



CITY OF ST. AUGUSTINE  
COMMUNITY REDEVELOPMENT AGENCY  
REGULAR MEETING

Monday, July 24, 2023, 3:00 PM  
ALCAZAR ROOM

A G E N D A

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1. Call to Order
  - A. Roll Call
2. Approval of Prior Meeting Minutes (April 24, 2023)
3. General Public Comment
4. Hayling/Vickers Parks Masterplan Presentation and Recommendation  
**Jeremy Marquis- Marquis, Latimer, + Halback**  
**Jaime D. Perkins**
5. LCRA Architectural Guidelines Presentation and Recommendation  
**Jeremy Marquis- Marquis, Latimer, + Halback**  
**Les Thomas, Les Thomas Architects**  
**R. Conner Dowling, Open City Architects**  
**Jaime D. Perkins**
6. Dr. Martin Luther King Jr. Ave. Streetscape Project Boundary Extension Recommendation  
**Jaime D. Perkins**
7. LCRA Plan Amendment & Timeframe Extension Recommendation  
**Jaime D. Perkins**
8. Historic Area CRA Plan Amendment Update  
**Jaime D. Perkins**
9. LCRA Fix-It-Up Program Update  
**Jaime D. Perkins**
10. Items by City Staff
11. Items by Chair and Board Members

## 12. Adjourn

NOTICES: In accordance with Florida Statute 286.0105: "If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone (904) 825-1007; 1-800-955-8771 (TDB) or 1-800-955-8770 (V), via Florida Relay Service. Please note that one or more members of the City Commission or its appointed boards or committees may attend this meeting and participate, however they may not engage in a discussion or debate amongst themselves on any issue that will likely come before their respective elected or appointed body. The materials prepared and presented are part of the City's ongoing Florida Public Records and Government in the Sunshine compliance and are not intended to be relied upon or to reach investors or the trading markets.

## CITY OF ST. AUGUSTINE

### Community Redevelopment Agency Regular Meeting April 24, 2023

The Community Redevelopment Agency met in formal session Monday, April 24, 2023 at 3:30 P.M. in the Alcazar Room at City Hall. The meeting was called to order by Chairwoman Nancy Sikes-Kline, and the following were present:

**1. Roll Call:** Nancy Sikes- Kline, Chairwoman

Roxanne Horvath  
Barbara Blonder  
Cynthia Garris  
Jim Springfield

John Regan, City Manager  
Isabelle Lopez, City Attorney  
Elyse Weimann, Acting City Clerk  
Ruben Franklin, Public Works Director  
Jaime D. Perkins, Community Redevelopment Agency Manager  
Jennifer Michaux, Police Chief  
Melissa Wissel, Communications Director  
Colleen Kuhn, Recording Secretary

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**2. Approval of Minutes (January 23, 2023).**

**MOTION**

**Commissioner Springfield MOVED to approve the January 23, 2023, Meeting Minutes. The motion was SECONDED by Commissioner Horvath and APPROVED BY UNANIMOUS VOICE VOTE.**

**3. General Public Comments.**

Public comment was opened; however, there was no response.

**4. Hayling/Vickers Park Public Engagement Survey Presentation Alexis Ridgell- CRA Coordinator/Intern.**

Alexis Ridgell, Community Redevelopment Agency Coordinator/Intern presented data collected on the recent Resident Input Surveys conducted on Eddie Vickers and Robert B. Hayling Freedom Parks. She

reviewed questions that were asked and noted that 158 people had responded, 143 of whom were Lincolnville residents or stakeholders.

Commissioner Blonder asked if there was any interest expressed in frisbee golf.

Ms. Ridgell said she saw some mention of frisbee golf, but it was not significant enough to categorize.

Commissioner Springfield asked about the lack of response from businesses.

Jaime D. Perkins, Community Redevelopment Agency Manager, stated there were not many businesses in Lincolnville which may account for the low response.

The Commission and staff discussed the community gardens including expansion and how they were operated.

Commissioner Blonder suggested adding the Park as part of the Great Florida Birding Trail.

## 5. Hayling/Vickers Park Masterplan Presentation.

Ms. Perkins said that the Lincolnville Community Redevelopment Agency (LCRA) Steering Committee met on April 17<sup>th</sup> and unanimously approved the Master Plan with some recommendations. She introduced Jeremy Marquis.

Jeremy Marquis, of Marquis, Latimer and Halback, reviewed his presentation and shared that a good amount of feedback had been received from the LCRA Steering Committee and the public. He shared the following LCRA recommendations:

- Ensure the history of the Park's name sakes were not lost.
- Addition of water fountains and bottle fill stations, utilities infrastructure for community events, restrooms, more shaded and parking areas, and dog waste containers.

Mr. Marquis showed designs of the Parks and noted the following features:

Eddie Vickers

- Benches, trash receptacles and dog waste stations
- Water fountains
- Historic signage
- Bio-filtration Garden
- Sidewalk games
- Deliberate pedestrian entrance
- Playground with resilient surface and basketball courts
- Batting cages
- Reunion plaza
- Separate dog parks
- Added parking
- Possible kayak vending machine
- Plenty of seating
- Structured shade

Dr. Robert B. Hayling Freedom

- Historic signs throughout

- Hayling Plaza
- Higher spaces for viewing
- Restroom pavilion
- Sunset terrace
- Covered pavilion
- Meditation zone
- Habitat for birding trail
- Accessible marsh overlook
- Park entrance games
- Sunset Terrace
- Clear visibility in the park

Commissioner Springfield and Mr. Marquis discussed the possibility of sidewalks that could include a jogging lane or track.

Commissioner Blonder asked for the use of native vegetation. She shared her concern about the amount of lawn care and use of pesticides that may be required.

Mr. Marquis said they could use all native plants and suggested adding Bahia Grass for lawn areas.

## 6. CRA Project Updates

### A. HACRA Plan Amendment Update

Ms. Perkins said they were working with a consultant to amend the Historic Area Community Redevelopment Area (HACRA) Plan and expected it to be ready ahead of schedule. She said the City Manager would review the Amendment in early June, the Community Redevelopment Agency (CRA) Board would review in mid-June, and if adopted, it would be approved in September.

### B. Fountain of Youth Elks Lodge

Ms. Perkins said the Institutional Rehabilitation Project was awarded over \$800,000 and indicated they were requesting a timeframe extension to complete the construction.

### C. St. Paul Structural Engineering Assessment Update

Ms. Perkins said St. Paul received a grant award for roof repair. She reminded the Board they had approved a grant

application to help the Church complete a structural assessment. She said the Board had requested an update at their last meeting and noted that substantial information had been received very recently. She introduced Jude Kostage, who would provide an update on the Assessment.

Jude Kostage, Atlantic Engineering Services, said they had conducted a structural assessment on St. Paul's Church. He said immediate repairs were needed to keep the building safe and that more substantial work would be required in the future. He listed the following areas in need of temporary repairs:

- Main Sanctuary and roof
- Alter
- Brick along back and east side of building

Ms. Perkins requested that the Board approve the use of the remaining funding, \$85,000-\$90,000, to complete the temporary repairs and stabilize the building.

Commissioner Springfield asked how further repairs would be paid for.

Ms. Perkins said she was uncertain since the original request was just for the Assessment.

#### **MOTION**

**Commissioner Horvath MOVED to approve use of the funds for the temporary repairs for life and safety purposes. The motion was SECONDED by Mayor Sikes-Kline.**

#### **VOTE ON MOTION:**

**AYES: Horvath, Sikes-Kline, Garris, Springfield, Blonder**

**NAYES: None**

**MOTION APPROVED UNANIMOUSLY**

#### **D. First Baptist Phase II**

Ms. Perkins stated milestone dates were being met. She said the stakeholders were completing their own interior improvements separately and the project should be substantially completed by early May.

#### **E. MLK Streetscape**

Ms. Perkins said this was a multimillion-dollar capital improvement project funded by the CRA and LCRA. She noted it included widening of traffic lanes, sidewalks, electrical/sewer, and cultural heritage signage. She said they were moving into the design phase of the Project.

#### **7. CRA Annual Report Presentation.**

Ms. Perkins indicated the Annual Report was completed and had been submitted to the appropriate agencies in compliance with Florida State Statute. She noted the Report contained details on the CRA and LCRA's annual performance.

#### **8. Items by Staff**

None

#### **9. Items by Chair and Board Members**

Commissioner Garris requested an assessment of the West St. Augustine to see if a CRA would be of benefit.

Mayor Sikes-Kline and Isabelle Lopez, City Attorney suggested that Commissioner Garris bring the suggestion forward during the City Commission meeting.

#### **10. Adjournment**

There being no further business, the meeting was adjourned at 4:36 P.M.<sup>1</sup>

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Nancy Sikes-Kline, Chairwoman

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<sup>1</sup> Transcribed by Colleen Kuhn

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Darlene Galambos, CITY CLERK

DRAFT



## **CITY OF ST. AUGUSTINE**

### **MEMORANDUM**

TO: The Honorable Chair and Board Members  
City of St. Augustine Community Redevelopment Agency

DATE: July 12, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;  
Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park Masterplan  
Recommendation

Attached please find the conceptual design and masterplan for both Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park. Also attached are Opinion of Probable Costs associated with each individual park. These documents were prepared by the selected landscape architecture and planning firm, Marquis, Latimer and Halback.

During the April 17, 2023, Lincolnville Community Redevelopment Area Steering Committee meeting, the committee voted unanimously to approve the Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park Masterplan. The Steering Committee asked that with this approval that the conceptual design be updated to include permanent shading, permeable parking, electrical connections, and restrooms at Freedom Park. The board also wanted to ensure that the masterplan would incorporate an opportunity to display historically significant content and contextualize the history of the Lincolnville Community as well as acknowledge noteworthy individuals.

During the April 24, 2023, Community Redevelopment Agency Meeting, the masterplan was presented with considerations related to the recommendations from the Steering Committee. The Board provided similar recommendations citing the need to ensure that the plantings at each park were native and require little maintenance or pesticides. There was also mention of the improvements to the walking tracks at each park and mile marker notifications. The attached plan represents the recommended adjustments of each board and steering committee member.

### **Recommendation:**

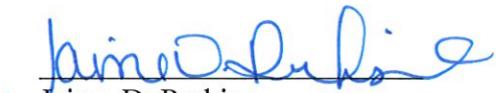
The 25-acres of recreational space, formally known as Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park are in dire need of improvements. The improvement of the

sports court, parking area, and walking trails are just a few elements of the park(s) that represent the need for improvement. Not only the residents of the community of Lincolnville, but stakeholders throughout the city have been very involved and vocal with their concerns regarding the current state of the park(s) and the addition of recreational elements that would make the park a more user-friendly recreational space.

The combined costs to complete each park improvement project is estimated to be approximately \$17,261,077. The improvements at Eddie Vickers Park is estimated to total \$11,744,922. The estimated costs to complete improvements at Dr. Robert B. Hayling Freedom Park is \$5,516,084. Considering these significant costs, the improvements to each recreational space should be phased. Taking into consideration the resident input survey, which provided feedback on park improvement prioritization. Each fiscal year staff will allocate funds to complete a park improvement effort. Staff will also make efforts to secure additional funding opportunities to complete the park improvements in lieu of CRA funds. It is important to mention that as part of the interlocal maintenance agreement between the City of St. Augustine and St. Johns County Parks and Recreational Department, partial funding for the improvement of the sports courts at Eddie Vickers Park will be provided by St. Johns County. The improvement of the sports court is a priority task.

City staff is asking the CRA Board to:

1. Make a motion to formally approve the masterplan for Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park, allowing staff to move forward with the development of design documents to be used during construction phases and allowing staff to program construction efforts in phases as funding for each improvement element is made available.

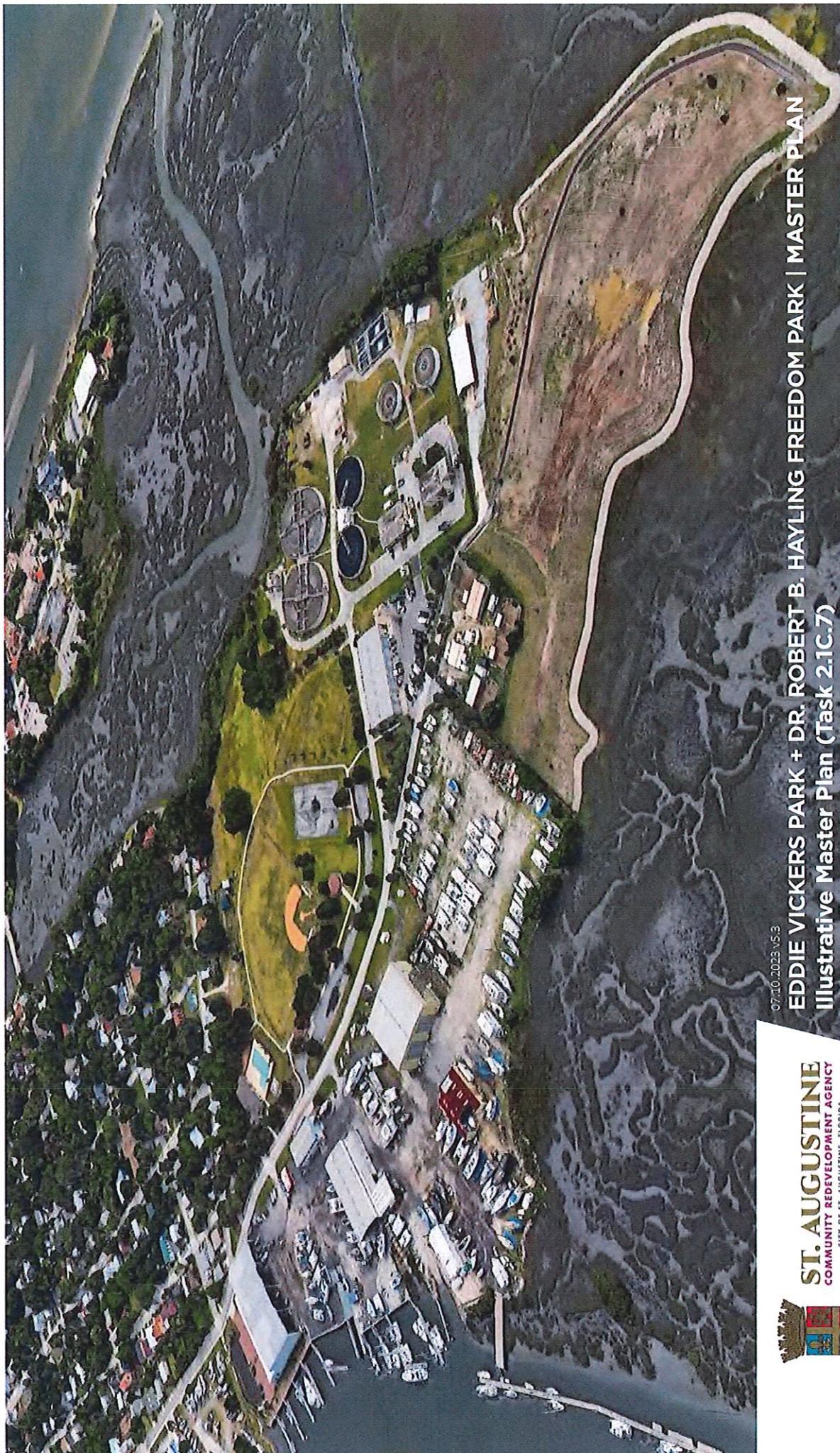


Jaime D. Perkins

Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: Park(s) Masterplan, Opinion of Probable Costs



