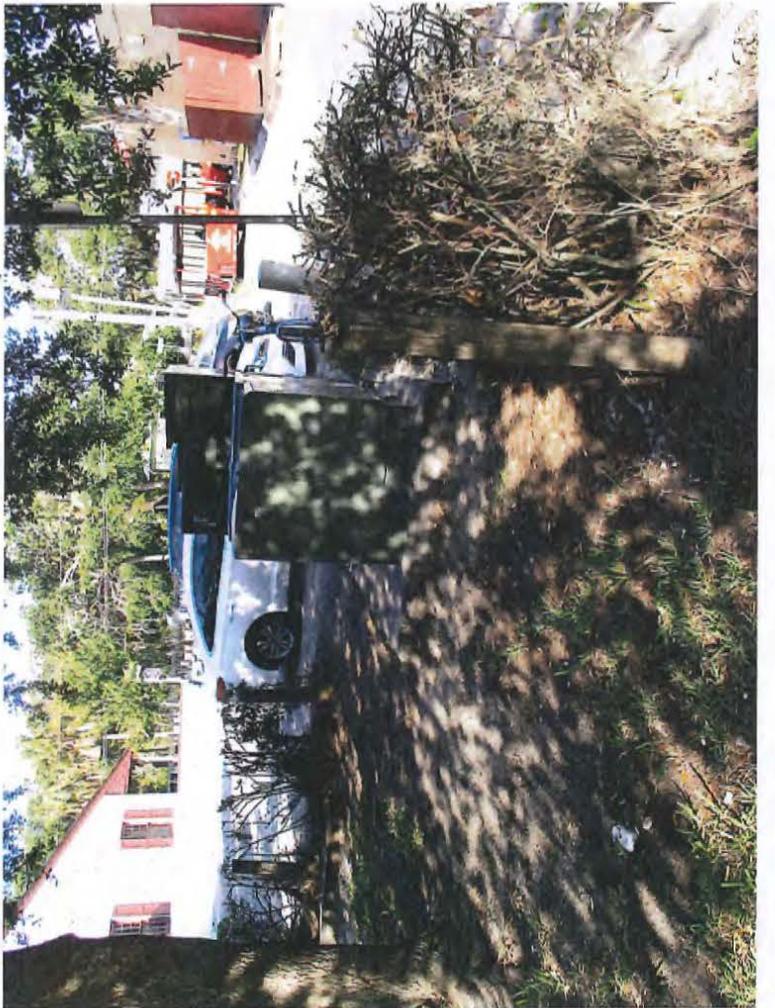
LIST OF ATTACHMENTS:

1. Staff photos











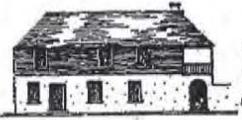








**CITY OF ST. AUGUSTINE
HISTORIC ARCHITECTURAL REVIEW BOARD APPLICATION**



OPINION **CERTIFICATE OF APPROPRIATENESS**



\$50.00	Alterations to single family home, site work, and site feature
\$150.00	Construction of new single family home, major alterations, ad valorem tax exemption
\$100.00	Alterations to all other buildings, site work, or features except single family home
\$200.00	New construction except single family home

BDAC Project No. 2018-0111

Receipt No. N/A
Advertising Costs \$ _____

Paid on N/A Meeting Date: Aug. 16, 2018
Receipt No. _____

1. NAME OF APPLICANT Reuben Franklin, P.E., Mobility Program Manager
Business (if applicable) City of St. Augustine
Address P.O. Box 210
City St. Augustine State FL Zip Code 32085-0210
Daytime telephone 904-209-4279 Other phone/email rfranklin@citystaug.com

The above contact information will be used for correspondence. Please ensure this information is accurate.

2. NAME OF PROPERTY OWNER John Regan, P.E., City Manager
Business (if applicable) City of St. Augustine
Address P.O. Box 210
City St. Augustine State FL Zip Code 32085-0210
Daytime telephone (required) 904-825-1015 Other phone jregan@citystaug.com

3. PROJECT STREET ADDRESS 20 Spanish Street, 5 Cordova Street, 9 Cordova Street

4. LEGAL DESCRIPTION: Lot 21-30 Block 16 Subdivision City of St. Augustine Parcel _____

5. EXISTING USE Municipally Owned (8900) - Parking PROPOSED USE Municipally Owned (8900) - Parking

6. PROPOSED PROJECT WORK

A. DEMOLITION (if historic architectural features will be permanently removed a Certificate of Demolition is required and must be heard simultaneous with this application) YES NO

B. REHABILITATION (check repair or replace and provide a description on the line provided)

- | REPAIR | REPLACE | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Roof _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof structures (dormers, chimneys, etc.) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior finishes (stucco, masonry, siding) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Porch/Deck/Balcony _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Awning/Canopy _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior Doors _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Windows _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Shutters _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Foundation (including infill) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Exterior lighting & other appurtenances _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing fences, walls & gates _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Existing parking, walkways & other site features <small>Remove Crushed Coquina construct paved parking.</small> |

C. NEW CONSTRUCTION (check and specify all work items that apply)

- New building _____
- New addition _____
- New roof structures (dormers, chimneys, etc.) _____
- New porch/deck/balcony _____
- New awning/canopy _____
- New entrances _____
- New window opening/sashes _____
- New exterior lighting _____
- New fence/wall/gate _____
- New parking/walkways/other site features _____
- Exterior utility service/mechanical equipment _____

D. PAINT COLORS (check one)

- Scheme with pre-approved paint colors (exterior colors available upon request)
- Custom color scheme (provide color samples & building elevations showing color placement)
- No painting associated with proposed project

7. OVERALL PROJECT DESCRIPTION (attach additional pages if necessary)

This project is to rehabilitate the Tolomato Parking area. This includes removing the existing crushed coquina parking surface and constructing a paved parking surface. Included with the rehabilitation is the use of best management practices in the form of pervious pavement in appropriate areas, providing additional specified ADA accessible and delivery parking spaces as well as changing the orientation of the compactor to remove heavy vehicle trips from Spanish Street. Additional features include a Colonial style masonry wall along Spanish Street and Colonial Style masonry walls shielding the compactor and recycling dumpsters. To the greatest extent practical the existing trees are to remain and additional complementary plantings will be included to complete the parking area.

8. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is for an Opinion of Appropriateness, I must still obtain a Certificate of Appropriateness before project work can begin. If this application is for a Certificate of Appropriateness and it is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work. Once a hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME _____

SIGNATURE OF APPLICANT _____

PRINT OWNER'S NAME _____

SIGNATURE OF OWNER _____

DATE

DATE

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

COMPLETENESS REVIEW CHECKLIST

A Certificate or Opinion of Appropriateness application and related plans shall be submitted for review and approval by the Historic Architectural Review Board for exterior alterations and new construction associated with any building in designated historic preservation zoning districts (HP-1 through HP-5). In addition, a Certificate of Appropriateness shall be required for any proposed work on buildings immediately adjacent and in view of historic preservation zoning districts HP-1, HP-2, and HP-3. All proposed work items shall be reviewed for consistency and compliance with the 2011 edition of the *Architectural Guidelines for Historic Preservation, City of Saint Augustine, Florida*. Copies of this document are available for a fee upon request and on the website at: http://www.staugustinegovernment.com/your_government/documents/AGHP2.pdf

Relevant information necessary for Certificate or Opinion of Appropriateness review shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section in the *Architectural Guidelines for Historic Preservation*. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and HARB will determine if additional materials may be presented at the meeting.

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

*The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing roof and affected features
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)
EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing surface or feature including close-up and full building perspective
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture
PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing porch/deck/balcony and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
AWNING/CANOPY		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing awning/canopy or location of proposed awning/canopy
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the facade
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing awning/canopy and the extent of the affected area
EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing door(s) or location of proposed new door opening(s)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> For new openings, a scaled wall section
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing door(s) and the extent of the affected area.

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section with proposed window |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | | | | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

~~Is the canopy to be screened?~~ Keeping the same lights? Location of pavement vs Coquina?

Project number: 2018-0111 Project Address: _____
 Reviewed by: Kelli Mitchell Date: July 14, 2018

COMPLETENESS REVIEW CHECKLIST

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*The below is a list of requirements based upon the scope of work. To be completed by planning staff

ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing roof and affected features
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing roof and/or roof feature and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions if roof or roof feature will change its shape, scale, size, profile, pattern (not necessary for roof sheathing changes only)
EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing surface or feature including close-up and full building perspective
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the siding, finish, or feature and the extent of the affected area
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled drawing of existing and proposed conditions if full replacement material is proposed which will change the appearance of the building through its shape, scale, size, profile, pattern, and/or texture
PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing porch/deck/balcony or location of proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
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OK	Need	N/A
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed awning/canopy. A 'typical' elevation can be used if all awning/canopies are exactly the same and have the same impact to the façade
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing awning/canopy and the extent of the affected area
EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)		
OK	Need	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Photographs of existing door(s) or location of proposed new door opening(s)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed door (not necessary for just replacement door in existing door opening)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> For new openings, a scaled wall section
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Documentation of justification for changing the existing door(s) and the extent of the affected area.

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

WINDOWS (windows, shutters, and other associated features)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected window(s) or location(s) of proposed new window opening(s) |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new openings, a scaled wall section with proposed window |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For replacing historic windows: a window evaluation including locations, condition of paint, condition of frame and sill, condition of sash (rails, stiles, muntins), glazing problems, hardware type and condition, overall condition assessment by qualified professional. |

FOUNDATION (replacement, infill, alteration including elevation)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of affected foundation in detail and in context of whole building and adjacent buildings |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Documentation of justification for changing the existing foundation and the extent of the affected area. Permanent removal of major historic architectural features requires partial demolition application. |

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

- | OK | Need | N/A | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing details and context of affected site area within view of the proposed project |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | For new equipment, scaled drawing showing proposed project with context site and/or building |

FENCES/WALLS/GATES

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed fence/wall/gate and detail photo of any existing fence/wall/gate |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section |

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed feature and detail photo of any existing affected features |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Plant material list with identification, quantity, size at planting and maturity, spacing |

NEW CONSTRUCTION (accessory structure/outbuilding, garage, and other new buildings)

- | | | | |
|--------------------------|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Photographs of existing site area within view of proposed construction with context area |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled site plan showing the property line and proposed construction |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled landscape plan |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing existing building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawings showing proposed building(s) and major site features |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Wall sections |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Written summary describing existing and proposed conditions and project's consistency with zoning code |

❖ Other details necessary for review:

~~Is the canopy to be screened?~~ Keeping the same
lights? Location of pavement vs. Coquina?

Project number: 2018-0111 Project Address: _____
Reviewed by: Kelli Mitchell Date: July 14, 2018



St. Johns County, FL

Quick Links

- [My Tax Bill](#)
- [Tax Estimator](#)
- [Proposed Hx](#)

TRIM Notice

- [TRIM Notice](#)

Summary

Parcel ID 1979700000
Location Address 20 SPANISH ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY COMM/HISTORICAL (610.03)
Tax Description* CITY OF ST AUGUSTINE BLK 16 LOTS 21 THRU 26 & N30FT OF LOT 20 334.5FT ON SPANISH ST OR991/730
 *The Description above is not to be used on legal documents.
Property Use Code Municipally Owned (8900)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.770
Homestead N

View Map

Owner

Owner Name City Of St Augustine 100%
Mailing Address PO BOX 210
 SAINT AUGUSTINE, FL 32085-0210

Valuation

	2018
Building Value	\$0
Extra Features Value	\$0
Total Land Value	\$571,200
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$571,200
Total Deferred	\$0
Assessed Value	\$571,200
Total Exemptions	\$571,200
Taxable Value	\$0

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$0	\$0	\$571,200	\$0	\$0	\$571,200	\$571,200	\$571,200	\$0
2016	\$0	\$0	\$571,200	\$0	\$0	\$571,200	\$571,200	\$571,200	\$0
2015	\$0	\$0	\$546,000	\$0	\$0	\$546,000	\$546,000	\$546,000	\$0
2014	\$0	\$0	\$546,000	\$0	\$0	\$546,000	\$546,000	\$546,000	\$0
2013	\$0	\$0	\$546,000	\$0	\$0	\$546,000	\$546,000	\$546,000	\$0
2012	\$0	\$0	\$546,000	\$0	\$0	\$546,000	\$546,000	\$546,000	\$0
2011	\$0	\$0	\$604,800	\$0	\$0	\$604,800	\$604,800	\$604,800	\$0
2010	\$0	\$0	\$672,000	\$0	\$0	\$672,000	\$672,000	\$672,000	\$0

Exemptions

Exemption Type	Amount
City	\$571,200

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Municipally Owned	336	100	33600	SF	\$571,200

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	5/12/1993	\$800,000.00	WD	991	730	U	V	ST AUG FOUNDATION INC	CITY OF ST AUGUSTINE

Area Sales Report

Recent Sales in Area

Clerk of Court

Clerk of Court

Tax Collector

My Tax Bill

Tax Estimator

Tax Estimator

Map



No data available for the following modules: Building Information, Extra Features, Sketches.