07.10.2023 v5.3

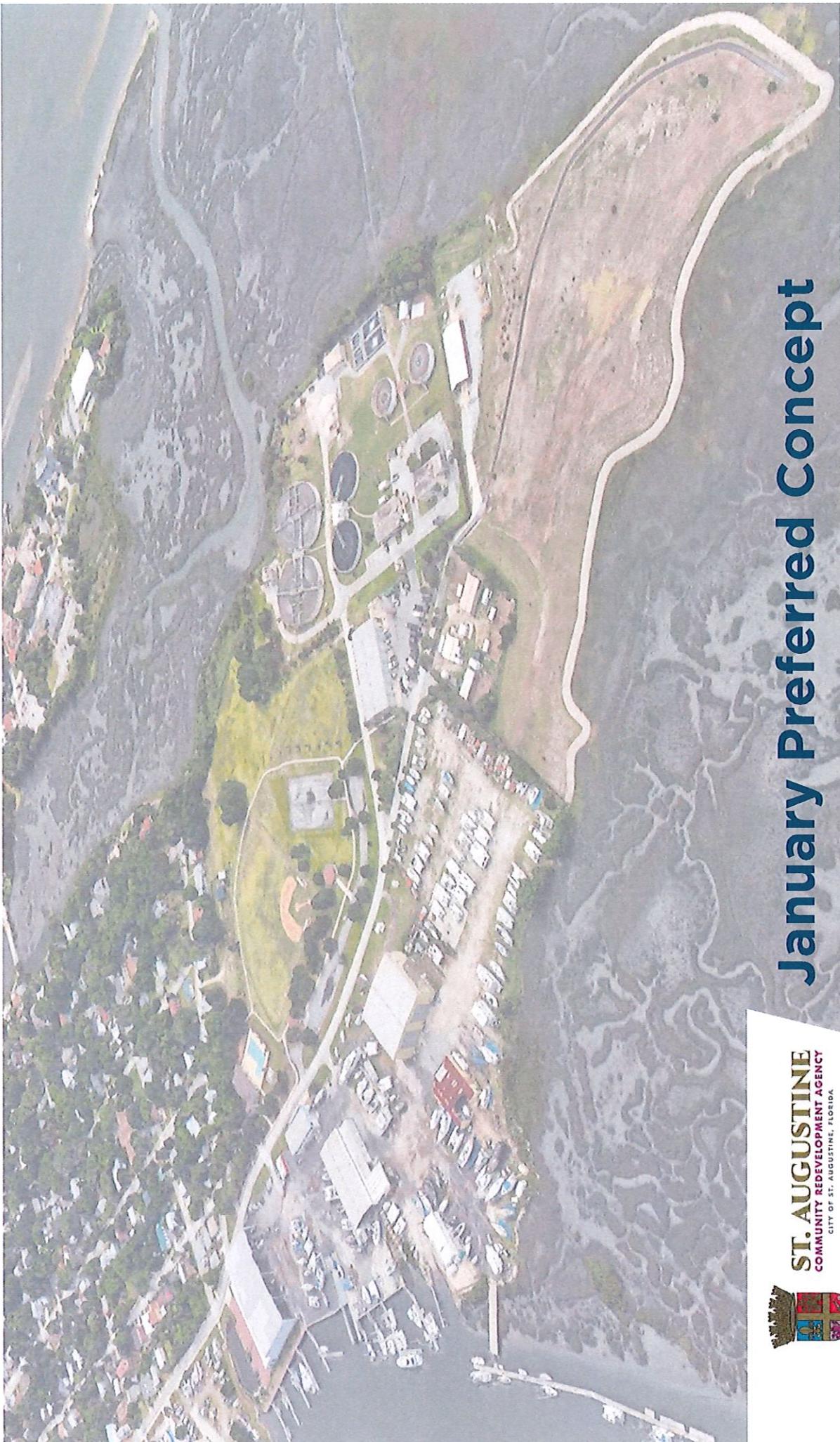
**EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK | MASTER PLAN**  
**Illustrative Master Plan (Task 2.1C.7)**

City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0

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# January Preferred Concept

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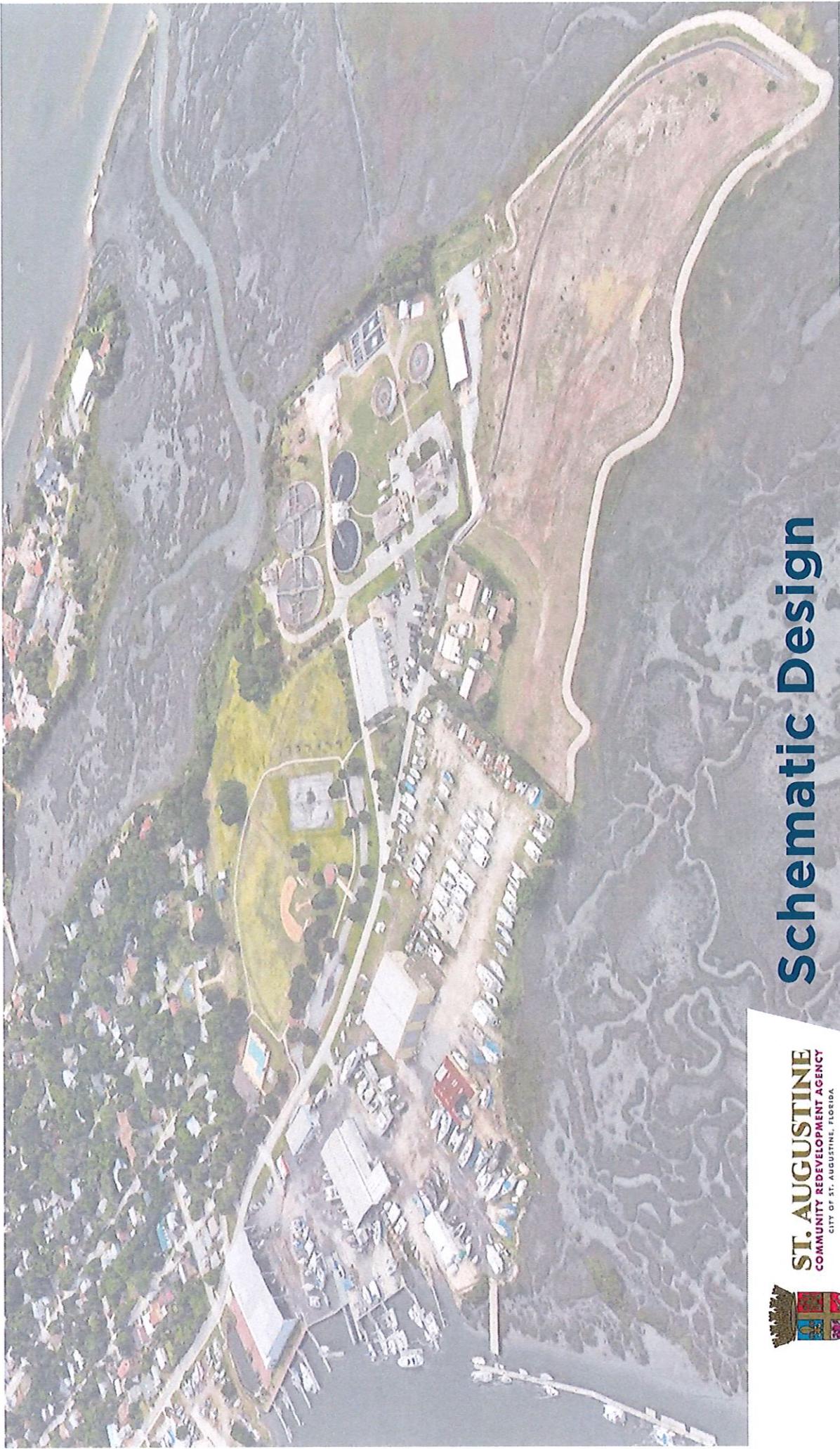
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# Schematic Design

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# April 17, 2023 Presentation to LCRA Steering Committee

## Unanimous Recommendation, noting the following:

### THE STORY

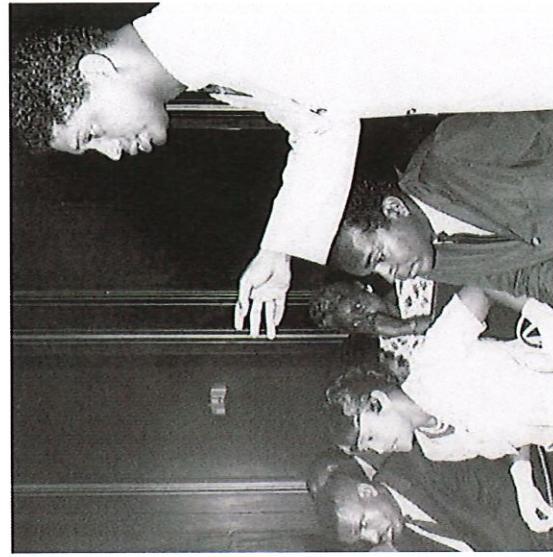
1. History panels regarding Lincolnville, Little Links, Eddie Vickers, and Dr. Hayling.

### WATER + UTILITIES

2. Add water fountains / water bottle fill stations
3. Power / infrastructure for community events

### VISITOR AMENITIES

4. Potential restroom at Dr. Robert B Hayling Freedom Park
5. Increase shade at entry of Hayling Park
6. Durable shade and hardscape with permeable parking
7. Additional parking at Hayling
8. Dog waste / containers



**ABOVE**  
Dr. Hayling, 1965 in Tallahassee. From Florida Memory.

# COMMUNITY LEADERS of the Saint Augustine

Examples of stories to tell...



**MAUDE E. REDDICK**  
School supervisor during  
segregation

EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
Entrepreneur in Real Estate  
and Markets  
Established First African  
American beach resort and  
later State/County Park



## FRANK B. BUTLER

Entrepreneur in Real Estate  
and Markets  
Established First African  
American beach resort and  
later State/County Park



## ROBERT B. HAYLING

Local civil rights activist  
Dentist

**JORGE BIASSOU**  
Spanish General of the  
Black Militia at Fort  
Matanzas – Leader of  
the Haitian Revolution

# April 24, 2023 Presentation to LCRA Board

## Feedback from Board Members

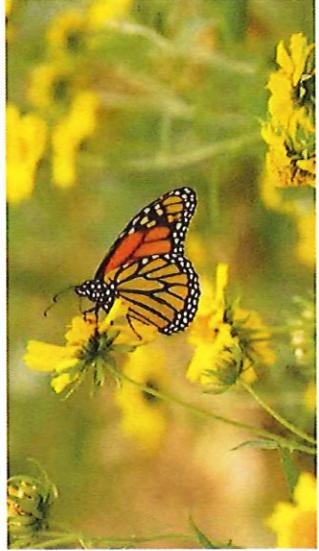
### THE STORY

No additional feedback.



### WATER + UTILITIES

No additional feedback.



### VISITOR AMENITIES

1. Potential restroom is great benefit
2. The **1 mile** running trail might be of interest
3. Consider **permeable paving**
4. Consider **100% native plantings**
5. Consider **non-irrigated lawn**, such as Bahia



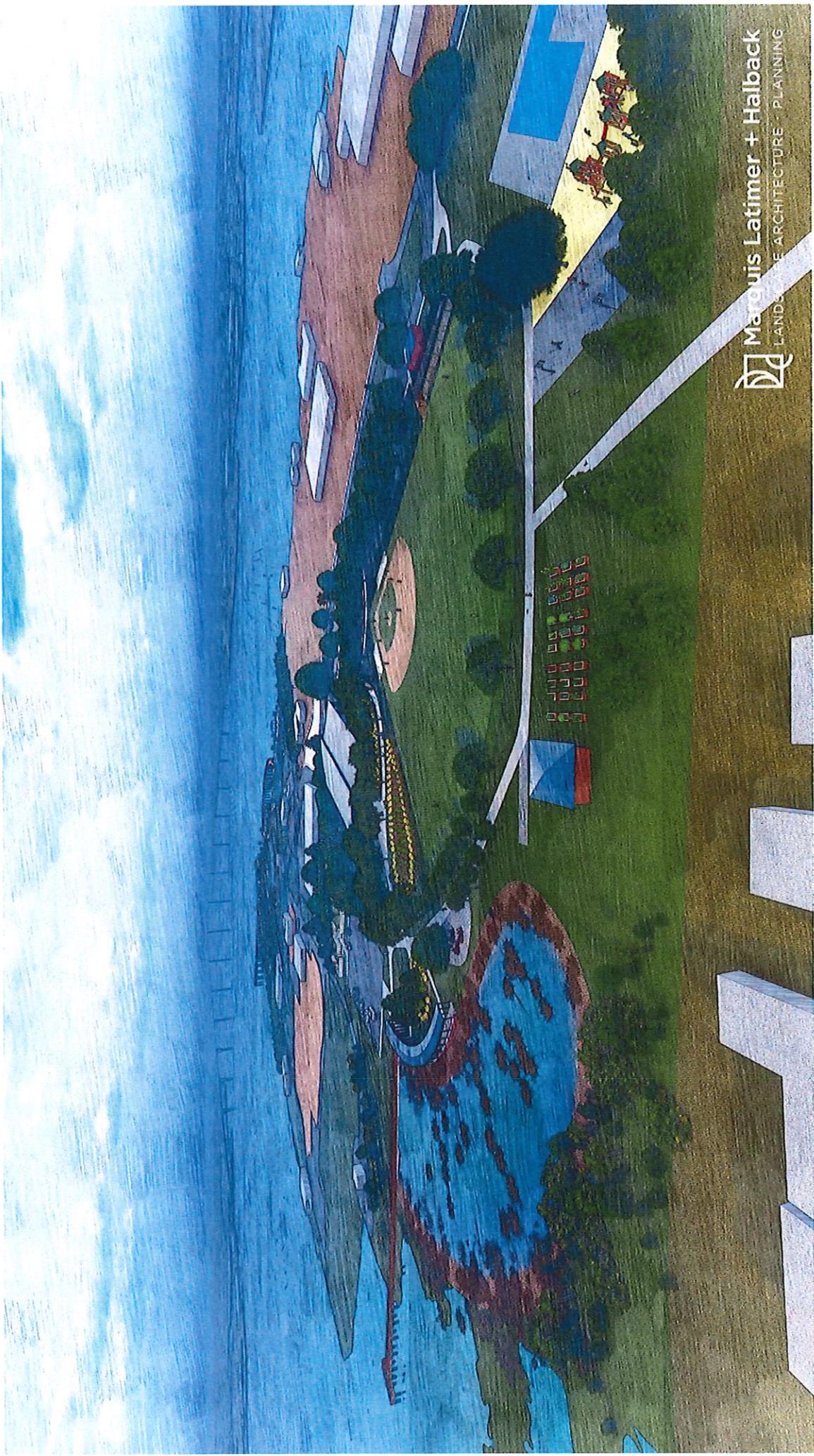
### ABOVE

Images regarding additional sustainability features to consider.



EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
**MASTER PLANNING** Eddie Vickers Park Schematic Plan  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0







EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
**MASTER PLANNING** Eddie Vickers Park Reunion Plaza  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0

04.10.2023  
*Celebrating Our Story + Looking Ahead*

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EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
**MASTER PLANNING** Eddie Vickers Park **Covered Sports Court**  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0



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**MASTER PLANNING** Eddie Vickers Park **Covered Sports Court**  
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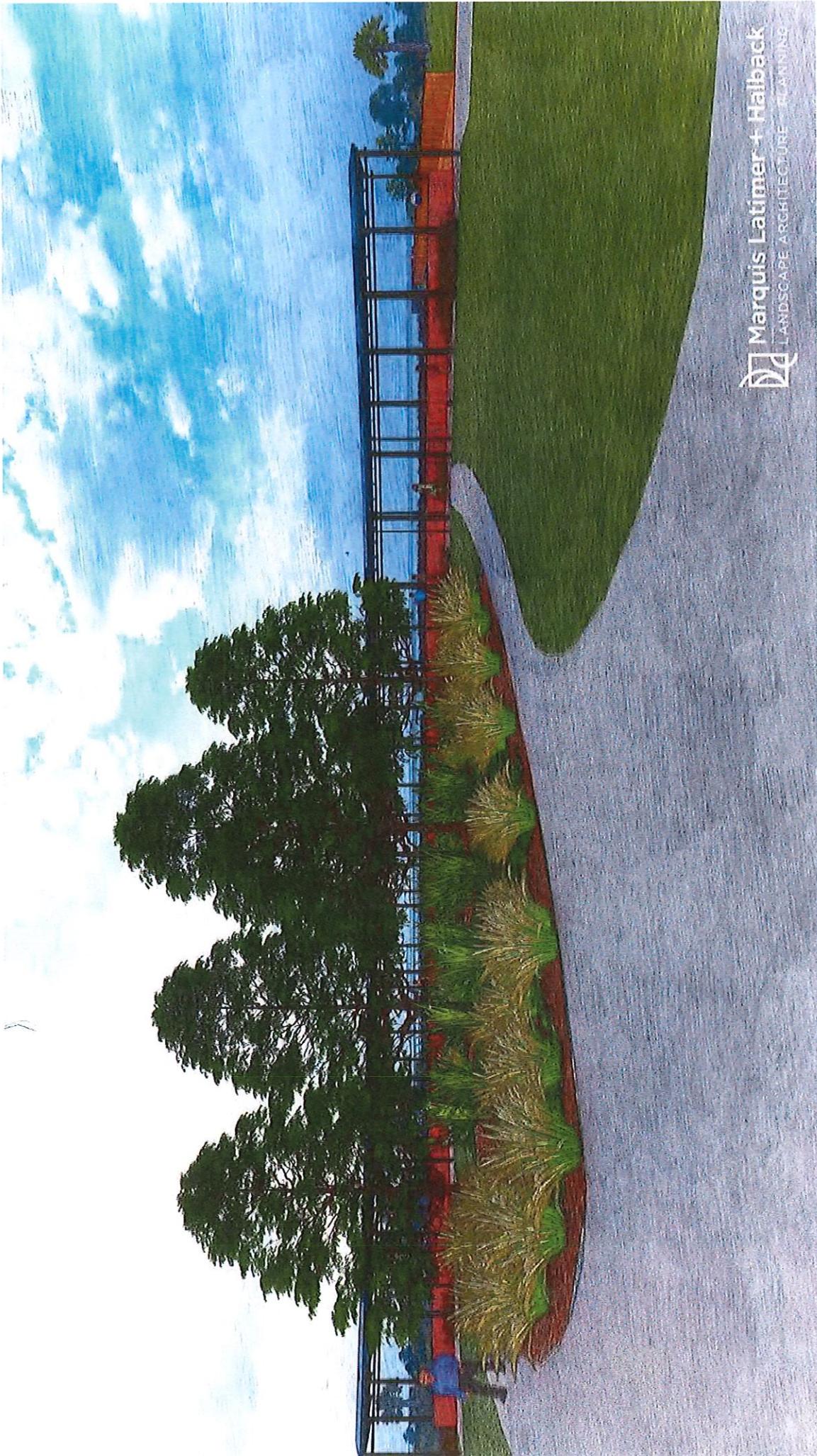


EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
**MASTER PLANNING** Eddie Vickers Park Biofiltration Gardens  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0



04.10.2023  
**MASTER PLANNING** Eddie Vickers Park Biofiltration Gardens  
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**MASTER PLANNING** Eddie Vickers Park Biofiltration Garden + Kayak 04.10.2023  
CITY of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0  
www.mlharch.com | HaydnQuale@mlharch.com | (904) 731-0000

**EDDIE VICKERS PARK Biofiltration Garden + Kayak** 04.10.2023  
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**MASTER PLANNING** Eddie Vickers Park + Dr. Robert B. Hayling Freedom Park  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
MLH Project No. 22.10.0

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## MASTER PLANNING Dr. Robert B Hayling Freedom Park Plan

04.21.2023

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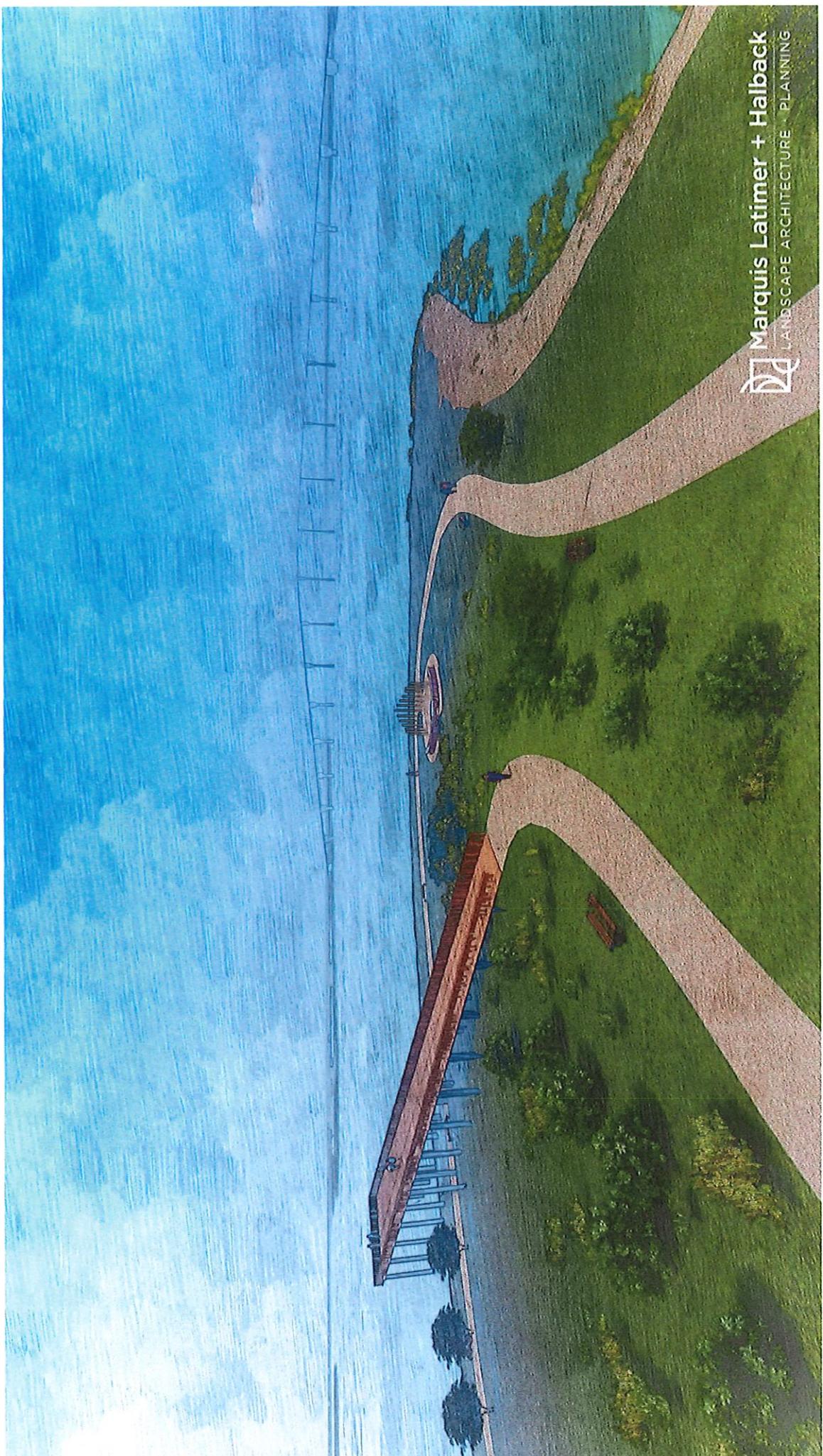


**MASTER PLANNING** Hayling Freedom Park **Bird's Eye Overview**  
EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0

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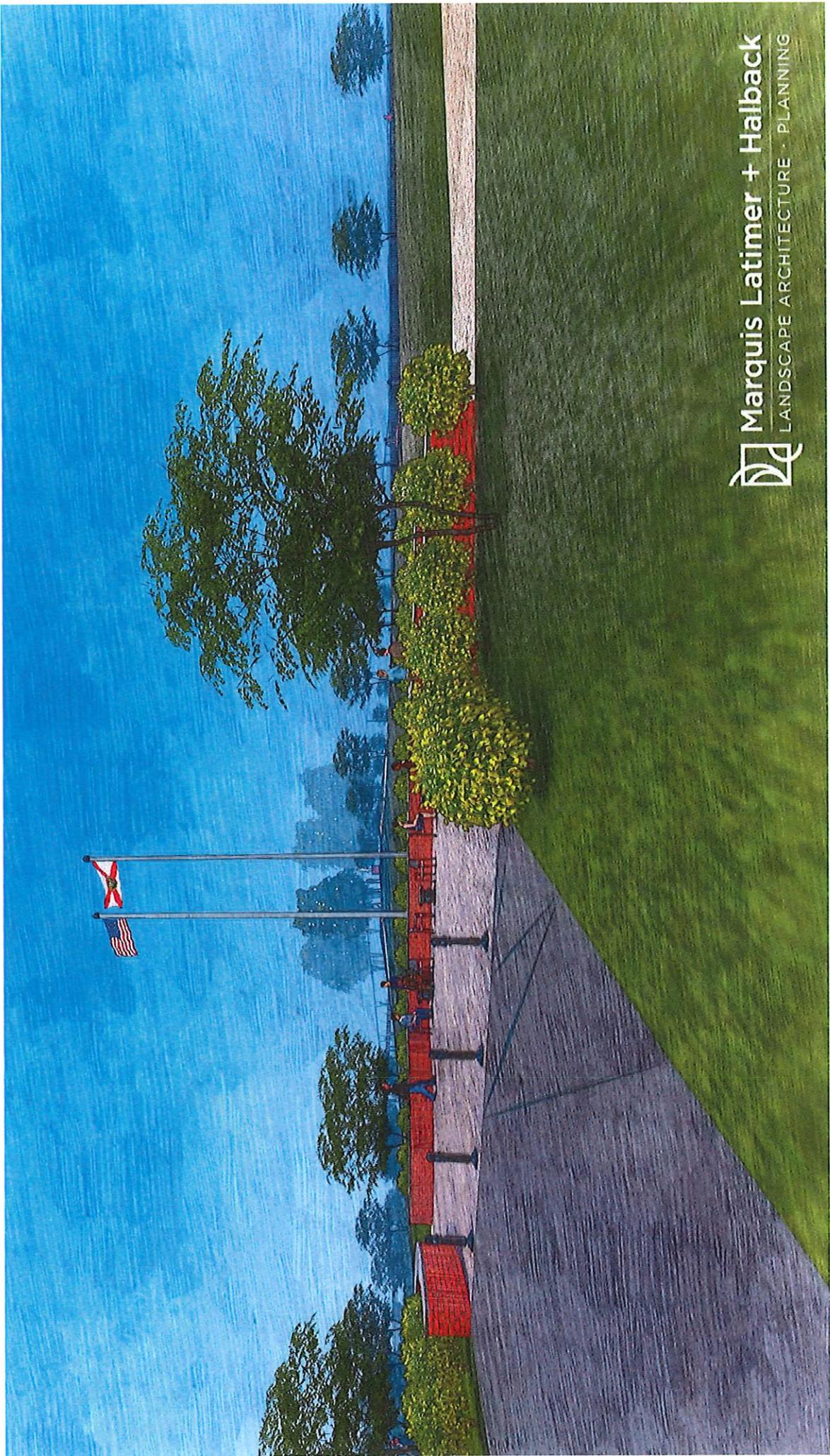
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**MASTER PLANNING** **Hayling Freedom Park Marsh Overlook**  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0