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Summary

Parcel ID 1977800015
Location Address 5 CORDOVA ST
 7 CORDOVA ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY COMM/HISTORICAL (610.03)
Tax Description* CITY OF ST AUG BLK 16 PTS OF LOTS 1 2 3 & 4 - 166.31FT ON CORDOVA ST & LYING 2FT S OF 5'LY R/W OF TOLOMATO LANE DEED PARCELS A & B OR3018/1393
*The Description above is not to be used on legal documents.
Property Use Code Restaurants & Cafeterias (2100)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.360
Homestead N

View Map

Owner

Owner Name 5 Cordova Street LLC 100%
Mailing Address 44 AVENIDA MENENDEZ
 SAINT AUGUSTINE, FL 32084-3645

Valuation

	2018
Building Value	\$888,273
Extra Features Value	\$15,309
Total Land Value	\$349,008
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$1,065,600
Total Deferred	\$245,660
Assessed Value	\$819,940
Total Exemptions	\$0
Taxable Value	\$819,940

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$839,600	\$14,912	\$349,008	\$0	\$0	\$745,400	\$745,400	\$0	\$745,400
2016	\$719,025	\$16,084	\$349,008	\$0	\$0	\$745,400	\$745,400	\$0	\$745,400
2015	\$741,149	\$17,255	\$317,280	\$0	\$0	\$745,400	\$745,400	\$0	\$745,400
2014	\$449,011	\$18,291	\$317,280	\$0	\$0	\$784,582	\$784,582	\$0	\$784,582
2013	\$462,026	\$19,456	\$317,280	\$0	\$0	\$798,762	\$798,762	\$0	\$798,762
2012	\$15,691	\$0	\$272,909	\$0	\$0	\$288,600	\$288,600	\$0	\$288,600
2011	\$15,691	\$0	\$303,232	\$0	\$0	\$318,923	\$318,923	\$0	\$318,923
2010	\$15,691	\$13,820	\$336,925	\$0	\$0	\$366,436	\$366,436	\$0	\$366,436

Building Information

Building	1	Roof Structure	Wood Truss
Actual Area	10360	Roof Cover	Wood Shingle
Conditioned Area	7566	Interior Flooring	Concrete Finish, Ceramic Tile

Actual Year Built	1970	Interior Wall	Drywall
Use	Restaurants & Cafeterias	Heating Type	Air Duct
Style	04	Heating Fuel	
Class	N	Air Conditioning	Central
Exterior Wall	Concrete Stucco	Baths	

Category	Type	Pct
Exterior Wall	Concrete Stucco	100%
Roofing Structure	Wood Truss	100%
Roofing Cover	Wood Shingle	100%
Interior Walls	Drywall	100%
Interior Flooring	Concrete Finish	60%
Interior Flooring	Ceramic Tile	40%
Heating Type	Air Duct	100%
Air Conditioning	Central	100%
Frame	Masonry	100%
Plumbing	22 Fixtures	100%
Electrical	Good	100%
Foundation	Concrete Perimeter Footing	100%
Insulation	1" Fiberglass	100%
Floor System	Concrete Slab	100%
Condition	Good	100%

Description	Conditioned Area	Actual Area
BASE AREA	3224	3224
MASN ADDI	136	136
MASN ADDI	1746	1746
CANOPY COM	0	360
PATIO	0	1054
POINTER	0	0
BASE AREA	1230	1230
CANOPY COM	0	144
PATIO	0	576
CANOPY COM	0	234
POINTER	0	0
F UP STORY	1230	1230
CANOPY COM	0	72
CANOPY COM	0	354
Total SqFt	7566	10360

Extra Features

Code Description	BLD	Length	Width	Height	Units
Asphalt Paving	0	0	0	0	5225
Wood Fence (Commercial)	0	0	0	0	270
MS/CB WALL	0	0	0	0	888
CONC PAV 4	0	0	0	0	196
Handicap Ramp	0	0	0	0	110

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Restaurants & Cafeterias	155	95	15864	SF	\$349,008

Sales

Recording Date	Sale Date	Sale Price	Instrument		Qualification	Vacant/Improved	Grantor	Grantee
	11/26/2007	\$1,500,000.00	WD	3018 1393	Q	I	CATCH LLC	5 CORDOVA STREET LLC
	5/25/2004	\$975,000.00	WD	2235 1008	Q	I	AUGLINK COMMUNICATIONS INC	CATCH LLC
	1/26/1999	\$550,000.00	WD	1381 76	Q	I	CANEVARI FREDERICK J TRUSTEE	AUGLINK COMMUNICATIONS INC

Area Sales Report

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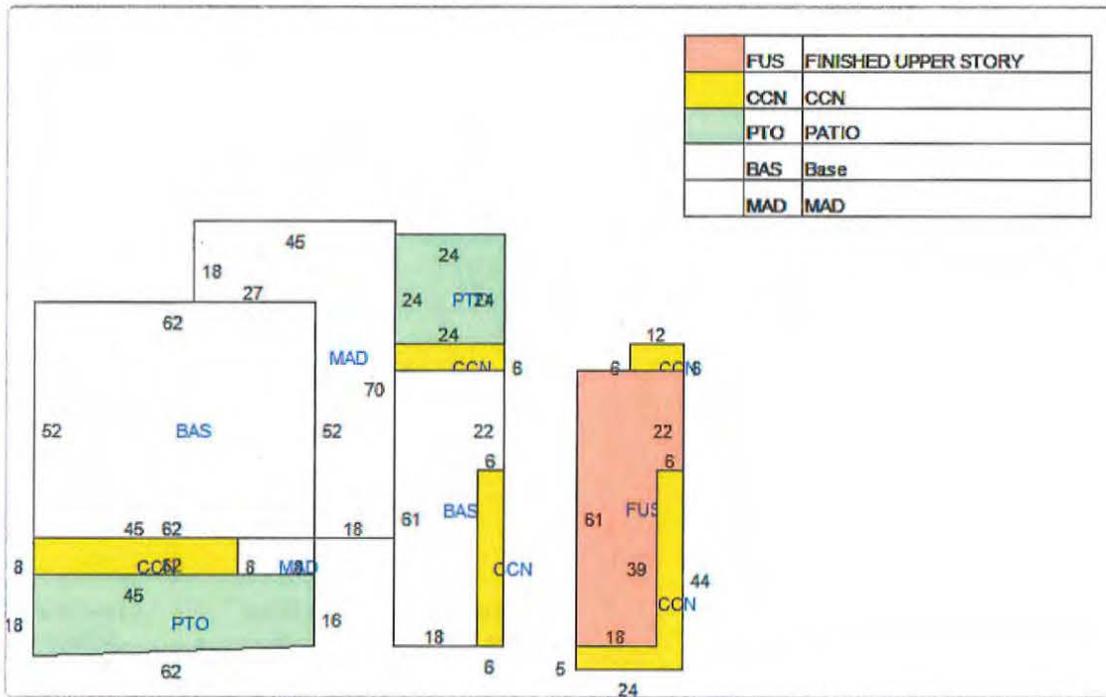
Tax Estimator

[Tax Estimator](#)

Map



Sketches



No data available for the following modules: Exemptions.

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TRIM Notice

- [TRIM Notice](#)

Summary

Parcel ID 1978100000
Location Address 9 CORDOVA ST
 SAINT AUGUSTINE 32084-0000
Neighborhood CITY COMM/HISTORICAL (610.03)
Tax Description* CITY OF ST AUG BLK 16 LOTS 5 6 & 7 115FT ON CORDOVA ST OR991/730
 *The Description above is not to be used on legal documents.
Property Use Code Municipally Owned (8900)
Subdivision City of St Augustine
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 20.4933
Acreage 0.360
Homestead N

View Map

Owner

Owner Name City Of St Augustine 100%
Mailing Address PO BOX 210
 SAINT AUGUSTINE, FL 32085-0210

Valuation

	2018
Building Value	\$0
Extra Features Value	\$0
Total Land Value	\$341,550
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$341,550
Total Deferred	\$0
Assessed Value	\$341,550
Total Exemptions	\$341,550
Taxable Value	\$0

Values listed are from our working tax roll and are subject to change.

Historical Assessments

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2017	\$0	\$0	\$341,550	\$0	\$0	\$341,550	\$341,550	\$341,550	\$0
2016	\$0	\$0	\$341,550	\$0	\$0	\$341,550	\$341,550	\$341,550	\$0
2015	\$0	\$0	\$310,500	\$0	\$0	\$310,500	\$310,500	\$310,500	\$0
2014	\$0	\$0	\$310,500	\$0	\$0	\$310,500	\$310,500	\$310,500	\$0
2013	\$0	\$0	\$310,500	\$0	\$0	\$310,500	\$310,500	\$310,500	\$0
2012	\$0	\$0	\$314,381	\$0	\$0	\$314,381	\$314,381	\$314,381	\$0
2011	\$0	\$0	\$349,312	\$0	\$0	\$349,312	\$349,312	\$349,312	\$0
2010	\$0	\$0	\$388,125	\$0	\$0	\$388,125	\$388,125	\$388,125	\$0

Exemptions

Exemption Type	Amount
City	\$341,550

Land Line

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Municipally Owned	115	135	15525	SF	\$341,550

Sales

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	5/12/1993	\$800,000.00	WD	991	730	U	V	ST AUG FOUNDATION INC	CITY OF ST AUGUSTINE
	3/1/1983	\$70,000.00		578	621	Q	I		ST AUG FOUNDATION INC

Area Sales Report

[Recent Sales in Area](#)

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Map



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TOLOMATO PARKING LOT

CITY OF ST AUGUSTINE

75 KING STREET
ST AUGUSTINE, FL 32084
(904) 825-1010

ST AUGUSTINE, FLORIDA



VICINITY MAP
N.T.S.



England-Thims & Miller, Inc.

14775 Old St. Augustine Road
Jacksonville, FL 32258
TEL: (904) 642-8990
FAX: (904) 646-9485
CA - 00002584 LC - 0000316

PROJECT NO. 16-238-03

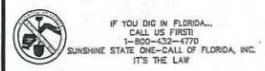
DATE: JUNE 2018

DRAWING INDEX		
SHEET NO.	SHEET TITLE	REVISIONS
1	COVER SHEET	
2	GENERAL NOTES	
3	DEMOLITION PLAN	
4	MASTER SITE PLAN	
5	SITE GEOMETRY PLAN	
6	PRE DEVELOPMENT PLAN	
7	PAVING AND DRAINAGE PLAN	
8A-BB	PAVING AND DRAINAGE DETAILS	
9	SEDIMENT AND EROSION CONTROL PLAN	
10	SEDIMENT AND EROSION CONTROL DETAILS	
11	STORMWATER POLLUTION PREVENTION PLAN	
12	CONTRACTOR'S CERTIFICATION	

MAYOR NANCY SHAVER
VICE-MAYOR TODD NEVILLE
COMMISSIONER ROXANNE HORVATH
COMMISSIONER NANCY SIKES-KLINE
COMMISSIONER LEANNA S.A. FREEMAN

ELEVATIONS ARE BASED ON NAVD 88

PLANS PREPARED UNDER THE DIRECTION OF: ANDREW HOLLEY P.E. NUMBER: 76182
 REVISIONS:
 ETM NO. 16-238-03
 DRAWN BY: HMG
 DESIGNED BY: AAH
 CHECKED BY: AAH
 DATE: JULY 2018
England-Thims & Miller, Inc.
 14775 Old St. Augustine Road
 Jacksonville, FL 32258
 TEL: (904) 642-8990
 FAX: (904) 646-9485
 CA - 00002584 LC - 0000316
ETM
 VISION • EXPERIENCE • RESULTS
COVER SHEET
TOLOMATO PARKING LOT FOR CITY OF ST AUGUSTINE
 DRAWING NUMBER
1



GENERAL SITE NOTES.

- ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING HIMSELF WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (811) FOR UTILITY LOCATES IN ACCORDANCE WITH STATE LAW PRIOR TO EXCAVATING. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF OR WITHIN THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE ISSUES THAT MAY OCCUR DUE TO THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, PROPERTY LINES, AND CONFIRM ALL PROPOSED DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION OR ORDERING ANY MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOO AND/OR GRASS PER CITY OF ST. AUGUSTINE LDC AND STANDARDS AND MEETING THE NPDES FINAL STABILIZATION REQUIREMENTS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED. FAILURE OF THE CONTRACTOR TO IDENTIFY/QUANTIFY THE AMOUNT OF UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED DURING THE BID PROCESS WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT.
- ALL MATERIALS AND WORKMANSHIP SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER AND CITY OF ST. AUGUSTINE FOR A PERIOD OF 26 MONTHS FROM DATE OF ACCEPTANCE BY THE OWNER AND CITY OF ST. AUGUSTINE.
- THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT, AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE ENGINEER, THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH CITY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING CITY OF ST. AUGUSTINE RIGHT-OF-WAY PERMITS FOR WORK IN THE CITY RIGHT-OF-WAY OR EASEMENT. CONTRACTOR IS RESPONSIBLE FOR CONTROL OF SEDIMENTATION AND RUNOFF RESULTING FROM RAINFALL EVENTS DURING THE CONSTRUCTION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REGULATORY PERMITS ISSUED FOR THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OR STATE RIGHT-OF-WAY WITH THE APPROPRIATE AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION & REPAIR.
- IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ENGINEER FOR APPROVAL OF ALL DEWATERING OPERATIONS PRIOR TO COMMENCEMENT.

GENERAL SITE NOTES.

- PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.
- ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY OF ST. AUGUSTINE LDC AND STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, RIGHTS-OF-WAYS AND EASEMENTS (INCLUDING ELECTRIC EASEMENTS) IS INCLUDED IN THIS PROJECT.
- ALL ACCESS EASEMENTS ARE TO BE STABILIZED AND DRIVABLE.
- ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH CITY OF ST. AUGUSTINE AND FIRE MARSHALL AND ALL OTHER PERMITTING AUTHORITIES BY THE CONTRACTOR.
- UNSUITABLE MATERIALS UNDER UTILITY OR STORM PIPE, STRUCTURES, PAVEMENT, BUILDING PADS, OR HARDSCAPE ELEMENTS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- ALL UNDERGROUND UTILITIES TO BE INSTALLED UNDER PAVEMENT MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
- THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY OR STORM PIPE OR STRUCTURE.
- AUGER BORINGS PROVIDED BY , DATED: ###.
- FLOOD ZONE BASED UPON FEMA INSURANCE RATE MAPS PANEL NOS. 12109C0314H , DATED: 09/02/2004.
- FOR SEDIMENT AND EROSION CONTROL PLANS, DETAILS AND NOTES REFER TO DRAWINGS 9 & 10. THE CONTRACTOR IS TO COORDINATE WITH AUTHORITY FOR INSPECTIONS PRIOR TO CLEARING OPERATIONS.
- ELEVATIONS ARE BASED ON NAVD 88.
- TOPOGRAPHIC INFORMATION BASED ON SURVEY PROVIDED BY GEOMATICS CORP., DATED: 08/27/2015.
- BOUNDARY INFORMATION BASED ON SURVEY PROVIDED BY GEOMATICS CORP., DATED: 08/27/2015.
- ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF THE PROJECT SPECIFICATIONS AND ALL CURRENT CITY OF ST. AUGUSTINE LDC AND STANDARD DETAILS AND REQUIREMENTS OF OTHERS HAVING JURISDICTION. THE WORK SHALL ALSO BE PERFORMED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL ENGINEER'S REPORT.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR OWNER.
- SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS, IS REQUIRED IN COMPLIANCE WITH SECTION 6.04.00 OF THE CITY OF ST. AUGUSTINE LAND DEVELOPMENT CODE AND SECTION 15, "AS-BUILTS" OF THE DEVELOPMENT REVIEW MANUAL. PRIOR TO SCHEDULING A FINAL INSPECTION OF THE BUILDING BY THE BUILDING DEPARTMENT OR THE FIRE MARSHALL.
- CITY OF ST. AUGUSTINE DEVELOPMENT REVIEW INSPECTOR SHALL BE CONTACTED 24 HOURS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND 5 DAYS PRIOR TO THE FINAL INSPECTION.
- PROJECT LOCATION: ST. JOHNS COUNTY
- THESE PLANS WERE GENERATED UTILIZING AUTOCAD CIVIL 3D 2017 SERVICE PACK 3.
- THESE PLANS ARE PREPARED IN GENERAL COMPLIANCE WITH THE CITY OF ST. AUGUSTINE LAND DEVELOPMENT CODE, DATED 10/28/2016.

PAVING AND DRAINAGE NOTES.

- ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES.
- ALL DRAINAGE PIPE JOINTS ARE TO BE FILTER FABRIC WRAPPED.
- ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.
- ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH CITY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
- "AS-BUILT" DRAWINGS - DRAINAGE AS-BUILTS PROVIDED TO CITY OF ST. AUGUSTINE AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED AND SURVEYOR THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT CITY STANDARDS AND SPECIFICATIONS, AND SURVMD REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE AS-BUILT DRAWINGS FOR APPROVAL BY THE CITY. IN ADDITION TO THE DRAINAGE SYSTEM THE "AS-BUILTS" SHALL SHOW THE ELEVATIONS AND LOCATION OF THE TOP OF BANK, WATER LEVEL, ANY POINTS OF CHANGE OF SLOPE, TOE OF SLOPE AND POB BOTTOM AT 100' MAXIMUM INTERVALS ALONG POND BANK FOR ALL POND CONSTRUCTION. ALL DIMENSIONS AND ELEVATIONS ON THE CONTROL STRUCTURE DETAILS SHALL BE SHOWN ON AS-BUILT DRAWINGS. CONTRACTOR SHALL SHOW ALL CASING AND SLEEVE LOCATION AND INVERT ELEVATIONS. ALL DEVIATIONS FROM PLANS SHALL BE CLEARLY INDICATED ON THE AS-BUILT DRAWINGS.
- ALL PAVEMENT MARKING SHALL BE EXTRUDED THERMOPLASTIC, IN ACCORDANCE WITH FDOT SPECIFICATIONS. REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ACCESSIBLE RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE ADA AND CITY OF ST. AUGUSTINE REQUIREMENTS.
- FOR SPECIAL PAVING AND DRAINAGE DETAILS SEE DRAWING NOS. 9-10. FOR ALL STANDARD DETAILS SEE CITY OF ST. AUGUSTINE LDC AND STANDARD DETAILS, LATEST REVISIONS.
- UNDERDRAIN SHOWN HEREON IS THE MINIMUM REQUIRED BASED ON GEOTECHNICAL REPORT, PREPARED BY ###. DATED: ###. FINAL DETERMINATION OF LIMITS OF UNDERDRAIN WILL BE MADE BASED ON TEST HOLE OBSERVATION AT TIME OF ROADWAY CONSTRUCTION AND SHALL BE MADE BY GEOTECHNICAL ENGINEER AND APPROVED BY CITY OF ST. AUGUSTINE AT TIME OF CONSTRUCTION.
- STORM DRAINS SHOWN IN PUBLIC RIGHT-OF-WAYS OR OTHERWISE INDICATED AS "TV REQUIRED" SHALL BE VIDEO INSPECTED AND RECORDED IN ACCORDANCE WITH CITY OF ST. AUGUSTINE LDC.
- A PRE-CONSTRUCTION/PRE PERMIT MEETING WITH CITY OF ST. AUGUSTINE IS REQUIRED PRIOR TO STARTING ANY SITE ACTIVITIES. PRE CONSTRUCTION MEETING CAN BE HELD IN CONJUNCTION WITH SJCD/JEA PRECONSTRUCTION CONFERENCE IF APPLICABLE. CONTACT CITY OF ST. AUGUSTINE AT 904-471-8758 TO SCHEDULE A MEETING.
- ALL DETECTABLE WARNING SURFACES FOR SIDEWALK AT CURB CUT HANDICAP RAMPS UNDER THE JURISDICTION OF CITY OF ST. AUGUSTINE SHALL BE A CITY APPROVED YELLOW COLORED COMPOSITE MATERIAL ANCHORED IN THE CONCRETE SIDEWALK RAMP. ANCHORED COMPOSITE WARNING AREA INSERTS ARE TO BE COLORED "SAFETY YELLOW". ARE TO BE SET INTO THE CONCRETE AND ARE TO BE FLUSH WITH CONCRETE SURFACE ALONG ALL FOUR SIDES. DESIGN DIMENSIONS OF DETECTABLE WARNING AREA SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDES 304, SHEETS 1 THROUGH 6, AND 28 CODE OF FEDERAL REGULATIONS (CFR) PART 38, APPENDIX A LATEST REVISION, AS WELL AS APPLICABLE CITY REQUIREMENTS. ACCEPTABLE PRODUCTS ARE CAST IN PLACE COMPOSITE TACTILE BY ADA SOLUTIONS, INC., AND CAST IN PLACE DETECTABLE WARNING PANEL BY ARMORAST. THE STANDARD COLOR FOR THE DETECTABLE WARNING SURFACE SHALL BE YELLOW. A DIFFERENT CONTRASTING COLOR MAY BE APPROVED WHEN SUBMITTED AS PART OF A UNIFORM SIGNAGE PLAN FOR A DEVELOPMENT. ANY TYPE OF ADHESIVE OR SLUE DOWN MATS, STAMPED CONCRETE OR ANY VARIATION OTHER THAN WHAT IS SPECIFIED ABOVE WILL NOT BE ACCEPTED BY THE CITY. THE CITY WILL CONSIDER ALTERNATIVES THAT ARE EQUAL TO THE PRODUCTS SPECIFIED ABOVE. THE CITY ENGINEER AND THE CHIEF ENGINEER FOR DEVELOPMENT SERVICES WILL HAVE THE SOLE RESPONSIBILITY FOR DETERMINING THE PRODUCT ACCEPTABILITY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING SILT FENCE, HAY BALES, AND FILTER FABRIC INSIDE DRAINAGE STRUCTURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE ENGINEER.