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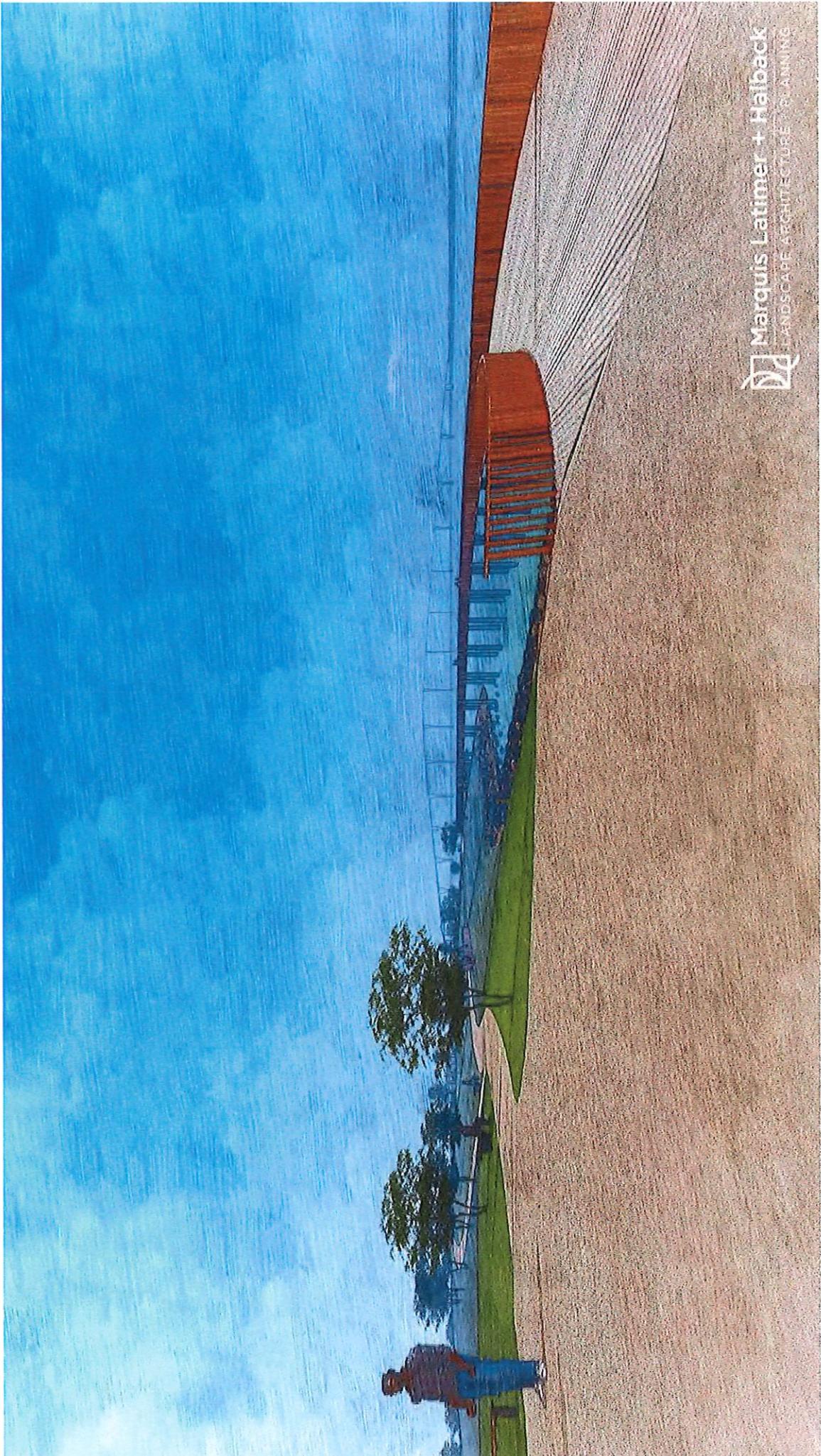


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**MASTER PLANNING** Hayling Freedom Park **Gathering Plaza**  
04.10.2023  
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ML+H Project No. 22.10.0

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EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
**MASTER PLANNING** Hayling Freedom Park **Sunset Terrace**  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
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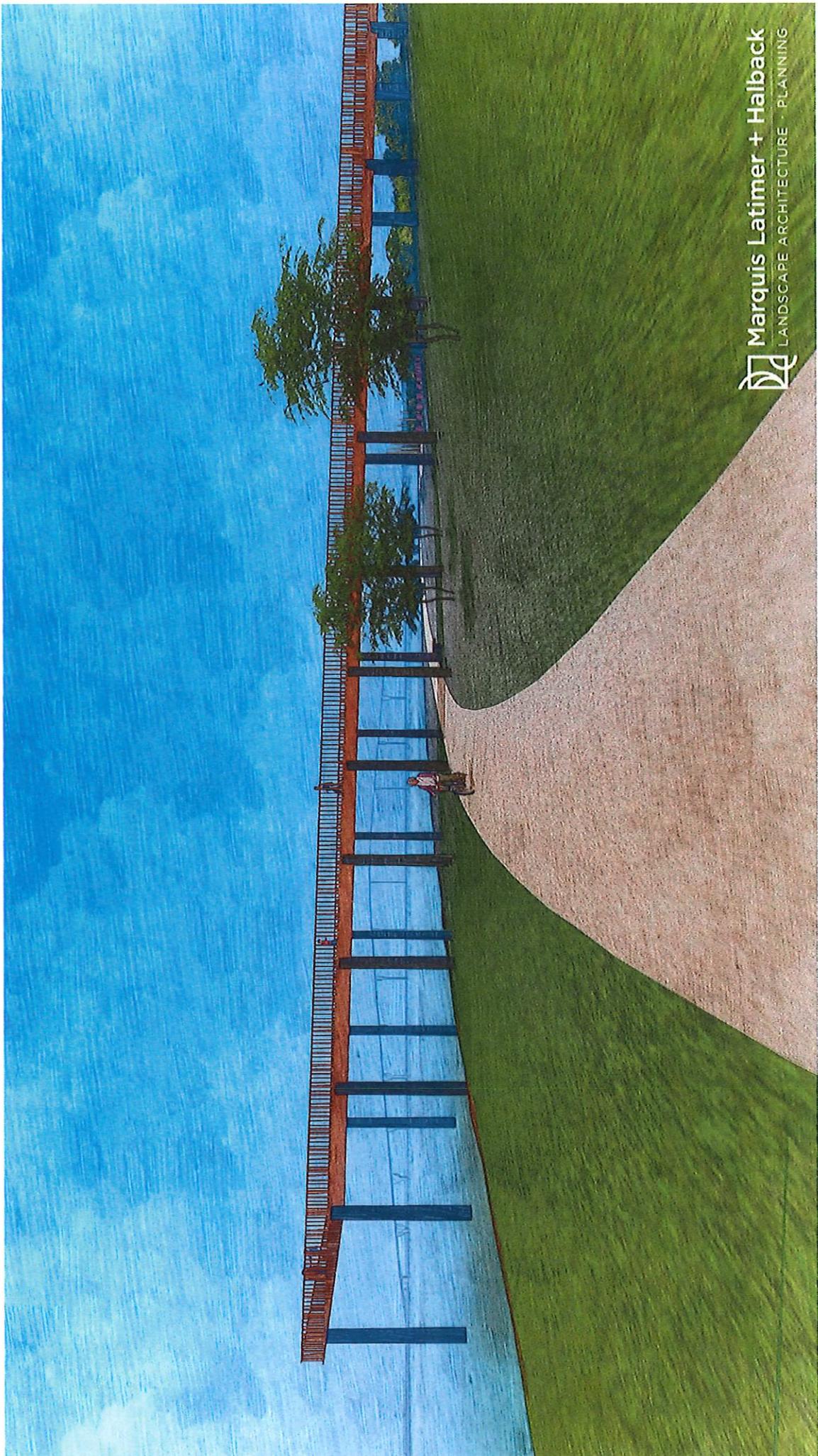


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**MASTER PLANNING** **Hayling Freedom Park Sunset Terrace Boardwalk** 04.10.2023  
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ML+H Project No. 22.10.0.0

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**MASTER PLANNING** **Hayling Freedom Park East Pathway + Overlook** 04.10.2023  
EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 22.10.0

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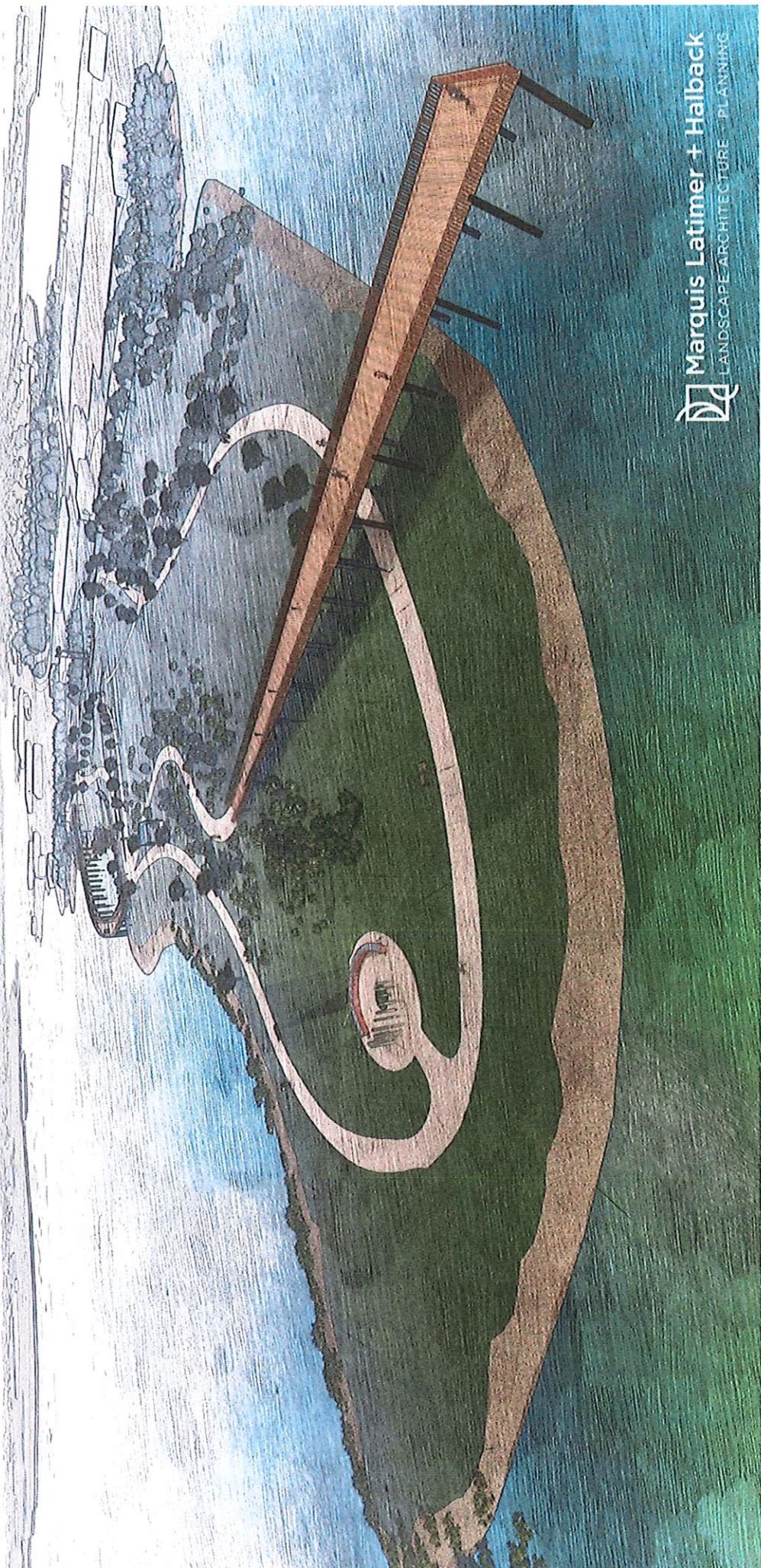
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City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
ML+H Project No. 2210.0

**MASTER PLANNING** Hayling Freedom Park Marsh Overlook  
Celebrating Our Story + Looking Ahead  
04.10.2023

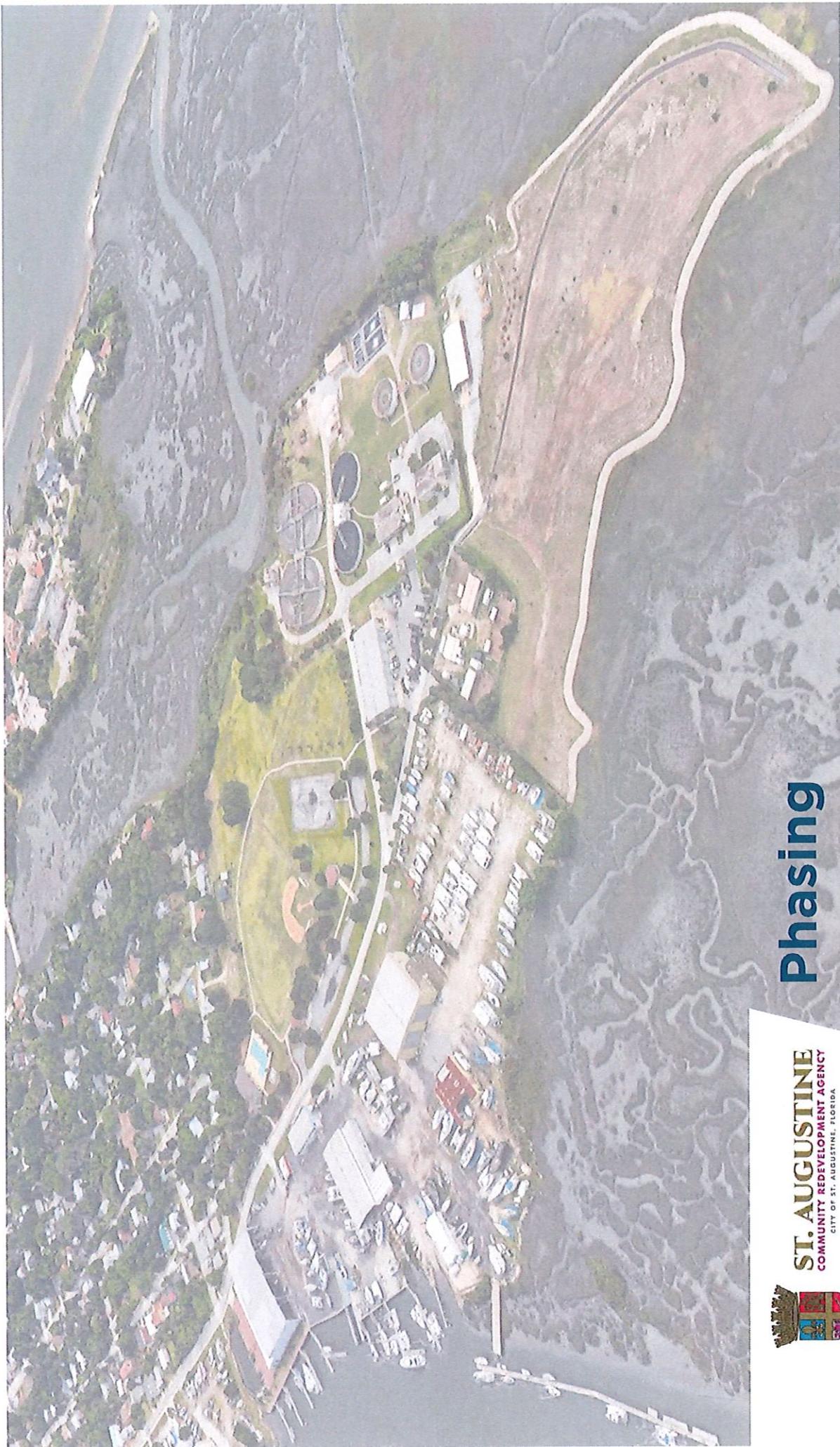
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**MASTER PLANNING** Hayling Freedom Park **Marsh Overlook Bird's Eye** 04.10.2023  
City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
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# Phasing

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## Phasing Legend

- A Reunion Plaza & Biofiltration Gardens
- B Riberia Streetscape & Parking
- C Dog Park & Overflow Parking
- D Kayak Launch & Fishing Pier
- E Playground
- F Sidewalk Games & Neighborhood Entry
- G Batting Cages
- H Sports Court Covering

BENCHES

TRASH RECEPTACLES / DOG WASTE STATIONS

WATER FOUNTAINS

HISTORIC SIGNAGE



## Phasing Legend

- A Gathering Plaza
- B New Pathway
- C Sunset Terrace Overlook Boardwalk
- D Dr. Hayling Statue and Plaza
- E Marsh Overlook Boardwalk and Path
- F Restroom Pavilion

- BENCHES
- TRASH RECEPTACLES / DOG WASTE STATIONS
- WATER FOUNTAINS
- HISTORIC SIGNAGE



EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK  
**MASTER PLANNING** Dr. Robert B. Hayling Freedom Park Plan Phasing  
 City of St. Augustine + Lincolnville CRA | St. Augustine, Florida  
 ML+H Project No. 22.10.0



05.18.23  
**MASTER PLANNING** Dr. Robert B. Hayling Freedom Park Plan Phasing  
 Celebrating Our Story + Looking Ahead

Program Element	Qty	Unit	Notes	Per Unit	Subtotal	
<b>PHASE A: Reunion Plaza + Biofiltration Gardens</b>						
<b>ELECTRICAL</b>						
Pole Lighting	38	sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 228,000.00	\$ 228,000.00
Outdoor Receptacles	19	sf	assumes receptacle every other pole	\$ 2,000.00	\$ 38,000.00	\$ 38,000.00
<b>Hardscape</b>						
Brick Seat Walls	438	lf	15' high brick wall + concrete cap/gathering plaza + overlock	\$ 1,000.00	\$ 437,500.00	\$ 437,500.00
Sidewalk - New	11,340	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 170,100.00	\$ 170,100.00
<b>Landscape</b>						
Lawn - Main Park	38,400	sf	assumes non-irrigated baha	\$ 1.50	\$ 57,600.00	\$ 57,600.00
Natural Areas (i.e. mulch)	9,600	sf		\$ 0.60	\$ 5,760.00	\$ 5,760.00
Understory Trees	12	ea		\$ 1,000.00	\$ 12,000.00	\$ 12,000.00
Large Trees	6	ea		\$ 2,250.00	\$ 13,500.00	\$ 13,500.00
Palms	12	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 6,600.00	\$ 6,600.00
Rain Garden Landscape	54,180	sf	includes central depression + large depression	\$ 5.00	\$ 270,900.00	\$ 270,900.00
Rocks/Boulders	27,090	sf	in central rain garden area	\$ 2.50	\$ 67,725.00	\$ 67,725.00
Irrigation	54,180	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ 54,180.00	\$ 54,180.00
<b>AMENITIES</b>						
Benches	16	ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 32,000.00	\$ 32,000.00
Uitter + Recycle Receptacles	14	ea	approximately every 200' in half fest	\$ 750.00	\$ 10,500.00	\$ 10,500.00
Water Fountains	1	ea		\$ 1,500.00	\$ 1,500.00	\$ 1,500.00
Signage - Directional Signs	2	ea		\$ 2,500.00	\$ 5,000.00	\$ 5,000.00
Signage - Historic Signs	6	ea		\$ 2,500.00	\$ 15,000.00	\$ 15,000.00
<b>BUILDING STRUCTURES</b>						
Rain Garden Overlook Pavilion	2,175	sf		\$ 100.00	\$ 217,500.00	\$ 217,500.00
<b>SITE PREP/GRADING</b>						
Site Utilities	113,520	sf		\$ 0.25	\$ 28,380.00	\$ 28,380.00
Demo, Grading, Fill	113,520	sf		\$ 0.25	\$ 28,380.00	\$ 28,380.00
					<b>SUBTOTAL</b>	\$ 1,700,125.00
<b>CONTRACTOR'S COST</b>						
General Conditions			5%		\$ 85,006.25	\$ 85,006.25
Misc. Insurance			2%		\$ 28,052.06	\$ 28,052.06
Fee			5%		\$ 85,006.25	\$ 85,006.25
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation			8% per yr	2	\$ 272,020.00	\$ 272,020.00
Design Fee Estimate			8%		\$ 136,010.00	\$ 136,010.00
Owner's Design Contingency			10% allowance		\$ 170,012.50	\$ 170,012.50
Owner's Construction Cont.			5% allowance		\$ 85,006.25	\$ 85,006.25
					<b>TOTAL PROBABLE CONSTRUCTION COST</b>	\$ 2,561,238.31
<b>PHASE B: Riberia Streetscape + Main Parking</b>						
<b>ELECTRICAL</b>						
Pole Lighting	54	sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 324,000.00	\$ 324,000.00
Outdoor Receptacles	27	sf	assumes receptacle every other pole	\$ 2,000.00	\$ 54,000.00	\$ 54,000.00
<b>Hardscape</b>						
Sidewalk - New	6,360	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 95,400.00	\$ 95,400.00
New Asphalt	83,000	sf	main parking areas + roadway	\$ 12.00	\$ 996,000.00	\$ 996,000.00
<b>Landscape</b>						
Lawn - Main Park	57,600	sf	assumes non-irrigated baha	\$ 1.50	\$ 85,400.00	\$ 85,400.00
Natural Areas (i.e. mulch)	14,400	sf		\$ 0.60	\$ 8,640.00	\$ 8,640.00
Understory Trees	18	ea		\$ 1,000.00	\$ 18,000.00	\$ 18,000.00
Large Trees	9	ea		\$ 2,250.00	\$ 20,250.00	\$ 20,250.00
Palms	18	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 9,900.00	\$ 9,900.00
Landscape (shrubs/groundcover)	43,575	sf	areas along Riberia Street parking + overlock + dog park	\$ 5.00	\$ 217,875.00	\$ 217,875.00
Mulch	43,575	sf		\$ 0.60	\$ 26,145.00	\$ 26,145.00
Irrigation	43,575	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ 43,575.00	\$ 43,575.00
<b>AMENITIES</b>						
Signage - Directional Signs	4	ea		\$ 2,500.00	\$ 10,000.00	\$ 10,000.00
<b>BUILDING STRUCTURES</b>						
excluded; included in other phases						
<b>SITE PREP/GRADING</b>						
Site Utilities	204,935	sf		\$ 0.25	\$ 51,233.75	\$ 51,233.75
Demo, Grading, Fill	204,935	sf		\$ 0.25	\$ 51,233.75	\$ 51,233.75
					<b>SUBTOTAL</b>	\$ 2,012,652.50
<b>CONTRACTOR'S COST</b>						
General Conditions			5%		\$ 100,632.63	\$ 100,632.63
Misc. Insurance			2%		\$ 33,208.77	\$ 33,208.77
Fee			5%		\$ 100,632.63	\$ 100,632.63
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation			8% per yr	2	\$ 322,024.40	\$ 322,024.40
Design Fee Estimate			8%		\$ 161,012.20	\$ 161,012.20
Owner's Design Contingency			10% allowance		\$ 201,265.25	\$ 201,265.25
Owner's Construction Cont.			5% allowance		\$ 100,632.63	\$ 100,632.63
					<b>TOTAL PROBABLE CONSTRUCTION COST</b>	\$ 3,032,060.99
<b>PHASE C: Dog Park</b>						
<b>ELECTRICAL</b>						
Pole Lighting	29	sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 174,000.00	\$ 174,000.00
Outdoor Receptacles	15	sf	assumes receptacle every other pole	\$ 2,000.00	\$ 29,000.00	\$ 29,000.00
<b>Hardscape</b>						
Fencing - Dog Park	730	lf	4' aluminum fence	\$ 40.00	\$ 29,200.00	\$ 29,200.00
Sidewalk - New	3,720	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 55,800.00	\$ 55,800.00
Parking Gravel	10,825	sf	dog park / layak parking area	\$ 15.00	\$ 162,375.00	\$ 162,375.00

<b>TOTALS:</b>	
Phase A	\$ 2,561,238.31
Phase B	\$ 3,032,060.99
Phase C	\$ 933,404.80
Phase D	\$ 1,301,614.49
Phase E	\$ 657,444.13
Phase F	\$ 410,189.82
Phase G	\$ 79,091
Phase H	\$ 2,848,249.16
CONTRACTOR'S COST	Included above
OWNER'S ALLOWANCES	Included above
	<b>\$ 11,744,992.62</b>

<b>TOTALS:</b>	
ELECTRICAL	\$ 1,069,000.00
Hardscape	\$ 2,952,510.00
Landscape	\$ 1,236,625.00
Amenities	\$ 224,500.00
Building Structures	\$ 2,052,500.00
Site Prep/Grading	\$ 251,076.50
CONTRACTOR'S COST	\$ 935,545.38
OWNER'S ALLOWANCES	\$ 3,040,522.49
	<b>\$ 11,744,992.62</b>

<b>LANDSCAPE</b>	<i>approximately 15% of overall lawn area</i>		<b>\$</b>	<b>127,395.00</b>
Lawn - Dog Park	16,960 sf assumes bahia, irrigated	\$ 1.50	\$ 25,440.00	
Lawn - Main Park	28,800 sf assumes non-irrigated bahia	\$ 1.50	\$ 43,200.00	
Natural Areas (i.e. mulch)	7,200 sf	\$ 0.60	\$ 4,320.00	
Understory Trees	10 ea	\$ 1,000.00	\$ 10,000.00	
Large Trees	5 ea	\$ 2,250.00	\$ 11,250.00	
Palms	10 ea regenerated cabbage palms assumed	\$ 550.00	\$ 5,500.00	
Landscape (shrubs/groundcover)	1,625 sf areas along Riberia Street parking + overlock + dog park	\$ 5.00	\$ 8,125.00	
Mulch	1,625 sf	\$ 0.60	\$ 975.00	
Irrigation	18,585 sf dog park, landscape areas, rain garden	\$ 1.00	\$ 18,585.00	
<b>AMENITIES</b>			<b>\$</b>	<b>7,250.00</b>
Benches	2 ea 11 locations x 2 benches per location	\$ 2,000.00	\$ 4,000.00	
Litter + Recycle Receptacles	1 ea approximately every 200 linefeet	\$ 750.00	\$ 750.00	
Signage - Directional Signs	1 ea	\$ 2,500.00	\$ 2,500.00	
<b>BUILDING STRUCTURES</b>	<i>excluded; in other phases</i>		<b>\$</b>	<b>-</b>
<b>SITE PREP/GRADING</b>			<b>\$</b>	<b>34,565.00</b>
Site Utilities	69,130 sf	\$ 0.25	\$ 17,282.50	
Demo, Grading, Fill	69,130 sf	\$ 0.25	\$ 17,282.50	
			<b>SUBTOTAL \$</b>	<b>619,555.00</b>
<b>CONTRACTOR'S COST</b>				
General Conditions		5%		\$ 30,979.25
Misc. Insurance		2%		\$ 10,223.15
Fee		5%		\$ 30,979.25
<b>OWNER'S ALLOWANCES</b>				
Owner's Market Escalation		8% per yr	2	\$ 99,133.60
Design Fee Estimate		8%		\$ 49,566.80
Owner's Design Contingency		10% allowance		\$ 61,958.50
Owner's Construction Cont.		5% allowance		\$ 30,979.25
			<b>TOTAL PROBABLE CONSTRUCTION COST \$</b>	<b>933,404.80</b>

<b>PHASE D: Kayak Launch + Fishing Pier</b>				
<b>ELECTRICAL</b>			<b>\$</b>	<b>105,000.00</b>
Pole Lighting	15 sf assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 90,000.00	
Outdoor Receptacles	8 sf assumes receptacle every other pole	\$ 2,000.00	\$ 15,000.00	
<b>HARDSCAPE</b>			<b>\$</b>	<b>678,385.00</b>
Sidewalk - New	600 sf approximately 50% new; 50% reused	\$ 15.00	\$ 9,000.00	
Parking Gravel	10,825 sf dog park / kayak parking area	\$ 15.00	\$ 162,375.00	
Kayak/Fishing Pier	7,243 sf assumes trex-style decking + PTS supports	\$ 70.00	\$ 507,010.00	
<b>LANDSCAPE</b>	<i>approximately 10% of overall lawn area</i>		<b>\$</b>	<b>54,330.00</b>
Lawn - Main Park	19,200 sf assumes non-irrigated bahia	\$ 1.50	\$ 28,800.00	
Natural Areas (i.e. mulch)	4,800 sf	\$ 0.60	\$ 2,880.00	
Understory Trees	6 ea	\$ 1,000.00	\$ 6,000.00	
Large Trees	3 ea	\$ 2,250.00	\$ 6,750.00	
Palms	6 ea regenerated cabbage palms assumed	\$ 550.00	\$ 3,300.00	
Landscape (shrubs/groundcover)	1,000 sf areas along Riberia Street parking + overlock + dog park	\$ 5.00	\$ 5,000.00	
Mulch	1,000 sf	\$ 0.60	\$ 600.00	
Irrigation	1,000 sf dog park, landscape areas, rain garden	\$ 1.00	\$ 1,000.00	
<b>AMENITIES</b>			<b>\$</b>	<b>4,750.00</b>
Benches	- ea 11 locations x 2 benches per location	\$ 2,000.00	\$ -	
Litter + Recycle Receptacles	1 ea approximately every 200 linefeet	\$ 750.00	\$ 750.00	
Water Fountains	1 ea	\$ 1,500.00	\$ 1,500.00	
Signage - Directional Signs	1 ea	\$ 2,500.00	\$ 2,500.00	
<b>BUILDING STRUCTURES</b>	<i>excluded; in other phases</i>		<b>\$</b>	<b>-</b>
<b>SITE PREP/GRADING</b>			<b>\$</b>	<b>21,534.00</b>
Site Utilities	43,068 sf	\$ 0.25	\$ 10,767.00	
Demo, Grading, Fill	43,068 sf	\$ 0.25	\$ 10,767.00	
			<b>SUBTOTAL \$</b>	<b>863,999.00</b>
<b>CONTRACTOR'S COST</b>				
General Conditions		5%		\$ 43,199.95
Misc. Insurance		2%		\$ 14,255.98
Fee		5%		\$ 43,199.95
<b>OWNER'S ALLOWANCES</b>				
Owner's Market Escalation		8% per yr	2	\$ 138,239.84
Design Fee Estimate		8%		\$ 69,119.92
Owner's Design Contingency		10% allowance		\$ 86,339.90
Owner's Construction Cont.		5% allowance		\$ 43,199.95
			<b>TOTAL PROBABLE CONSTRUCTION COST \$</b>	<b>1,301,614.49</b>