PAVING AND DRAINAGE LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED

GENERAL NOTES
TOLOMATO PARKING LOT
FOR
CITY OF ST AUGUSTINE

DRAWING NUMBER
2

PLANS PREPARED UNDER THE
 DIRECTION OF:
 ANDREW HOLLEY
 P.E. NUMBER: 76182

REVISIONS:
 ETM NO. 16-238-03
 DRAWN BY: HMG
 DESIGNED BY: AAH
 CHECKED BY: AAH
 DATE: JULY 2018

England-Thorns & Miller, Inc.
 14775 Old St. Augustine Road
 Jacksonville, FL 32216
 TEL: (904) 642-8890
 FAX: (904) 646-8486
 CA - 00002884 LC - 000018



GENERAL NOTES:

1. SEE WATER AND SEWER PLANS FOR NEW FIRE HYDRANT LOCATIONS.
2. ALL REMOVAL OF EXISTING UTILITIES, STRUCTURES, UNDERGROUND DEBRIS, CONCRETE & PAVEMENT TO BE PROPERLY DISPOSED OF OFF-SITE.
3. ALL DEMOLITION TO MEET LOCAL, STATE & FEDERAL REGULATIONS.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS (LOCAL, STATE & FEDERAL) FOR ALL DEMOLITION ACTIVITIES.
5. CONTRACTOR TO COORDINATE WITH THE JEA PRIOR TO DISCONNECTING ELECTRICAL UTILITIES & FOR SERVICE AND RELOCATION OF EXISTING ELECTRICAL UTILITIES.
6. THE EXISTENCE OR NONEXISTENCE OF ANY UNDERGROUND UTILITY DOES NOT CONSTITUTE THE RESPONSIBILITY OF THE ENGINEER.
7. ALL TREES TO BE CLEARED IN ACCORDANCE WITH THE SITE CLEARING PERMIT.
8. REFER TO LANDSCAPE PLANS FOR REMOVAL AND/OR PRESERVATION OF ANY EXISTING LANDSCAPING.
9. ANY EXISTING UTILITIES (WATER, STORM SEWER & SANITARY SERVICE) NOT SHOWN TO BE REMOVED ARE TO BE PROTECTED DURING CONSTRUCTION.
10. ANY EXISTING WELL TO BE ABANDONED IS TO BE CAPPED & FLOUGED AND TO MEET ALL LOCAL, STATE & FEDERAL REGULATIONS FOR ABANDONMENT.
11. REFER TO ELECTRICAL PLANS FOR NEW TRANSFORMER PAD EXACT LOCATIONS, ELECTRICAL SERVICE LOCATIONS & ELECTRICAL DEMOLITION.
12. CONTRACTOR TO CALL SUNSHINE STATE ONE CALL AT LEAST TWO FULL BUSINESS DAYS PRIOR TO CONSTRUCTION. ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO: GAS, TELEPHONE & ELECTRIC WITHIN THE LIMITS OF CONSTRUCTION TO BE LOCATED & CLEARLY MARKED PRIOR TO CONSTRUCTION.
13. ALL EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO CONSTRUCTION COMMENCEMENT.
14. REFER TO ARCHITECTURAL PLANS FOR ANY/ALL STRUCTURAL RELATED ITEMS REQUIRED FOR CONSTRUCTION.
15. CONTRACTOR TO COORDINATE WITH IRRIGATION DESIGNER FOR RELOCATION OF EXISTING SERVICE.
16. REFER TO LANDSCAPE PLANS FOR PLANT MATERIAL REMOVAL.
17. REFER TO MAINTENANCE OF TRAFFIC PLANS FOR MAINTENANCE OF VEHICLE AND PEDESTRIAN TRAFFIC DURING CONSTRUCTION.

LEGEND

	PAVEMENT DEMOLITION AND REMOVAL
	REMOVE EXISTING CONCRETE
	REMOVE EXISTING CURB & GUTTER
	REMOVE EXISTING UNDERGROUND PIPE OR CONDUIT



PLANS PREPARED UNDER THE DIRECTION OF:

ANDREW HOLLEY
P.E. NUMBER: 76182

REVISIONS:

ETM NO. 16-238-03	DRAWN BY: HMC	DESIGNED BY: AAH	CHECKED BY: AAH	DATE: JULY 2018
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TEL: (904) 645-8800
FAX: (904) 644-8405
CA - 00002884 LG - 0000310



DEMOLITION PLAN
TOLOMATO PARKING LOT
FOR
CITY OF ST AUGUSTINE

DRAWING NUMBER
3

DEVELOPMENT SUMMARY

A. PROJECT NAME: TOLOMATO PARKING LOT
 B. OWNER/DEVELOPER NAME, ADDRESS, PHONE NUMBER
 CITY OF ST AUGUSTINE
 75 KING STREET
 ST AUGUSTINE, FLORIDA, 32084
 C. ENGINEER NAME, ADDRESS, PHONE NUMBER
 ANDREW HOLLEY, P.E.
 ENGLAND-THIMS & MILLER, INC.
 14775 OLD ST. AUGUSTINE ROAD
 JACKSONVILLE, FLORIDA 32258
 PHONE: (904) 842-8990
 D. SURVEYOR NAME, ADDRESS, PHONE NUMBER
 GEOMATICS CORP.
 2804 N. FIFTH STREET, UNIT 101
 ST AUGUSTINE, FLORIDA, 32084
 (904) 824-3066

PARKING SUMMARY

EXISTING OFF STREET PARKING
 80 STANDARD SPACES
 2 ADA ACCESSIBLE SPACES

PROPOSED OFF STREET PARKING
 60 STANDARD SPACES
 3 ADA ACCESSIBLE SPACES
 3 HEAVY DUTY DELIVERY TRUCK (WB-50)
 1 MEDIUM DELIVERY TRUCK (SU-40)
 1 MEDIUM DELIVERY TRUCK (SU-30)

ACCESSIBLE PARKING REQUIREMENTS
 ** PER FLORIDA STATUTE 316.1955 & 316.1956
 ** PER ADAAG 208.2

TOTAL PARKING IN LOT	REQUIRED ACCESSIBLE SPACES
1-25	1
26-50	2
51-75	3

REQUIRED = 3 SPACES
 PROVIDED = 3 SPACES

LEGEND

HEAVY DUTY CONCRETE PAVEMENT

PERVIOUS PAVEMENT



PLANS PREPARED UNDER THE DIRECTION OF:
 ANDREW HOLLEY
 P.E. NUMBER: 76182

REVISIONS:

ETM NO.	DATE	BY	DESCRIPTION
16-238-03		HMG	
		AAH	
		AAH	

ETM NO. 16-238-03
 DRAWN BY: HMG
 DESIGNED BY: AAH
 CHECKED BY: AAH
 DATE: JULY 2018

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 14775 Old St. Augustine Road
 Jacksonville, FL 32258
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 FAX: (904) 848-9408
 CA - 00002884 LC - 0000316

ETM
 VISION • EXPERIENCE • RESULTS

**MASTER SITE PLAN
 TOLOMATO PARKING LOT
 FOR
 CITY OF ST AUGUSTINE**

DRAWING NUMBER
4

6:\16-238\16-238-03-Loading_Zone\Design\Plots\16-238-03_MSTE.dwg
 PLOTTED: July 11, 2018 10:15 AM, BT: Hanna Gensky

GENERAL NOTES:

- SEE DRAWING NO. 2 FOR GENERAL NOTES AND LEGEND.
- ALL DIMENSIONS ARE TO BE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE CURB RAMP AT ALL PLACES WHERE SIDEWALK TERMINATES INTO PAVEMENT. CURB RAMP SHALL COMPLY WITH LATEST ADA CODE PER FDOT INDEX NO. 304.
- ALL STRIPING, PAVEMENT MARKINGS AND RPM'S SHALL BE IN ACCORDANCE WITH FDOT INDEX 17346.
- STOP BARS SHALL BE LOCATED 4' MINIMUM FROM CROSSWALKS AND/OR CURB RAMP.
- CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO COUNTY APPROVED SITE PLAN FOR ALL LINE DIMENSIONS. ELECTRONIC FILES PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- BUILDING FOOTPRINT SHOWN REPRESENTS THE EXTERIOR ENVELOPE OF THE BUILDING AS RECEIVED FROM THE ARCHITECT. CONTRACTOR TO NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

LEGEND

- HEAVY DUTY CONCRETE PAVEMENT
- PERVIOUS PAVEMENT

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C1	19.00'	69.20'	74.34'	N78°56'05"W	36.82'	208°40'31"
C2	27.00'	14.99'	7.89'	S9°30'07"W	14.79'	31°48'05"
C3	35.00'	49.42'	29.84'	N46°51'11"W	45.42'	80°54'31"
C4	40.00'	78.41'	59.66'	N49°45'42"E	66.45'	112°19'14"
C5	90.00'	23.48'	11.81'	N81°33'10"W	23.42'	14°56'59"



PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

ETM NO. 16-238-03	DRAWN BY: HMG
DESIGNED BY: AAH	CHECKED BY: AAH
DATE: JULY 2018	

ETM
VISION • EXPERIENCE • RESULTS

SITE GEOMETRY PLAN
TOLOMATO PARKING LOT
FOR
CITY OF ST AUGUSTINE

DRAWING NUMBER
5

PLANNED UNDER THE DIRECTION OF:
ANDREW HOLLEY
P.E. NUMBER: 76182

PLOTTED: July 11, 2018 - 10:15 AM. BY: Hanna Cammy

NOTES:

1. ON-SITE SURVEY INFORMATION AND TOPOGRAPHIC INFORMATION PROVIDED BY GEOMETRICS CORP. DATED AUGUST 27, 2015.
2. ELEVATIONS REFER TO NAVD 88.
3. SITE FALLS WITHIN FLOOD ZONE X.

PRE DEVELOPMENT DRAINAGE AREAS

TOTAL AREA OF SITE = 1.24 ACRES
 AREA OF COQUINA = 0.74 ACRES
 CN = 98
 AREA OF CONCRETE PAVEMENT = 0.10 ACRES
 CN = 98
 AREA OF LANDSCAPE = 0.40 ACRES
 CN = 49

LEGEND



PLANS PREPARED UNDER THE DIRECTION OF:

ANDREW HOLLEY
 P.E. NUMBER: 76182

REVISIONS:

ETM NO. 16-238-03	DRAWN BY: HMG
DESIGNED BY: AAH	CHECKED BY: AAH
DATE: JULY 2018	

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 10000 Road
 Jacksonville, FL 32258
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PRE DEVELOPMENT PLAN
TOLOMATO PARKING LOT
CITY OF ST AUGUSTINE

DRAWING NUMBER
6

- GENERAL NOTES:**
- SEE DRAWING NO. XX FOR GENERAL NOTES & LEGEND.
 - 2'-6" 20' UNDERDRAIN STUBOUTS AT EACH PAVEMENT DRAINAGE INLET.
 - ALL PIPE LENGTHS SHOWN HEREON ARE APPROXIMATE AND ARE TAKEN FROM THE APPROXIMATE CENTER OF GRATE / RAMP AND COVER TO THE BACK OF THE MITERED END SECTIONS.
 - SIDEWALK CONSTRUCTION TO MEET ADA REQUIREMENTS.
 - RAMPS MAXIMUM SLOPE: 1:12 (8.33%)
 - SIDEWALK/CROSSWALK MAXIMUM CROSS SLOPE 1:48 (2%)
 - SIDEWALK/CROSSWALK MAXIMUM RUNNING SLOPE 1:20 (5%)
 - CONTRACTOR RESPONSIBLE FOR NOTIFYING CITY FOR ALL ANY REQUIRED INSPECTIONS FOR WORK WITHIN A PUBLIC RIGHT OF WAY.
 - CONTRACTOR SHALL NOT SCALE PLAN, BUT SHALL REFER TO PLAT FOR ALL HORIZONTAL LINE DIMENSIONS.
 - ALL DRAINAGE MANHOLE TOPS ARE APPROXIMATE.
 - REFER TO DRAWINGS XX & XX FOR PAVING AND DRAINAGE DETAILS.
 - UNSATURABLE MATERIAL SHALL BE REMOVED AND REPLACED AS PER RECOMMENDATIONS IN THE GEOTECH REPORT
 - SEED AND MULCH ALL DISTURBED AREAS.