<b>PHASE E: Playground</b>				
<b>ELECTRICAL</b>			<b>\$</b>	<b>-</b>
excluded; in other phases				
<b>HARDSCAPE</b>			<b>\$</b>	<b>251,750.00</b>
Playground Surface	7,700 sf	\$ 25.00	\$ 192,500.00	
Total Area Basketball	3,950 sf adjacent to playground; assumes concrete	\$ 15.00	\$ 59,250.00	
<b>LANDSCAPE</b>	<i>approximately 10% of overall lawn area</i>		<b>\$</b>	<b>53,080.00</b>
Lawn - Main Park	19,200 sf assumes non-irrigated bahia	\$ 1.50	\$ 28,800.00	
Natural Areas (i.e. mulch)	4,800 sf	\$ 0.60	\$ 2,880.00	
Understory Trees	8 ea	\$ 1,000.00	\$ 8,000.00	
Large Trees	4 ea	\$ 2,250.00	\$ 9,000.00	
Palms	8 ea regenerated cabbage palms assumed	\$ 550.00	\$ 4,400.00	
Irrigation	- sf dog park, landscape areas, rain garden	\$ 1.00	\$ -	
<b>AMENITIES</b>			<b>\$</b>	<b>111,250.00</b>
Benches	2 ea 11 locations x 2 benches per location	\$ 2,000.00	\$ 4,000.00	
Litter + Recycle Receptacles	1 ea approximately every 200 linefeet	\$ 750.00	\$ 750.00	
Water Fountains	1 ea	\$ 1,500.00	\$ 1,500.00	
In-ground Basketball Hoops	2 ea total area basketball	\$ 1,250.00	\$ 2,500.00	
Playground	1 ea	\$ 100,000.00	\$ 100,000.00	
Signage - Historic Signs	1 ea	\$ 2,500.00	\$ 2,500.00	

<b>BUILDING STRUCTURES</b>						
Signage - Directional Signs	1 ea				\$ 2,500.00	\$ 2,500.00
<b>SITE PREP/GRADING</b>						
Site Utilities	35,650 sf				\$ 0.25	\$ 8,912.50
Demo, Grading, Fill	35,650 sf				\$ 0.25	\$ 8,912.50
					<b>SUBTOTAL</b>	\$ 436,405.00
<b>CONTRACTOR'S COST</b>						
General Conditions		5%				\$ 21,820.25
Misc. Insurance		2%				\$ 7,200.68
Fee		5%				\$ 21,820.25
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation		8% per yr		2		\$ 69,824.80
Design Fee Estimate		8%				\$ 34,912.40
Owner's Design Contingency		10% allowance				\$ 43,640.50
Owner's Construction Cont.		5% allowance				\$ 21,820.25
					<b>TOTAL PROBABLE CONSTRUCTION COST</b>	\$ 657,444.13

#### PHASE F: Sidewalk Games + Neighborhood Entry

<b>ELECTRICAL</b>						
Pole Lighting	11 sf	assumes 10' pole light approximately every 25'			\$ 6,000.00	\$ 66,000.00
Outdoor Receptacles	6 sf	assumes receptacle every other pole			\$ 2,000.00	\$ 11,000.00
<b>HARDSCAPE</b>						
Sidewalk Games Surface	3,400 sf				\$ 20.00	\$ 68,000.00
Sidewalk - New	1,200 sf	approximately 50% new; 50% reused			\$ 15.00	\$ 18,000.00
<b>LANDSCAPE</b>		approximately 10% of overall lawn area				
Lawn - Main Park	19,200 sf	assumes non-irrigated bahia			\$ 1.50	\$ 28,800.00
Natural Areas (e.g. mulch)	4,800 sf				\$ 0.60	\$ 2,880.00
Understory Trees	6 ea				\$ 1,000.00	\$ 6,000.00
Large Trees	3 ea				\$ 2,250.00	\$ 6,750.00
Palms	6 ea	regenerated cabbage palms assumed			\$ 550.00	\$ 3,300.00
Irrigation	19,200 sf	dog park, landscape areas, rain garden			\$ 1.00	\$ 19,200.00
<b>AMENITIES</b>						
Benches	2 ea	11 locations x 2 benches per location			\$ 2,000.00	\$ 4,000.00
Litter + Recycle Receptacles	1 ea	approximately every 200 linealfeet			\$ 750.00	\$ 750.00
Signage - Historic Signs	3 ea				\$ 2,500.00	\$ 7,500.00
Signage - Main Signs	3 ea				\$ 5,000.00	\$ 15,000.00
<b>BUILDING STRUCTURES</b>						
Signage - Directional Signs	1 ea				\$ 2,500.00	\$ 2,500.00
<b>SITE PREP/GRADING</b>						
Site Utilities	25,200 sf				\$ 0.25	\$ 6,300.00
Demo, Grading, Fill	25,200 sf				\$ 0.25	\$ 6,300.00
					<b>SUBTOTAL</b>	\$ 272,280.00
<b>CONTRACTOR'S COST</b>						
General Conditions		5%				\$ 13,614.00
Misc. Insurance		2%				\$ 4,492.62
Fee		5%				\$ 13,614.00
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation		8% per yr		2		\$ 43,564.80
Design Fee Estimate		8%				\$ 21,782.40
Owner's Design Contingency		10% allowance				\$ 27,228.00
Owner's Construction Cont.		5% allowance				\$ 13,614.00
					<b>TOTAL PROBABLE CONSTRUCTION COST</b>	\$ 410,189.82

#### PHASE G: Batting Cages

<b>ELECTRICAL</b>						
excluded; in other phases						\$ -
<b>HARDSCAPE</b>						
excluded; in other phases						\$ -
<b>LANDSCAPE</b>						
excluded; in other phases						\$ -
<b>AMENITIES</b>						
Batting Cage	1,050 sf	SIC to provide batting cages			\$ -	\$ -
<b>BUILDING STRUCTURES</b>						
excluded; in other phases						\$ -
<b>SITE PREP/GRADING</b>						
Site Utilities	1,050 sf				\$ 0.25	\$ 262.50
Demo, Grading, Fill	1,050 sf				\$ 0.25	\$ 262.50
					<b>SUBTOTAL</b>	\$ 525.00
<b>CONTRACTOR'S COST</b>						
General Conditions		5%				\$ 26.25
Misc. Insurance		2%				\$ 8.66
Fee		5%				\$ 26.25
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation		8% per yr		2		\$ 84.00
Design Fee Estimate		8%				\$ 42.00
Owner's Design Contingency		10% allowance				\$ 52.50
Owner's Construction Cont.		5% allowance				\$ 26.25
					<b>TOTAL PROBABLE CONSTRUCTION COST</b>	\$ 790.91

#### PHASE H: Sports Court Cover

<b>ELECTRICAL</b>						
Covered Pavilion Lighting	20 ea	assumes canopy light every 800sf			\$ 1,000.00	\$ 20,000.00
Outdoor Receptacles	10 sf	assumes receptacle every other pole			\$ 2,000.00	\$ 20,000.00
<b>HARDSCAPE</b>						
excluded; in other phases						\$ -

<b>LANDSCAPE</b>	approximately 5% of overall lawn area					
Lawn - Mtn Park	9,600 sf	assumes 100% mulch	\$	150	\$	14,400.00
Natural Areas (i.e. mulch)	2,400 sf		\$	0.60	\$	1,440.00
Irrigation	- sf	assumes 100% mulch	\$	100	\$	-
<b>AMENITIES</b>					\$	-
Included in other phases						
<b>BUILDING STRUCTURES</b>					\$	1,830,000.00
Basketball Pavilion	18,300 sf	split level 3 story design (based on FCP sim large area)	\$	100.00	\$	1,830,000.00
<b>SITE PREP/GRADING</b>					\$	4,800.00
Soil Utilities	9,600 sf		\$	0.25	\$	2,400.00
Demo, Grading, Fill	9,600 sf		\$	0.25	\$	2,400.00
					<b>SUBTOTAL \$</b>	<b>1,830,600.00</b>
<b>CONTRACTOR'S COST</b>						
General Conditions		5%			\$	94,532.00
Mac. Insurance		2%			\$	31,195.56
Fee		5%			\$	94,532.00
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation		6% per yr		2	\$	302,502.40
Design Fee Estimate		5%			\$	151,251.20
Owner's Design Contingency		10% allowance			\$	159,064.00
Owner's Construction Cont.		5% allowance			\$	94,532.00
					<b>TOTAL PROBABLE CONSTRUCTION COST \$</b>	<b>2,848,249.16</b>

**OPINION OF PROBABLE COSTS**

Project 22.10.0 - Dr Robert B Hayling Freedom Park MP

Last Updated July 10, 2023

v4

Program Element	Qty	Unit	Notes	Per Unit	Subtotal	
<b>PHASE A: Gathering Plaza</b>						
<b>ELECTRICAL</b>						<b>TOTALS:</b>
Pole Lighting	17	ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 102,000.00	Phase A \$ 810,049.53
<b>HARDSCAPE</b>						Phase B \$ 986,205.37
Brick Seat Walls	150	lf	18" high brick wall + concrete cap; gathering plaza + overlock	\$ 1,000.00	\$ 150,000.00	Phase C \$ 1,223,837.06
Sidewalk - New	-	sf	approximately 50% new; 50% reused	\$ 15.00	\$ -	Phase D \$ 479,226.18
Entry Plaza	2,500	sf		\$ -	\$ -	Phase E \$ 1,628,407.64
New Asphalt	21,000	sf	main parking area + roadway	\$ 12.00	\$ 252,000.00	Phase F \$ 388,358.77
<b>LANDSCAPE</b>						<b>\$ 5,516,084.55</b>
Landscape (shrubs/groundcover)	2,586	sf		\$ 1.50	\$ 3,878.91	
Mulch	2,586	sf		\$ 0.60	\$ 1,551.56	<b>TOTALS:</b>
Understory Trees	2	ea		\$ 1,000.00	\$ 1,800.00	ELECTRICAL \$ 804,480.00
Large Trees	-	ea		\$ 2,250.00	\$ -	HARDSCAPE \$ 1,838,430.00
Palms	2	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 990.00	LANDSCAPE \$ 548,163.10
Irrigation	-	sf		\$ 1.00	\$ -	AMENITIES \$ 78,300.00
<b>AMENITIES</b>						BUILDING STRUCTURES \$ 188,500.00
Chess Tables + Chairs	3	ea	1 concrete table and 2 concrete seats per set	\$ 1,600.00	\$ 4,800.00	SITE PREP/GRADING \$ 203,650.00
Flag Poles	3	ea	US flag, State of Florida flag, City of St Augustine flag	\$ 3,000.00	\$ 9,000.00	CONTRACTOR'S COST \$ 439,382.77
Litter + Recycle Receptacles	2	ea	approximately every 200 linear feet	\$ 750.00	\$ 1,500.00	OWNER'S ALLOWANCES \$ 1,427,994.01
<b>BUILDING STRUCTURES</b>						
excluded in other phases						
<b>SITE PREP/GRADING</b>						
Site Utilities	20,250	sf		\$ 0.25	\$ 5,062.50	
Demo, Grading, Fill	20,480	sf		\$ 0.25	\$ 5,120.00	<b>SUBTOTAL</b> \$ 537,702.97
<b>CONTRACTOR'S COST</b>						
General Conditions			5%			\$ 26,885.15
Misc. Insurance			2%			\$ 8,872.10
Fee			5%			\$ 26,885.15
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation			8% per yr			\$ 86,032.48
Design Fee Estimate			8%			\$ 43,016.24
Owner's Design Contingency			10% allowance			\$ 53,770.30
Owner's Construction Cont.			5% allowance			\$ 26,885.15
<b>TOTAL PROBABLE CONSTRUCTION COST</b>						<b>\$ 810,049.53</b>
<b>PHASE B: New Pathway</b>						
<b>ELECTRICAL</b>						<b>\$ 144,400.00</b>
Path Light	60	ea	assumes 1 path light approximately every 10'	\$ -	\$ -	
Pole Lighting	24	ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 144,400.00	
<b>HARDSCAPE</b>						<b>\$ 54,150.00</b>
Sidewalk - New	3,610	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 54,150.00	
<b>LANDSCAPE</b>						<b>\$ 336,806.00</b>
Lawn - Active Area	52,894	sf	assumes non-irrigated bahia	\$ 1.50	\$ 79,341.00	
Lawn - Meadow	405,004	sf	existing landscape to remain	\$ -	\$ -	
Understory Trees	8	ea		\$ 1,000.00	\$ 7,500.00	
Large Trees	-	ea		\$ 2,250.00	\$ -	
Palms	8	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 4,125.00	
Landscape (shrubs/groundcover)	10,775	sf		\$ 5.00	\$ 219,500.00	
Mulch	10,775	sf		\$ 0.60	\$ 26,340.00	
Irrigation	-	sf		\$ 1.00	\$ -	
<b>AMENITIES</b>						<b>\$ 19,000.00</b>
Benches	8	ea	8 locations x 2 benches per location	\$ 2,000.00	\$ 16,000.00	
Litter + Recycle Receptacles	-	ea	approximately every 200 linear feet	\$ 750.00	\$ -	
Water Fountains	2	ea		\$ 1,500.00	\$ 3,000.00	
<b>BUILDING STRUCTURES</b>						<b>\$ 29,000.00</b>
Pavilions	290	sf		\$ 100.00	\$ 29,000.00	
<b>SITE PREP/GRADING</b>						<b>\$ 71,277.50</b>
Site Utilities	141,750	sf		\$ 0.25	\$ 35,437.50	
Demo, Grading, Fill	143,360	sf		\$ 0.25	\$ 35,840.00	<b>SUBTOTAL</b> \$ 654,633.50
<b>CONTRACTOR'S COST</b>						
General Conditions			5%			\$ 32,731.68
Misc. Insurance			2%			\$ 10,801.45
Fee			5%			\$ 32,731.68
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation			8% per yr			\$ 104,741.36
Design Fee Estimate			8%			\$ 52,370.68
Owner's Design Contingency			10% allowance			\$ 65,463.35
Owner's Construction Cont.			5% allowance			\$ 32,731.68
<b>TOTAL PROBABLE CONSTRUCTION COST</b>						<b>\$ 986,205.37</b>