LEGEND

	DRAINAGE DIVIDE LINE
	DRAINAGE SUB-DIVIDE LINE
	HEAVY DUTY CONCRETE PAVEMENT
	PERVIOUS PAVEMENT

POST DEVELOPMENT DRAINAGE AREAS

TOTAL AREA OF SITE = 1.24 ACRES
AREA OF HEAVY DUTY CONCRETE PAVEMENT = 0.50 ACRES CN = 98
AREA OF PERVIOUS PAVEMENT = 0.34 ACRES CN = 98
AREA OF LANDSCAPE = 0.40 ACRES CN = 39

DRAINAGE STRUCTURE TABLE

STR. NO.	STRUCTURE TYPE	TOP/GRATE EL.	INVERT EL.
1	TYPE "B" INLET	5.00	
2	TYPE "B" INLET	5.00	
3	TYPE "B" INLET	5.25	
4	TYPE "B" INLET	5.25	
5	CURB INLET - SINGLE	MATCH EXISTING TOP ELEVATION	



PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

ETM NO. 16-238-03	DRAWN BY: HMC
	DESIGNED BY: AAH
	CHECKED BY: AAH
	DATE: JULY 2018

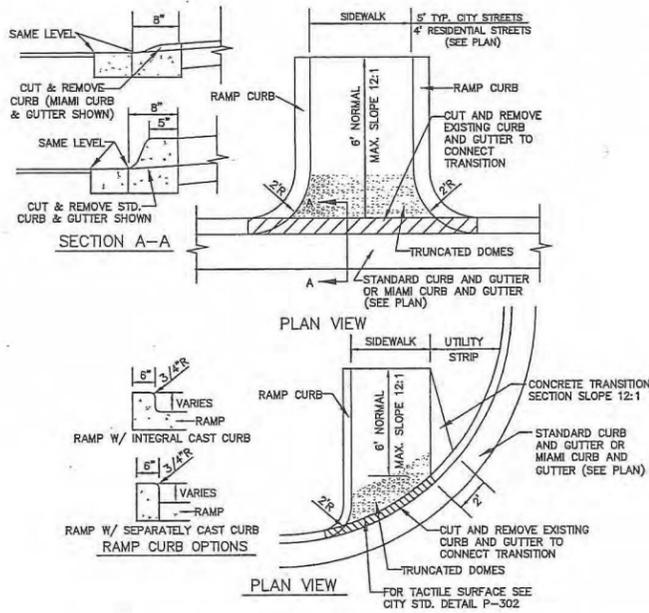
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PAVING AND DRAINAGE PLAN
TOLOMATO PARKING LOT
FOR
CITY OF ST AUGUSTINE

DRAWING NUMBER
7

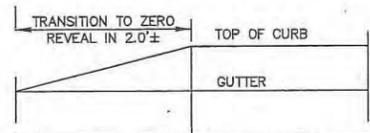
6:\16-238\16-238-03-Landing Zone\Design\Plots\16-238-03 PD.dwg
 PLOTTED: July 11, 2018 - 10:15 AM. BY: Hanna Camacho



NOTES:
1. HANDICAP RAMPS, SPACES AND SIGNAGE SHALL MEET AMERICAN NATIONAL STANDARD A117.1 AND ALL APPLICABLE CITY AND STATE REQUIREMENTS.
2. THE CONTRACTOR SHALL INSTALL DETECTABLE WARNING SURFACES IN ACCORDANCE WITH A.D.A. REQUIREMENTS. REFER TO FDOT STANDARD INDEX 304 FOR FURTHER INFORMATION.

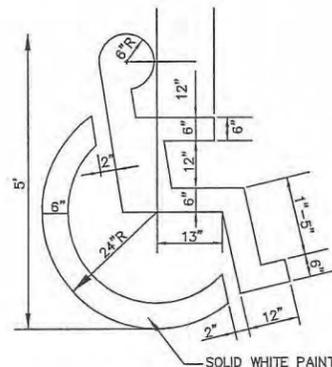
STANDARD HANDICAP RAMP DETAILS

N.T.S.



CURB TRANSITION DETAIL

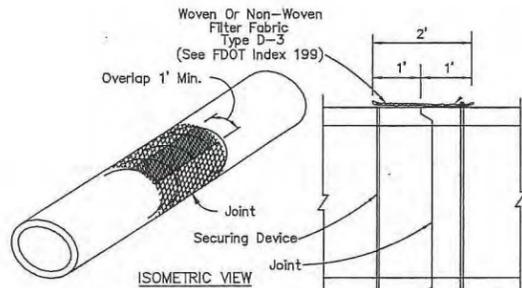
N.T.S.



NOTE:
ALL PAINT AND STRIPING SHALL BE IN ACCORDANCE WITH FDOT STANDARDS AND SPECIFICATIONS

HANDICAP PAVEMENT MARKINGS

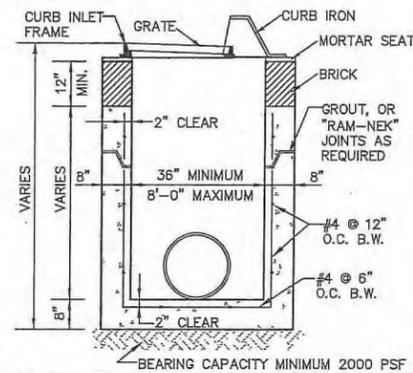
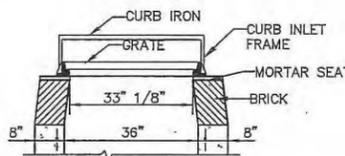
N.T.S.



- NOTES:**
1. ALL DRAINAGE PIPE TO BE WRAPPED AT JOINTS.
2. COST OF FILTER FABRIC JACKET TO BE INCLUDED IN COST OF PIPE CULVERTS.

FILTER FABRIC JACKET

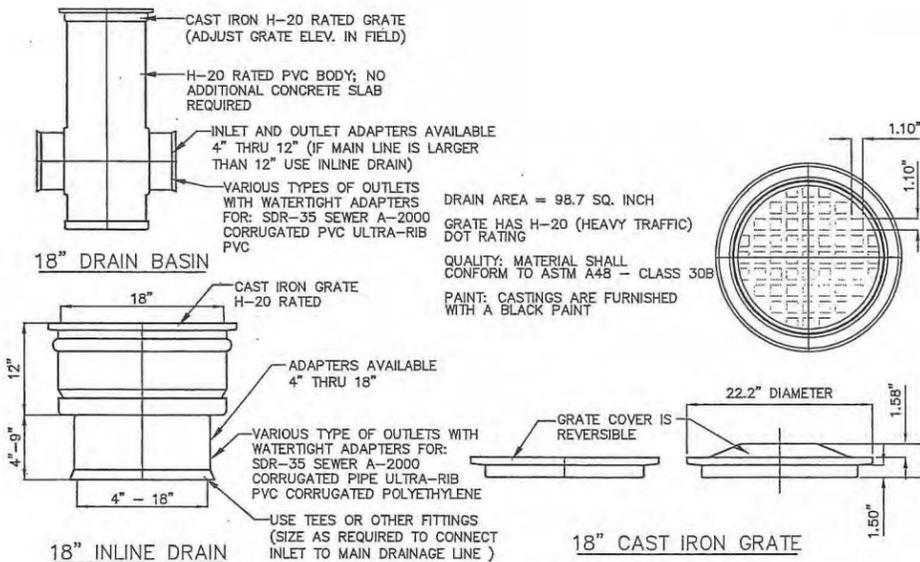
N.T.S.



- NOTES:**
1. PROVISION SHALL BE MADE AT THE TIME OF DRAINAGE STRUCTURE PRE-CASTING TO PROVIDE OPENINGS FOR UNDERDRAIN STUBOUTS ON EACH SIDE OF INLET.
2. CONCRETE DESIGN STRENGTH 4,000 PSI.
3. PIPE SHALL NOT BE IN CONSTRUCTION JOINT.

TYPE "A" SINGLE CURB INLET

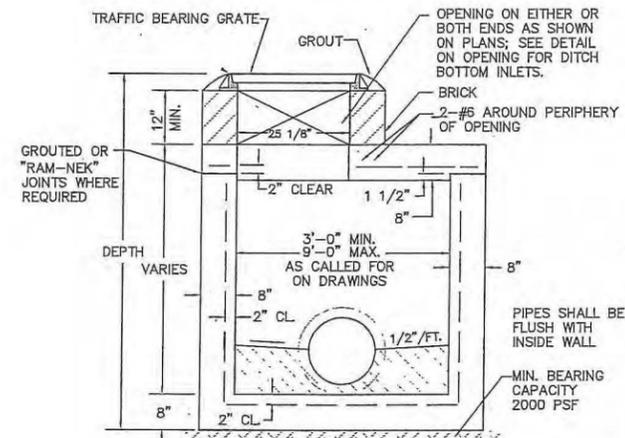
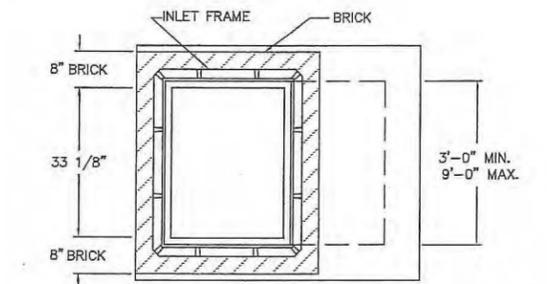
N.T.S.



NOTE:
CONTRACTOR SHALL USE FILTER WRAP AROUND ALL HDPE JOINTS PER MANUFACTURER'S RECOMMENDATIONS

YARD DRAIN - HDPE STORM SEWER INLETS

NYLOPLAST OR APPROVED EQUIVALENT
N.T.S.



PIPE MUST NOT BE IN CONSTRUCTION JOINT

STORM SEWER TYPE "B" INLET

N.T.S.

- NOTES:**
1. PERVIOUS CONCRETE PAVEMENT SHALL BE INSTALLED BY CONTRACTOR TRAINED AND A NRMCA (NATIONAL READY MIXED CONCRETE ASSOCIATION) CERTIFIED INSTALLER OR CRAFTSMAN TO INSTALL THE PROPOSED PERVIOUS PAVEMENT SYSTEM ACCORDING TO APPROVED DESIGN SPECIFICATIONS. WHEN PERVIOUS PAVEMENT ARE BEING USED, THE MIX SHALL BE TESTED TO ASSURE IT MEETS SPECIFICATIONS BEFORE IT IS ACCEPTED AND POURED.
2. PERVIOUS CONCRETE SHALL BE INSTALLED AS PER THE RECOMMENDATIONS IN THE FLORIDA CONCRETE & PRODUCTS ASSOCIATION, INC. "SPECIFICATION FOR PERVIOUS CONCRETE PAVEMENT"
3. CONTRACTOR SHALL FURNISH A PROPOSED MIX DESIGN WITH PROPORTIONS OF MATERIALS TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
4. GEOTEXTILE FABRIC SHALL COMPLY WITH AASHTO M 289 BASED ON APPLICATION AND INSTALLATION CONDITIONS. VERIFY COMPATIBILITY BETWEEN GEOTEXTILE AND ADJACENT SOILS FOR FILTRATION, CLOGGING AND PERMEABILITY AND FOLLOW MANUFACTURER RECOMMENDATIONS FOR USE AS SEPARATION LAYER BETWEEN SUBGRADE SOILS AND THE AGGREGATE RESERVOIR LAYER.
5. THE GEOTEXTILE FABRIC SHALL BE PLACED ON TOP OF THE SUBGRADE AND WRAPPED AROUND THE SIDE AND OVER THE TOP OF THE AGGREGATE RESERVOIR EXTENDING A MINIMUM OF 12 INCHES FROM THE EDGE AT THE TOP.
6. PROOF ROLL THE AGGREGATE RESERVOIR LAYER TO ENSURE THAT THE REQUIRED PAVEMENT THICKNESS IS OBTAINED IN ALL LOCATIONS.
7. THE TOP SIX (6) INCHES OF SUBGRADE SHALL BE COMPOSED OF GRANULAR OR GRAVEL-LIKE SOIL THAT IS PREDOMINANTLY SANDY WITH NO MORE THAN A MODERATE AMOUNT OF SILT OR CLAY.
8. THE SUBGRADE SHALL HAVE A PERMEABILITY NO LESS THAN 2 INCHES PER HOUR. THIS SHALL BE VERIFIED BY DOUBLE RING INFILTRMETER IN ACCORDANCE WITH ASTM D 3385 AT THE REQUEST OF THE OWNER OR ENGINEER.
9. THE SUBGRADE SHALL BE COMPACTED BY MECHANICAL VIBRATORY COMPACTOR TO A MAXIMUM DENSITY OF 92% ± 2% OF A MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM D 1557 OR AASHTO T 180 TO THE MINIMUM DEPTH OF 24 INCHES.
10. SUBGRADE STABILIZATION SHALL NOT BE PERMITTED.

MAINTENANCE REQUIREMENT:
FOR THE FIRST TWO YEARS, THE PERVIOUS PAVEMENT WILL BE VACUUM SWEEP A MINIMUM OF TWICE PER YEAR AND ANNUALLY FOR THE YEARS FOLLOWING THE FIRST TWO.