**PHASE C: Sunset Terrace Overlook Boardwalk**

<b>ELECTRICAL</b>						
Path Light	112 ea	assumes 1 path light approximately every 10'	\$ -	\$ -	\$	267,800.00
Pole Lighting	45 ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 267,800.00		
<b>HARDSCAPE</b>					\$	433,425.00
Curved Overlook	5,550 sf		\$ 60.00	\$ 333,000.00		
Resurface Existing Sidewalk	6,695 sf	approximately 50% new; 50% reused	\$ 15.00	\$ 100,425.00		
<b>LANDSCAPE</b>					\$	71,963.60
Understory Trees	8 ea		\$ 1,000.00	\$ 7,500.00		
Large Trees	- ea		\$ 2,250.00	\$ -		
Palms	8 ea	regenerated cabbage palms assumed	\$ 550.00	\$ 4,125.00		
Landscape (shrubs/groundcover)	10,775 sf	areas along Riberia Street parking + overlook + dog park	\$ 5.00	\$ 53,873.75		
Mulch	10,775 sf	dog park, landscape areas, rain garden	\$ 0.60	\$ 6,464.85		
Irrigation			\$ 1.00	\$ -		
<b>AMENITIES</b>					\$	-
Benches	ea	11 locations x 2 benches per location	\$ 2,000.00	\$ -		
Litter + Recycle Receptacles	ea	approximately every 200 linear feet	\$ 750.00	\$ -		
<b>BUILDING STRUCTURES</b>					\$	29,000.00
Pavilions	290 sf		\$ 100.00	\$ 29,000.00		
<b>SITE PREP/GRADING</b>					\$	10,182.50
Site Utilities	20,250 sf		\$ 0.25	\$ 5,062.50		
Demo, Grading, Fill	20,480 sf		\$ 0.25	\$ 5,120.00		
					<b>SUBTOTAL</b>	<b>\$ 812,371.10</b>
<b>CONTRACTOR'S COST</b>						
General Conditions			5%		\$	40,618.56
Misc. Insurance			2%		\$	13,404.12
Fee			5%		\$	40,618.56
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation			8% per yr		2	\$ 129,979.38
Design Fee Estimate			6%		\$	64,989.69
Owner's Design Contingency			10% allowance		\$	81,237.11
Owner's Construction Cont.			5% allowance		\$	40,618.56
						<b>TOTAL PROBABLE CONSTRUCTION COST \$ 1,223,837.06</b>

**PHASE D: Statue Plaza for Dr. Robert B. Hayling**

<b>ELECTRICAL</b>						
Path Light	58 ea	assumes 1 path light approximately every 10'	\$ -	\$ -	\$	138,920.00
Pole Lighting	23 ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 138,920.00		
<b>HARDSCAPE</b>					\$	52,095.00
Sidewalk - New	3,473 sf	approximately 50% new; 50% reused	\$ 15.00	\$ 52,095.00		
Statue Plaza	1,196 sf		\$ -	\$ -		
<b>LANDSCAPE</b>					\$	43,178.16
Understory Trees	5 ea		\$ 1,000.00	\$ 4,500.00		
Large Trees	- ea		\$ 2,250.00	\$ -		
Palms	5 ea	regenerated cabbage palms assumed	\$ 550.00	\$ 2,475.00		
Landscape (shrubs/groundcover)	6,465 sf	areas along Riberia Street parking + overlook + dog park	\$ 5.00	\$ 32,324.25		
Mulch	6,465 sf	dog park, landscape areas, rain garden	\$ 0.60	\$ 3,878.91		
Irrigation			\$ 1.00	\$ -		
<b>AMENITIES</b>					\$	33,000.00
Benches	4 ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 8,000.00		
Litter + Recycle Receptacles	ea	approximately every 200 linear feet	\$ 750.00	\$ -		
Dr. Hayling Sculpture	1 ea	life size bronze statue with base	\$ 25,000.00	\$ 25,000.00		
<b>BUILDING STRUCTURES</b>					\$	-
<i>excluded; in other phases</i>						
<b>SITE PREP/GRADING</b>					\$	50,912.50
Site Utilities	101,250 sf		\$ 0.25	\$ 25,312.50		
Demo, Grading, Fill	102,400 sf		\$ 0.25	\$ 25,600.00		
					<b>SUBTOTAL</b>	<b>\$ 318,105.66</b>
<b>CONTRACTOR'S COST</b>						
General Conditions			5%		\$	15,905.28
Misc. Insurance			2%		\$	5,248.74
Fee			5%		\$	15,905.28
<b>OWNER'S ALLOWANCES</b>						
Owner's Market Escalation			8% per yr		2	\$ 50,896.91
Design Fee Estimate			6%		\$	25,448.45
Owner's Design Contingency			10% allowance		\$	31,810.57
Owner's Construction Cont.			5% allowance		\$	15,905.28
						<b>TOTAL PROBABLE CONSTRUCTION COST \$ 479,226.18</b>

**PHASE E: Marsh Overlook Boardwalk + Path**

<b>ELECTRICAL</b>						
Path Light	25 ea	assumes 1 path light approximately every 10'	\$ -	\$ -	\$	60,760.00
Pole Lighting	10 ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 60,760.00		
<b>HARDSCAPE</b>					\$	862,785.00
Elevated Overlook	5,600 sf		\$ 150.00	\$ 840,000.00		
New Sidewalk	1,519 sf	approximately 50% new; 50% reused	\$ 15.00	\$ 22,785.00		
<b>LANDSCAPE</b>					\$	71,963.60
Understory Trees	8 ea		\$ 1,000.00	\$ 7,500.00		
Large Trees	- ea		\$ 2,250.00	\$ -		
Palms	8 ea	regenerated cabbage palms assumed	\$ 550.00	\$ 4,125.00		
Landscape (shrubs/groundcover)	10,775 sf	areas along Riberia Street parking + overlook + dog park	\$ 5.00	\$ 53,873.75		
Mulch	10,775 sf		\$ 0.60	\$ 6,464.85		

Irrigation	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ -	\$ 5,500.00
<b>AMENITIES</b>					
Benches	2 ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 4,000.00	
Litter + Recycle Receptacles	- ea	approximately every 200 linear feet	\$ 750.00	\$ -	
Water Fountains	1 ea		\$ 1,500.00	\$ 1,500.00	
<b>BUILDING STRUCTURES</b>					
Pavilions	290 sf		\$ 100.00	\$ 29,000.00	\$ 29,000.00
<b>SITE PREP/GRADING</b>					
Site Utilities	101,250 sf		\$ 0.25	\$ 25,312.50	\$ 25,312.50
Demo, Grading, Fill	102,400 sf		\$ 0.25	\$ 25,600.00	\$ 25,600.00
				<b>SUBTOTAL</b>	\$ 1,080,921.10
<b>CONTRACTOR'S COST</b>					
General Conditions		5%		\$ 54,046.06	
Misc. Insurance		2%		\$ 17,835.20	
Fee		5%		\$ 54,046.06	
<b>OWNER'S ALLOWANCES</b>					
Owner's Market Escalation		8% per yr	2	\$ 172,947.38	
Design Fee Estimate		8%		\$ 86,473.69	
Owner's Design Contingency		10% allowance		\$ 103,092.11	
Owner's Construction Cont.		5% allowance		\$ 54,046.06	
<b>TOTAL PROBABLE CONSTRUCTION COST</b>					
					<b>\$ 1,628,407.64</b>

<b>PHASE F: Restroom Pavilion</b>					
<b>ELECTRICAL</b>					
Path Light	38 ea	assumes 1 path light approximately every 10'	\$ -	\$ -	\$ 90,600.00
Pole Lighting	15 ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 90,600.00	
<b>Hardscape</b>					
Sidewalk - New	2,265 sf	approximately 50% new; 50% reused	\$ 15.00	\$ 33,975.00	\$ 33,975.00
<b>LANDSCAPE</b>					
Understory Trees	1 ea		\$ 1,000.00	\$ 1,000.00	
Large Trees	- ea		\$ 2,250.00	\$ -	
Palms	1 ea	regenerated cabbage palms assumed	\$ 550.00	\$ 550.00	
Landscape (shrubs/groundcover)	2,586 sf	areas along Riberia Street parking + overlock + dog park	\$ 5.00	\$ 12,929.70	
Mulch	2,586 sf		\$ 0.60	\$ 1,551.56	
Irrigation	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ -	
<b>AMENITIES</b>					
Benches	2 ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 4,000.00	\$ 5,500.00
Litter + Recycle Receptacles	- ea	approximately every 200 linear feet	\$ 750.00	\$ -	
Water Fountains	1 ea		\$ 1,500.00	\$ 1,500.00	
<b>BUILDING STRUCTURES</b>					
Restroom Pavilion	290 sf	single building at northmost corner of site	\$ 350.00	\$ 101,500.00	\$ 101,500.00
<b>SITE PREP/GRADING</b>					
Site Utilities	20,250 sf		\$ 0.25	\$ 5,062.50	\$ 5,062.50
Demo, Grading, Fill	20,480 sf		\$ 0.25	\$ 5,120.00	\$ 5,120.00
				<b>SUBTOTAL</b>	\$ 257,788.76
<b>CONTRACTOR'S COST</b>					
General Conditions		5%		\$ 12,889.44	
Misc. Insurance		2%		\$ 4,253.51	
Fee		5%		\$ 12,889.44	
<b>OWNER'S ALLOWANCES</b>					
Owner's Market Escalation		8% per yr	2	\$ 41,246.20	
Design Fee Estimate		8%		\$ 20,623.10	
Owner's Design Contingency		10% allowance		\$ 25,778.88	
Owner's Construction Cont.		5% allowance		\$ 12,889.44	
<b>TOTAL PROBABLE CONSTRUCTION COST</b>					
					<b>\$ 388,358.77</b>



## CITY OF ST. AUGUSTINE

### MEMORANDUM

TO: The Honorable Chair and Board Members  
City of St. Augustine Community Redevelopment Agency

DATE: July 12, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;  
LCRA Architectural Guidelines Presentation and Recommendation

Attached please find the Lincolnville Community Redevelopment Area (LCRA) Architectural Guidelines and the LCRA Architectural Guidelines Quick Reference Guide. These documents have been developed in an effort to address one of the priority goals in the Lincolnville Community Redevelopment Plan Amendment: "Preserve Lincolnville's Historic Character".

The LCRA Plan Amendment addresses many challenges and concerns within the Lincolnville Community. Of those concerns and challenges, the plan addresses the preservation of the architectural integrity in Lincolnville. The plan recommends that staff make an effort to preserve the "Historic Lincolnville Look" by establishing an overlay district. In an effort to initiate a good faith effort of accomplishing this goal, staff retained the landscape, architecture, and planning firm Marquis, Latimer, and Halback to conduct a series of neighborhood engagement walks, workshops, and to ultimately develop the building design guidelines. During the walks, staff, the consultant, and community stakeholders helped to identify historic features of residential and commercial structures within the CRA boundaries. Of the many contributing features, porches, the roof pitch, windows, and siding have been identified as the items of utmost importance when rehabbing, restoring, or building a new structure in the Lincolnville Community.

During the October 17, 2022, LCRA Steering Committee Meeting a unanimous committee consensus in favor of distributing the LCRA Architectural Guidelines was noted. While the board and residents during public comment requested that the guidelines be evolved into standards, citing the guidelines should be a requirement for rehabilitations and new builds, staff and the consultant explained that guidelines could help to create a culture of preserving the architectural integrity in Lincolnville.

### **Recommendation:**

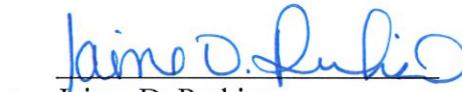
The latest version of the LCRA Architectural Guidelines is vast and contains very

detailed information related to the rich architectural history of Lincolnville. The Architectural Guidelines address in precise detail information that could easily assist homeowners, property owners, builders (developers), and/or architects in creating context-sensitive structures that reflect the architectural history of Lincolnville.

While the LCRA Architectural Guidelines is an intriguing and informative document, its robust context could be intimidating and deter readers. In consideration of internal staff conversations, and conversations with Steering Committee Members and board members, staff requested that the retained firm create a user-friendly, quick reference guide that would highlight the architectural components that have been deemed the most significant. This guide should be made available on the City and CRA websites and marketed to property owners and developers. Making the document available to users prior to the permitting process could aid in the consciousness of developing historically appropriate structures.

City staff is asking the CRA Board to:

1. Make a motion to formally adopt the Lincolnville CRA Architectural Guidelines and Quick Reference Guide and authorize City staff to distribute the LCRA Architectural Guidelines through the City's Planning and Building Department, Neighborhood Services, and Community Redevelopment Agency Division in an effort to encourage historically appropriate development and rehabilitation of structures in the Lincolnville Community and CRA.

  
Jaime D. Perkins  
Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: Lincolnville CRA Architectural Guidelines, Lincolnville CRA Guidelines Quick Reference Guide



Lincolnville Community Redevelopment Area

# Architectural Guidelines

FINAL VERSION FOR BOARD APPROVAL

July 10, 2023



**ST. AUGUSTINE**  
COMMUNITY REDEVELOPMENT AGENCY  
CITY OF ST. AUGUSTINE, FLORIDA





## ST. AUGUSTINE COMMUNITY REDEVELOPMENT AGENCY

CITY OF ST. AUGUSTINE, FLORIDA

### Community Redevelopment Agency Board

Mayor Nancy Sikes-Kline

Vice Mayor Roxanne Horvath

Commissioner Barbara Blonder

Commissioner Cynthia Garris

Commissioner Jim Springfield

### Lincolnville CRA Steering Committee

James St. George, Chair

Mari Hayes, Vice Chair

Madelaine Wise

Kenneth "Ken" McClain, Sr.

Dalonja Duncan

### City of St. Augustine

### Community Redevelopment Agency

Jaime D. Perkins, MPA, PMP

Neighborhood Services and CRA Manager

### City of St. Augustine City Manager Office

Reuben C. Franklin, P.E.

Assistant City Manager

Prepared by Marquis Latimer + Halback, Inc.

FINAL VERSION FOR BOARD APPROVAL | July 10, 2023



## **GUIDELINES FOR INFORMATIONAL PURPOSES**

These voluntary guidelines are intended for informational purposes only at this time.

We hope that you consider incorporating them in your renovations or new construction to honor the architectural history of Lincolnville.



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## Section 1

### PURPOSE & INTENT





## SECTION 1

### PURPOSE & INTENT

#### 1.1 Preserving Lincolnville + Maintaining a Vibrant Neighborhood



*Images from the 1991 NRHD Application.*



Lincolnville is a neighborhood with rich history, especially regarding the African American settlements within the City of St. Augustine. In fact, Lincolnville and the City of St Augustine have the oldest record of continuous African American settlement in the United States dating from Pedro Menendez's founding of the city in 1565 to the present day.

In addition to Lincolnville's cultural legacy, Lincolnville has an incredible built history being, "... the densest concentration and most numerous examples of historic structures." (NRHD Application, page 48)

The buildings in Lincolnville range from Frame Vernacular, Masonry Vernacular, Frame/Masonry Vernacular, Bungalow, Gothic Revival, Mediterranean Revival, Italianate, Queen Anne, Tudor, Victorian Era, and potentially Pre-Colonial archaeological footprints. The cultural and built history of Lincolnville are protected by the National Register of Historic Places designation, but it is incumbent on all homeowners, property owners, and the community to care for these treasures.