PERVIOUS CONCRETE DETAIL

N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF:

REVISIONS:

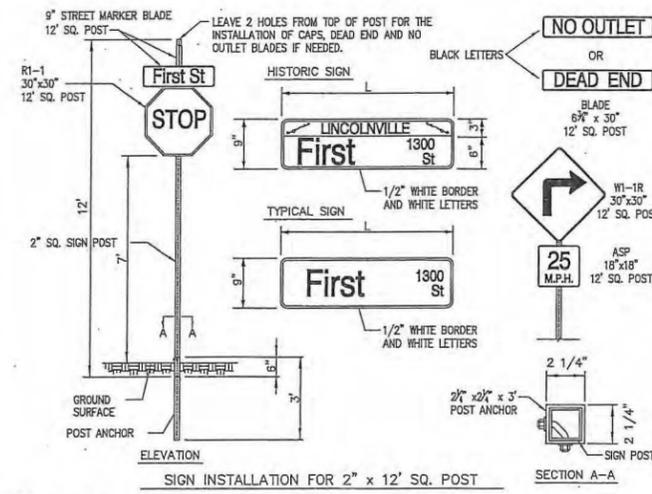
ETM NO. 16-238-03	DRAWN BY: HMG	CHECKED BY: AAH	DATE: JULY 2018
	DESIGNED BY: AAH		

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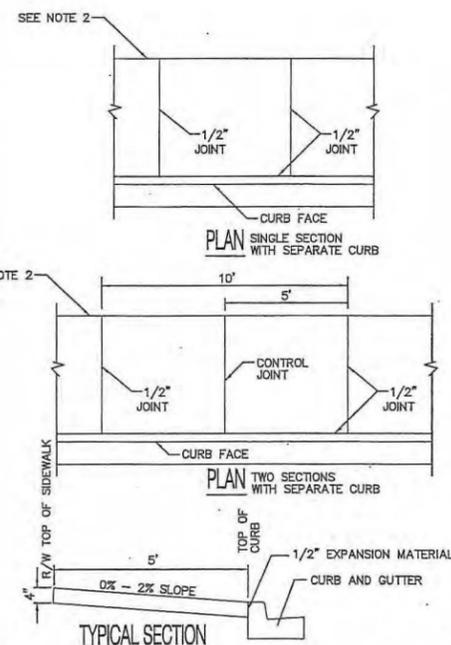
PAVING AND DRAINAGE DETAILS
TOLOMATO PARKING LOT
CITY OF ST AUGUSTINE

DRAWING NUMBER
8A



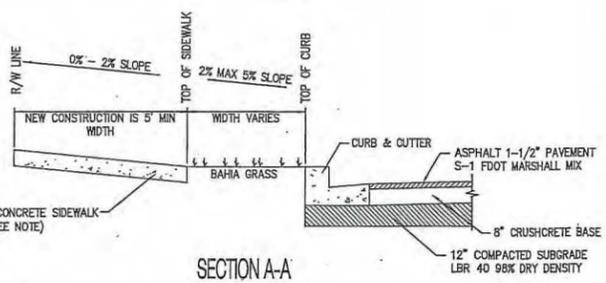
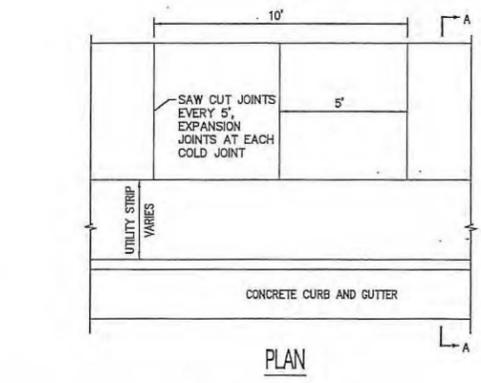
- NOTES:**
1. STREET NAME TO BE: 6" ARIAL MEDIUM (SERIES "B" UPPER CASE AND LOWER CASE).
 2. BLOCK NUMBERS AND RD., ST., AVE., ETC., TO BE: 2.5" SERIES "B" LETTERS UPPER AND LOWER CASE AND NUMBERS.
 3. FOR PUBLIC STREETS: ALL SHEETING TO BE GREEN E C FILM COVERED OVER HIGH INTENSITY DIAMOND GRADE.
 4. FOR PRIVATE STREETS: ALL SHEETING TO BE BLUE E C FILM COVERED OVER HIGH INTENSITY DIAMOND GRADE.
 5. FOR NO OUTLET OR DEADEND SIGNS: ALL SHEETING TO BE YELLOW E C FILM COVERED OVER HIGH INTENSITY GRADE.
 6. SIGN BLANK TO BE 0.125" THICK ALUMINUM.
 7. BORDER TO BE 1/2" SILVER HIGH INTENSITY.
 8. SIGNS TO BE A MINIMUM OF 9"x30" TO A MAXIMUM OF 9"x48". THE SIZE OF THE SIGN SHALL BE INCREASED IN 6" INCREMENTS ONLY.
 9. HISTORIC SIGN SHEETING TO BE 6" GREEN 3" BROWN WITH SCROLL A FORTY FIVE DEGREE IN CORNERS.
- SIGNING GENERAL NOTES:**
1. FOR SIGN DETAILS USE THE MANUAL OF STANDARD HIGHWAY SIGNS, AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE U.S. DEPARTMENT OF TRANSPORTATION (1979) AND AS SPECIFIED BY THE MUTCH. FOR FTP SIGN DETAILS, REFER TO FLORIDA DEPT OF TRANSPORTATION STANDARD INDEX 17355, JAN 2004.
 2. PUBLIC WORKS DEPT MAY REQUIRE THE CONTRACTOR TO FIELD ADJUST THE LOCATION OF ANY SIGN TO ENSURE PROPER VISIBILITY.
 3. OUTSIDE CORNERS OF SIGN FACES TO BE CUT CONCENTRIC WITH BORDER. BORDER SHALL BE PARALLEL TO THE EDGE OF THE SIGN.
 4. ALL STREET SIGNS SHALL INCLUDE BLOCK NUMBERS AND SHALL BE INSTALLED ABOVE STOP SIGNS.
 5. ALL GROUND MOUNTED SIGNS SHALL HAVE SQUARE POSTS.
 6. SIGNS MUST BE LOCATED TO AVOID DRIVEWAYS, AND LINE OF SIGHT FROM INTERSECTIONS AND DRIVEWAYS.
 7. ALL SINGLE COLUMN SIGNS SHALL BE INSTALLED AT A HEIGHT OF 7' ABOVE GROUND IN ACCORDANCE WITH FDOT INDEX NO. 17302 AND INDEX NO. 11865

COSA SIGNS DETAIL (PD-06A)
N.T.S.



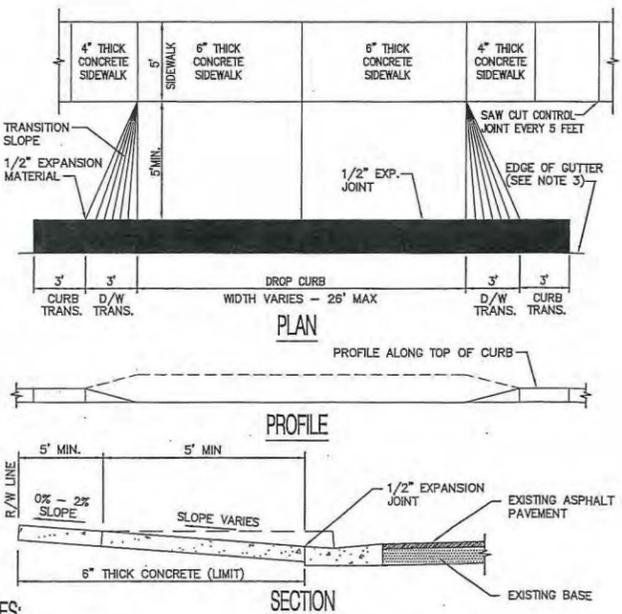
- NOTES:**
1. NEW OR REPLACED SIDEWALKS SHALL BE A MINIMUM OF 4" THICK 3000 PSI CONCRETE, OR APPROVED MIX OF COQUINA SHELL CONCRETE. SURFACE SHALL BE SMOOTH BROOM FINISH.
 2. WHEN BACK OF SIDEWALK ADJUTS A FIXED STRUCTURE, USE 1/2" EXPANSION MATERIAL BETWEEN SIDEWALK AND STRUCTURE.
 3. JOINT PLACEMENT FOR OLD NUMBER OF REPLACEMENT SECTIONS SHALL BE AS FOLLOWS: BEGINNING AT ONE END OF EXISTING SIDEWALK WITH 1/2" EXPANSION MATERIAL. JOINTS SHALL ALTERNATE BETWEEN CONTROL JOINTS AND 1/2" EXPANSION JOINTS THEREAFTER. BOTH JOINTS ADJACENT TO EXISTING SIDEWALK SHALL BE 1/2" EXPANSION JOINTS. LENGTH OF SIDEWALK SECTIONS BETWEEN JOINTS SHALL BE CONSISTENT WITH SURROUNDING SIDEWALK.

COSA SIDEWALK ADJACENT TO CURB DETAIL (PD-07B)
N.T.S.



- NOTE:**
1. NEW OR REPLACED SIDEWALKS SHALL BE A MINIMUM OF 4" THICK 3000 PSI DOT CONCRETE, OR APPROVED MIX OF COQUINA SHELL CONCRETE. SURFACE SHALL BE SMOOTH BROOM FINISH.

COSA TYPICAL SIDEWALK DETAIL (PD-07A)
N.T.S.



- NOTES:**
1. NEW OR REPLACED DRIVEWAYS SHALL BE A MINIMUM OF 6" 3000 PSI CONCRETE, OR APPROVED MIX OF COQUINA SHELL (SEE GENERAL SPECIFICATIONS).
 3. FOR DRIVEWAY REPLACEMENT OR NEW DRIVEWAY PLACEMENT ON EXISTING PAVED STREETS, SAW CUT ASPHALT FROM LIMITS OF CURB TRANSITIONS AT A DISTANCE OF 24" FROM BACK OF CURB, REMOVE ALL EXISTING MATERIALS CONTAINED THEREIN (SEE SHADED AREA ON PLAN) AND REPLACEMENT WITH NEW CURB AND GUTTER AS REQUIRED. USE 1/2" EXPANSION MATERIAL BETWEEN EXISTING CONCRETE CURB AND GUTTER AND NEW CONCRETE CURB AND GUTTER AS APPLICABLE. USE ADDITIONAL 3" CURB TRANSITION SECTION BEYOND END OF DRIVEWAY TRANSITION TO MATCH NEW CURB TO EXISTING CURB ON EACH SIDE OF DRIVEWAY. NEW CURB AND GUTTER SHALL BE FDOT TYPE "T". NEW CURB AND GUTTER IS REQUIRED FOR EXISTING STREETS WHICH DO NOT PRESENTLY HAVE CONCRETE GUTTERS.

COSA DRIVEWAY CONNECTION DETAIL (PD-08A)
N.T.S.

DESCRIPTION:
THE WORK SPECIFIED IN THIS SECTION CONSISTS OF CONSTRUCTION OF CONCRETE SIDEWALKS AND DRIVEWAYS WITHIN THE CITY'S RIGHTS OF WAY.

INCORPORATED REGULATIONS:
AMERICANS WITH DISABILITIES ACT: STANDARDS FOR ACCESSIBLE DESIGN CRITERIA
FEDERAL HIGHWAY ADMINISTRATION ADAAG DETECTABLE WARNINGS
FDOT ADA / ACCESSIBILITY PROGRAM
FDOT DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2008
CITY OF ST. AUGUSTINE STANDARD DETAILS AND SPECIFICATIONS

CONCRETE:
ALL CONCRETE SHALL BE 3,000 PSI CONCRETE UNLESS OTHERWISE NOTED. A COQUINA MIX CONCRETE SHALL BE REQUIRED IN ALL HISTORIC AREAS.

JOINTS:
THE SIDEWALK SHALL HAVE EXPANSION AND CONSTRUCTION JOINTS AS SPECIFIED HEREIN, OR AS SHOWN ON THE PLANS.

EXPANSION JOINTS SHALL BE PERFORMED: JOINT FILLERS MEETING THE REQUIREMENTS OF AASHTO M153 OR AASHTO 213 AND CUT TO THE TRUE SHAPE OF THE CROSS SECTION, SET TO LINE AND GRADE AND HELD TRUE WHILE THE CONCRETE IS BEING PLACED. THE JOINT SHALL BE EDGED AND FINISHED IN A WORKMANLIKE MANNER AS REQUIRED BY THE CITY. EXPANSION JOINT MATERIAL SHALL BE PLACED AT EACH COLD JOINT, AGAINST ADJACENT STRUCTURES, AND AROUND ALL STRUCTURES OR OBJECTS LOCATED WITHIN THE CONCRETE, OR AS SPECIFIED BY THE CITY. ON DRIVEWAYS, EXPANSION JOINT MATERIAL SHALL BE PLACED ADJACENT TO THE PAVING, CURB AND DRIVEWAY APRONS OR AS SPECIFIED BY THE CITY.

CONSTRUCTION JOINTS SHALL BE: SAW-CUT OR PLACED AND FORMED BY MEANS OF AN APPROVED JOINTER TEMPLATE. THE STEM OF THE JOINTER SHALL BE PRESSED INTO THE FRESHLY FINISHED CONCRETE FORMING A GROOVE 0.75 INCHES DEEP. THE EDGES OF THE GROOVE AND ADJACENT SURFACE SHALL BE NEATLY FINISHED IN A WORKMANLIKE MANNER WITH PROPER TOOLS IN THE HANDS OF SKILLFUL WORKMEN. UNLESS OTHERWISE SHOWN ON THE PLANS OR DESIGNATED BY THE CITY, THESE JOINTS SHALL APPEAR AT 5-FOOT INTERVALS BETWEEN EXPANSION JOINTS.

SCREENING:
THE CONCRETE SHALL BE STRUCK-OFF BY MEANS OF A WOOD OR METAL SREED, USED PERPENDICULAR TO THE FORMS, IN ORDER TO OBTAIN THE REQUIRED GRADE AND REMOVE SURPLUS WATER AND LATANCE.

CONCRETE SURFACE REQUIREMENTS:
THE CONCRETE SHALL BE GIVEN A BROOM FINISH. THE SURFACE VARIATIONS SHALL NOT BE MORE THAN 1/8 INCH UNDER A TEN FOOT STRAIGHTEDGE, NOR MORE THAN 1/8 INCH ON A FIVE FOOT TRANSVERSE SECTION. THE EDGE OF THE SIDEWALK SHALL BE CAREFULLY FINISHED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH. COQUINA MIX CONCRETE SHALL HAVE A WASHED SURFACE WITH AGGREGATE SURFACE EXPOSED NOT TO EXCEED 1/4" IN SURFACE DEVIATION.

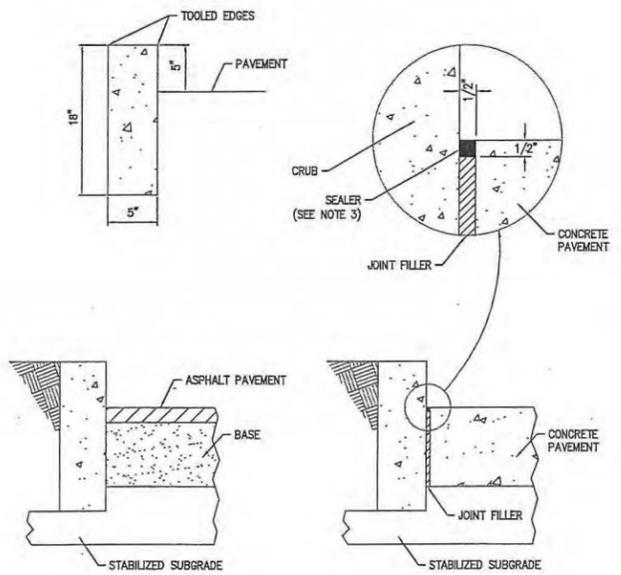
CONCRETE CURING, SOIL COMPACTION AND FORMS:
CONCRETE SHALL REACH A MINIMUM STRENGTH AT 28 DAYS. EXCAVATIONS SHALL BE MADE TO THE REQUIRED DEPTH, AND THE FOUNDATION MATERIAL UPON WHICH THE SIDEWALK IS TO BE INSTALLED AND SHALL BE COMPACTED TO REACH A MINIMUM OF 95% MAXIMUM DRY DENSITY UNDER THE SIDEWALK OR DRIVEWAY. THE SOIL SHOULD BE A FIRM, EVEN SURFACE, TRUE TO GRADE AND CROSS SECTION, AND SHALL BE MOST AT THE TIME THAT THE CONCRETE IS PLACED. THE CONCRETE SHALL BE PLACED IN THE FORMS TO THE REQUIRED DEPTH, AND SHALL BE TAMPED AND SPADED UNTIL CONCRETE ENTIRELY COVERS ITS SURFACE.

THICKNESS AND WIDTH:
SIDEWALKS SHALL BE CONSTRUCTED AT A STANDARD WIDTH OF 60 INCHES IN ALL AREAS AND A MINIMUM OF 4 INCHES THICK. SIDEWALK DIRECTLY ADJACENT TO THE CURB SHALL BE 72 INCHES WIDE, 4 INCHES THICK. IF RIGHT OF WAY IS LIMITED THEN THE SIDEWALK MAY BE REDUCED TO A MINIMUM OF 36" WIDE AND 4" THICK. WHEN SIDEWALK PASSES BY AN OBSTRUCTION, THE SIDEWALK MAY BE REDUCED TO A MINIMUM WIDTH OF 32" FOR A MAXIMUM DISTANCE OF 24".

DRIVEWAYS AND SIDEWALKS WITHIN DRIVEWAYS:
DRIVEWAYS AND SIDEWALK ADJUSTMENTS SHALL BE BUILT OF ONE COURSE OF MONOLITHIC CONSTRUCTION. DRIVEWAYS SHALL BE CONSTRUCTED AT A MINIMUM OF SIX INCHES (6") THICK AND A MINIMUM WIDTH OF EIGHT FEET (8'). THE APRON SHALL HAVE A MAXIMUM WIDTH OF 60" AND A MINIMUM WIDTH OF 14" AT THE CURB. DRIVEWAY APRONS LARGER THAN 30" AT THE CURB SHALL BE CONSIDERED AS EXCEPTIONS. SIDEWALKS THAT CROSS THE DRIVEWAY SHALL BE CONSTRUCTED AT A MINIMUM OF SIX INCHES (6") THICK. EXPANSION JOINTS SHALL BE PLACED ADJACENT TO EXISTING CURB AND/OR OTHERWISE DIRECTED BY THE CITY.

TREES OR OBSTRUCTIONS:
DURING REPAIRS OR REPLACEMENT OF SIDEWALKS, EFFORTS SHOULD BE MADE TO PREVENT FURTHER DAMAGE TO THE SIDEWALKS AND THE EXISTING TREES. THE CITY PARKS DIVISION SHOULD BE NOTIFIED TO INSPECT THE TREE AND ROOTS TO SEE IF ROOTS MAY BE REMOVED FROM UNDER THE SIDEWALK OR IF THE SIDEWALK SHOULD BE RAMPED ABOVE THE ROOTS, MEANDERING SIDEWALK AROUND OBSTRUCTIONS OR THE SIDEWALK REMOVED AND A MID BLOCK CROSSWALK INSTALLED. ALL STAMPS AND/OR NON-TREE ROOTS IN THE SIDEWALK SPACE, WHETHER ABOVE OR BELOW GROUND, AND VISIBLE OR NOT, SHALL BE REMOVED 12 INCHES BELOW THE BOTTOM OF THE SIDEWALK.

COSA SIDEWALKS & DRIVEWAYS SPECIFICATIONS (PD-07AA)
N.T.S.



- NOTES:**
1. NEW OR REPLACED CURB SHALL BE 3000 PSI CONCRETE OR AN APPROVED MIX OF COQUINA SHELL.
 2. ENDS OF CURB SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN THREE FEET.
 3. SEALER SHALL BE 1/2" THICK AND SHALL NOT BE OVERPOURED. SEALER SHALL HAVE A SLIGHT DEPRESSION SO THAT IT WILL NOT BE AT THE SAME LEVEL AS THE PAVEMENT.

COSA HISTORIC CURB DETAIL (PD-02B)
N.T.S.

PLANS PREPARED UNDER THE DIRECTION OF:
ANDREW HOLLEY
P.E. NUMBER: 76182

REVISIONS:

ETW NO. 16-238-03	DRAWN BY: HMG	DESIGNED BY: AAH	CHECKED BY: AAH	DATE: JULY 2018
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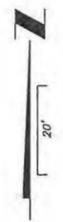
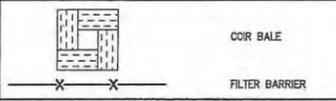
PAVING AND DRAINAGE DETAILS
TOLOMATO PARKING LOT FOR CITY OF ST AUGUSTINE

DRAWING NUMBER
8B

NOTES

1. SEE DRAWING NO. 2 FOR GENERAL NOTES.
2. REFER TO DRAWING NO. 10 FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS.
3. COIR BALES TO BE INSTALLED AROUND EACH INLET STRUCTURE BY CONTRACTOR.
4. CONTRACTOR SHALL PROVIDE COIR BALES AT ALL Dewatering Sumps.
5. FILTER BARRIER TO BE PLACED A MINIMUM OF 6' FROM ANY TREE TO REMAIN.
6. FILTER BARRIER SHOWN IS FOR GRAPHICAL PURPOSES ONLY. CONTRACTOR SHALL COORDINATE INSTALLATION OF FILTER BARRIER TO ENSURE NEIGHBORHOOD GRADING PLAN CAN BE COMPLETED IN ITS ENTIRETY.
7. COIR BALES TO BE REMOVED AFTER CONSTRUCTION AND STABILIZATION COMPLETE.

LEGEND



PLANS PREPARED UNDER THE DIRECTION OF:

ANDREW HOLLEY
P.E. NUMBER: 76182

REVISIONS:

ETM NO. 16-238-03	HMG
DRAWN BY:	AAH
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SEDIMENT AND EROSION CONTROL PLAN

**TOLOMATO PARKING LOT
CITY OF ST AUGUSTINE**

DRAWING NUMBER
9

STORM WATER POLLUTION PREVENTION PLAN

GENERAL NOTES

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE CLEARING AND EROSION CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES, SYNTHETIC BALES AND OTHER EROSION/SEDIMENTATION CONTROLS AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN IF REQUIRED.
4. CONSTRUCT SEDIMENTATION BASIN IF REQUIRED.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCKPILE TOP SOIL IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENUDE AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
9. INSTALL STORM SEWER, WATER, SEWER AND IRRIGATION.
10. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
11. REMOVE ACCUMULATED SEDIMENT FROM BASIN.
12. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED.

TIMING OF CONTROLS / MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND SYNTHETIC BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE CLEARING AND EROSION CONTROL PLAN.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE PLANS. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE PLANS AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE PLANS AND AS REQUIRED TO MEET THE EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

STABILIZED CONSTRUCTION ENTRANCE.

1. CONTRACTOR SHALL INSTALL AND MAINTAIN FOR THE DURATION OF THE CONSTRUCTION A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS TO THE CONSTRUCTION SITE. AGGREGATE SHALL BE FDOT SIZE NO. 1 COARSE AGGREGATE.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES:

1. SYNTHETIC BALE BARRIER: SYNTHETIC BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
 - D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF SYNTHETIC BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT MATERIAL OUT INTO THE SOIL OF THE SEEDING AREA.
 - E. REFER TO THE DETAILS FOR CONSTRUCTING THE SYNTHETIC BALE BARRIER. ALSO, REFER TO THE DETAILS FOR PROPER LOCATION, MATERIAL AND USAGE.
2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - F. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - G. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - H. REFER TO THE DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.
3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. LEVEL SPREADER SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DETAILS.
5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 7 DAYS SHALL BE SEEDING WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDING AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
10. TEMPORARY GRASSING: THE SEEDING OR SEEDING AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDRO MULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE 1

CONTROLS (CONTINUED)

STRUCTURAL PRACTICES:

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY AND IT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:
 - A. BLOCK AND GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. REFER TO THE DETAILS FOR CONSTRUCTION OF A CURB INLET SEDIMENT FILTER, AND FOR CONSTRUCTION OF A DROP INLET SEDIMENT FILTER.
 - B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED SEDIMENT TRAP.
 - C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. REFER TO THE DETAILS FOR CONSTRUCTION OF SYNTHETIC BALE AND FABRIC SEDIMENT FILTER.
3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEMS TO THE RECEIVING WATER BODY. SILT FENCES AND SYNTHETIC BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.
4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OPPOSITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

OTHER CONTROLS

WASTE DISPOSAL:

WASTE MATERIALS:
ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE:
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSITED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING:
A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TAUPALIN.

INTENANCE / INSPECTION PROCEDURES

- THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
- THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES:

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER LINE FLUSHING.
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
- UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE. ALL SUCH DISCHARGES SHALL MEET STATE WATER QUALITY STANDARDS AND ALL NECESSARY PERMITS SHALL BE OBTAINED.

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GENERAL:

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS:

- THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES:

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE:

PETROLEUM PRODUCTS:

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:

CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY AT DISCHARGE POINT PROVIDED. NO OFFSITE DISCHARGE WILL BE PERMITTED.

SPILL CONTROL PRACTICES:

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS INCLUDE BUT ARE NOT LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, LIQUID ABSORBENT (I.E. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

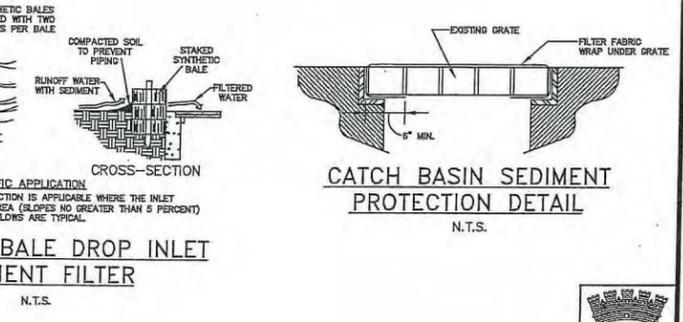
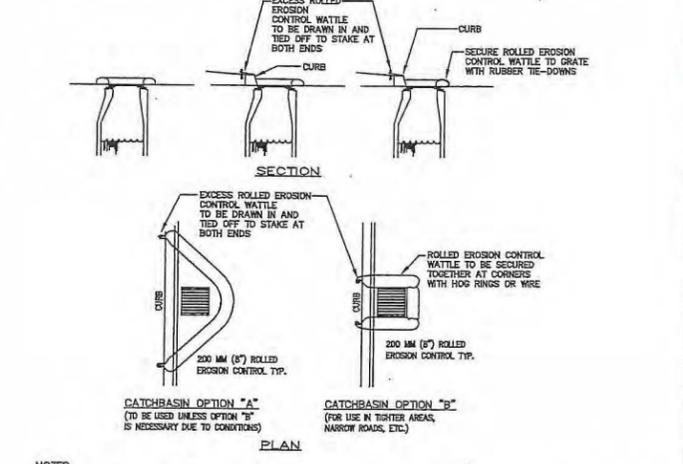
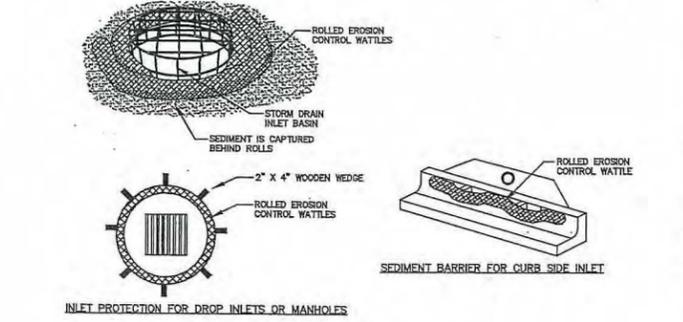
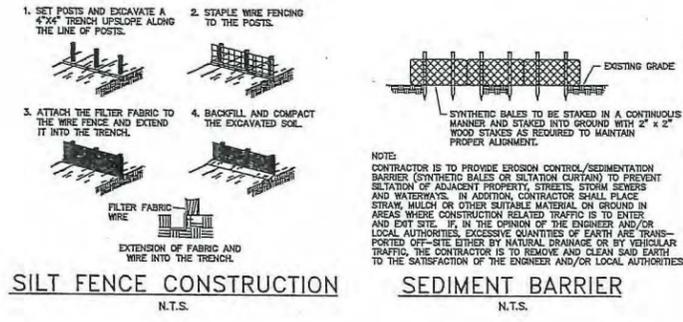
ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ON-SITE.



PLANS PREPARED UNDER THE DIRECTION OF:
 ANDREW HOLLEY
 P.E. NUMBER: 76182
 PLOTTED: July 11, 2018 10:15 AM, BT: Hanna Gamaly

REVISIONS:
 ETM NO. 16-238-03
 DRAWN BY: HMG
 DESIGNED BY: AAH
 CHECKED BY: AAH
 DATE: JULY 2018

Englund-Thoms & Miller, Inc.
 10000 N. Road
 Jacksonville, FL 32218
 TEL: (904) 662-8888
 FAX: (904) 616-9165
 CA - 0002694 LC - 000016

ETM
 VISION - EXPERIENCE - RESULTS

SEDIMENT AND EROSION CONTROL DETAILS
 TOLOMATO PARKING LOT FOR CITY OF ST AUGUSTINE

G:\16-238\16-238-03-Landing_Zone_Vesign\Plate\16-238-03 SEC DET.CWG

CITY OF ST. AUGUSTINE
STORM WATER POLLUTION
PREVENTION PLAN

REVISION DATE:	MAY 2014
NOT TO SCALE	N-2



DRAWING NUMBER
10

OWNER'S REQUIREMENTS

CONTRACTOR'S REQUIREMENTS

Main body of the form containing sections for SITE DESCRIPTION, GENERAL, INVENTORY FOR POLLUTION PREVENTION PLAN, MAINTENANCE/INSPECTION PROCEDURES, CONTROLS, and POLLUTION PREVENTION PLAN CERTIFICATION.

Vertical sidebar on the right containing project information, revision history, and the EMM logo with contact details for Stormwater Pollution Prevention Plan.

TOLOMATO PARKING LOT
STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

THIS IS THE CONTRACTOR'S CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES

INSPECTOR: _____

INSPECTOR'S QUALIFICATIONS: _____

DAYS SINCE LAST RAINFALL: _____ AMOUNT OF LAST RAINFALL _____ INCHES

STABILIZATION MEASURES

INSPECTION AREA (DESCRIPTION OF LOCATION)	DATE SINCE LAST DISTURBED	DATE OF NEXT DISTURBANCE	STABILIZED ? (YES/NO)	STABILIZED WITH	CONDITION

STABILIZATION REQUIRED: _____

TO BE PERFORMED BY: _____ ON OR BEFORE _____

PAGE 1 OF 4

TOLOMATO PARKING LOT
STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

DATE: _____

STRUCTURAL CONTROLS

EARTH DIKES/SWALES

DIKE OR SWALE	FROM	TO	IS DIKE/SWALE STABILIZED ?	IS THERE EVIDENCE OF WASHOUT OR OVERTOPPING

MAINTENANCE REQUIRED FOR EARTH DIKE/SWALE: _____

TO BE PERFORMED BY: _____ ON OR BEFORE _____

CATCH BASIN/CURB INLET/OUTFALL TURBIDITY CONTROLS

STRUCTURE/ OUTFALL	ARE TURBIDITY CONTROLS IN PLACE	ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING ?	ARE TURBIDITY CONTROLS IN NEED OF REPLACING	DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL

MAINTENANCE REQUIRED FOR CATCH BASIN/CURB INLETS/OUTFALLS TURBIDITY CONTROLS: _____

TO BE PERFORMED BY: _____ ON OR BEFORE _____

PAGE 2 OF 4

TOLOMATO PARKING LOT
STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

SEDIMENT BASIN

DEPTH OF SEDIMENT IN BASIN	DEPTH OF SEDIMENT SIDE BASIN	ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT ?	CONDITION OF OUTFALL FROM SEDIMENT BASIN

MAINTENANCE REQUIRED FOR SEDIMENT BASIN: _____

TO BE PERFORMED BY: _____ ON OR BEFORE _____

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

DOES MUCH SEDIMENT GET TRACKED ON TO ROAD ?	IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT?	DOES ALL TRAFFIC USE THE STABILIZED ENTRANCE TO LEAVE THE SITE ?	IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE)

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE: _____

TO BE PERFORMED BY: _____ ON OR BEFORE _____

PAGE 3 OF 4

TOLOMATO PARKING LOT
STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN: _____

REASONS FOR CHANGES: _____

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE: _____

DATE: _____

PAGE 4 OF 4

12 DRAWING NUMBER	CONTRACTOR'S CERTIFICATION	ETM VISION • EXPERIENCE • RESULTS	England-Thims & Miller, Inc. 14775 Old St. Augustine Road Jacksonville, FL 32258 TEL: (904) 642-8990 FAX: (904) 648-9485 CA - 00002584 LC - 0000316	ETM NO. 16-238-03	REVISIONS:	PLANS PREPARED UNDER THE DIRECTION OF: ANDREW HOLLEY P.E. NUMBER: 76182
	TOLOMATO PARKING LOT FOR CITY OF ST AUGUSTINE			DRAWN BY: HMG	DESIGNED BY: AAH	

THE ST. AUGUSTINE RECORD
Affidavit of Publication

CITY OF ST AUGUSTINE
PO BOX 210

SAINT AUGUSTINE, FL 32085

ACCT: 15560
AD# 0003073289-01
PO#

PUBLISHED EVERY MORNING SUNDAY THROUGH SATURDAY
ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF ST. JOHNS

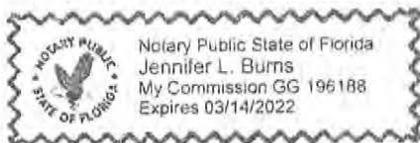
Before the undersigned authority personally appeared JAMIE WILLIAMS who on oath says he/she is an Employee of the St. Augustine Record, a daily newspaper published at St. Augustine in St. Johns County, Florida; that the attached copy of advertisement being a **NOTICE OF HEARING** in the matter of **HARB 20 Spanish Street** was published in said newspaper on **08/06/2018**.

Affiant further says that the St. Augustine Record is a newspaper published at St. Augustine, in St. Johns County, Florida, and that the said newspaper heretofore has been continuously published in said St. Johns County, Florida each day and has been entered as second class mail matter at the post office in the City of St. Augustine, in said St. Johns County, Florida for a period of one year preceding the first publication of the attached copy of advertisement; and affiant further says the he/she has neither paid nor promised any person, firm or corporation any discount, rebate, commission, or refund for the purpose of securing this advertisement for publication in said newspaper.

Sworn to and subscribed before me this ____ day of **AUG 06 2018**

by Jamie Williams who is personally known to me or who has produced as identification

Jennifer L. Burns
(Signature of Notary Public)



NOTICE OF PUBLIC HEARING

Notice is hereby given of a public hearing by the Historic Architectural Review Board to be held at **1:00 PM, Thursday, August 16, 2018**, in The Alcazar Room at City Hall, St. Augustine, Florida, at which time comments are invited on the following:
OPINION OF APPROPRIATENESS TO MAKE ALTERATIONS TO AN EXISTING PARKING LOT TO INCLUDE ADDING LANDSCAPING, CONSTRUCTING A MASONRY WALL, AND INSTALLING PAVING MATERIAL, LIGHTING, AND SIGNAGE; CITY OF ST AUGUSTINE BLK 16 LOTS 21 THRU 26 & N30FT OF LOT 20 334.5FT ON SPANISH ST OR991/730; also known as 20 Spanish Street.
APPLICANT'S NAME: **City of St. Augustine**
SUBMITTED BY CITY CLERK'S OFFICE
0003073289 August 6, 2018