These guidelines aim to identify, protect, and encourage the continued development of Lincolnville's built history, balancing preservation with maintaining a vibrant, livable residential district.

### Commercial Property?

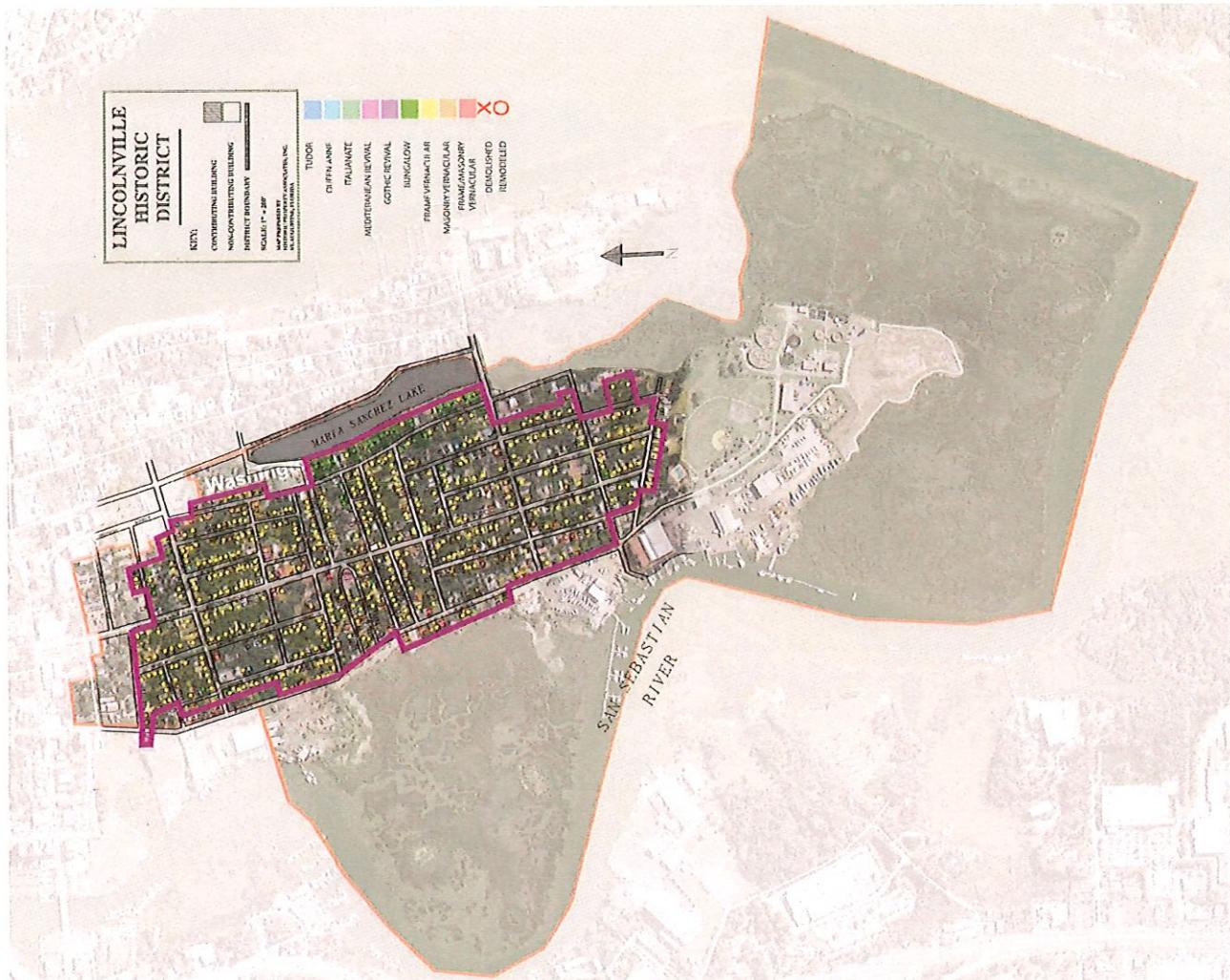
Please reference the *King Street Entrance Corridor Standards* for traditional commercial architecture. A brief summary is included in the *Appendix* of key aspects. Note that the Lincolnville Architectural Guidelines provide guidance for frame vernacular structures whether used for residential or commercial uses.



*Blue Hen Café is one example of Traditional Commercial which can be found in Lincolnville.  
Image from Google Street View.*



City of St. Augustine  
Lincolnville CRA Architectural Guidelines



Overlay of the Lincolnville Register Historic District (in purple) with the Lincolnville CRA (in orange). These guidelines are applicable to properties throughout the Lincolnville CRA.

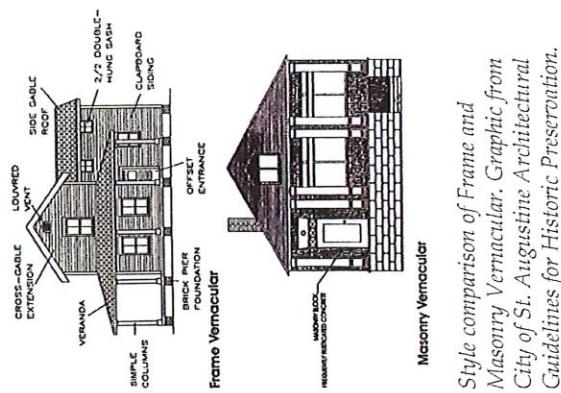
Image from ML+H.



## 1.2 Residential + Commercial Structures

While a majority of the structures and zoning within Lincolnville are residential and frame vernacular, there are also commercial zoning and traditional commercial structures, especially along Riberia Street, Dr. Martin Luther King, Jr. Avenue (formerly Central Avenue) and Washington Street. For rehabilitations / additions / new construction for traditional commercial structures in Lincolnville, the *King Street Entrance Corridor Standards* (City of St. Augustine) are recommended.

In particular, the East King Street district is applicable to the commercial structures of the Lincolnville era and provide helpful guidance for applicable properties throughout the neighborhood. Note that properties *within the Lincolnville neighborhood are outside of the Entrance Corridor properties required to present at the Corridor Review Committee.*



## 1.3 Key Architectural Features

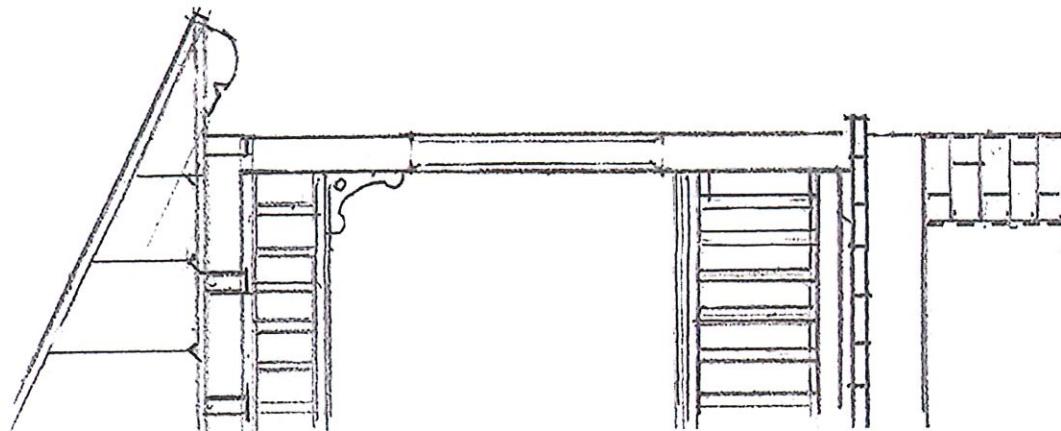
Note that two of the most important architectural features are the front porch and appropriate roof pitch (angle and shape of roof). See section 5 for more on these key items.

## 1.4 Historic Background

The summary below is extrapolated and condensed from the NRHD Application for Lincolnville. The full report is accessible here: <https://catalog.archives.gov/id/77844051>

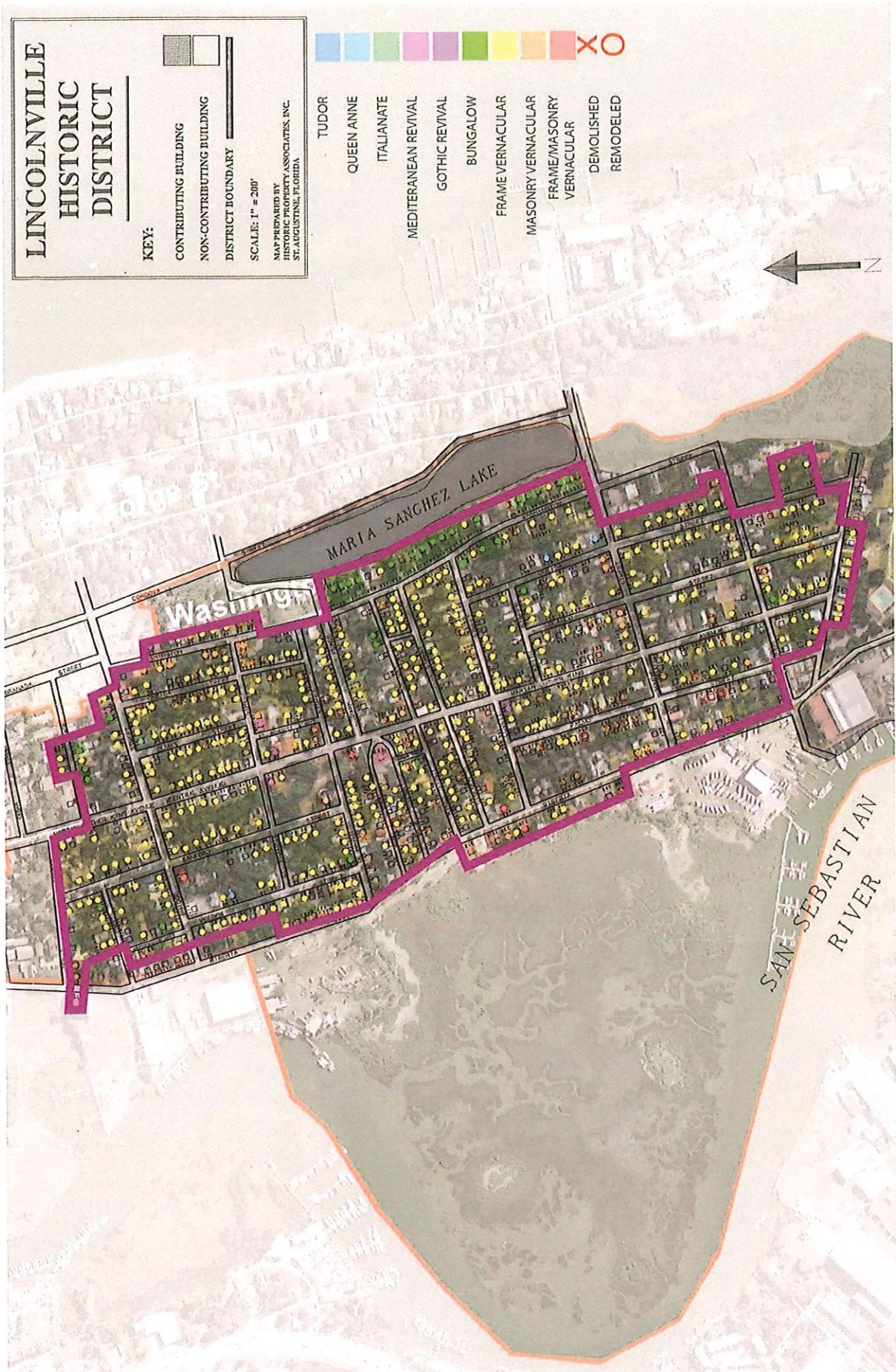
Lincolnville's built history can be traced back as early as the First Spanish Period (1700-1763) when it was recorded as the site of Native American villages of Palica and Pocotalaca.

This area would be rebuilt several times by both the Spanish and the British in attempts to bolster the City of St. Augustine's defense systems. Part of these defenses included transportation networks of streets, bridges, and ferries connecting to the current day locations of Bridge Street and King's Ferry Way. By 1748 the Spanish





City of St. Augustine  
Lincolnville CRA Architectural Guidelines



## ARCHITECTURAL STYLES

Styles of homes and structures of contributing buildings to the  
NRHD. Graphic by ML+H.



City of St. Augustine  
**Lincolnvile CRA Architectural Guidelines**

government granted 4 land grants to local citizens created the early development of Lincolnville as the first commercial orange groves in Florida. These citizens became the pioneers of the Florida citrus industry.

By the 1830's St Augustine had a population of 4000 people of which 844 were free persons of color. In 1838 Peter Smith consolidated 3 of the Spanish grant lands to create the Dumas Homestead Tract.

This area transformed from orange groves into residential development by 1866. Emancipated slaves and long-standing African American residents of the city took a 20-year lease from the city to develop this tract into what was first called "Africa" and later "Lincolnvile", as it's known today.

By 1870 the residents were officially purchasing lots and building homes first along Central Avenue (now Dr. Martin Luther King, Jr. Avenue) and Benedict Street then to Oneida and Bridge Street. Lincolnville continued to grow, merging African American and predominantly white areas into a single community reflective of the current extents of Lincolnville by 1930. The area also had a thriving commercial area focused on Washington Street, Ribera Street, and Central Avenue (now Dr. Martin Luther King, Jr. Avenue), but this began to transition to more residential uses following desegregation in the 1960s.

This wide range of built history has many architects, the majority of which are anonymous. Most of the residential structure were designed and constructed by African American builders. Their legacy can be seen in the local use of materials, such as wood and coquina, and the detailed craftsmanship of the local architecture. George Dickerson and James Jones, two prominent African American artisans in Lincolnville, have documented work on residences as well as the St. Paul's A.M.E. Church in Lincolnville. The guidelines will expand upon the material and details further to assist those interested in continuing the legacy of the built history.



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## Section 2

### LINCOLNVILLE GUIDELINES OVERVIEW





## SECTION 2

### LINCOLNVILLE GUIDELINES OVERVIEW

#### 2.1 Building in Lincolnville

##### 2.1.1 Overview

A majority of Lincolnville is defined by the Lincolnville National Register Historic District (NRHD). This district references the large number of frame vernacular structures, many of which have unique "Victorian-esque" features and ornamentation. This document is designed to assist homeowners, property owners, builders, architects, and others to renovate, restore, and build in a context-sensitive manner within this unique area of St. Augustine.

##### 2.1.2 Requirements

There are a number of building requirements that apply to development within Lincolnville. These are state building codes as well as **city-wide ordinances, zoning code, archaeological code, tree removal code, and demolition ordinances**. While not exhaustive, some pointers for building in the City include:

- a. Zoning codes require specific yard/setbacks. A brief overview is included below.
- b. The City's Archaeological Preservation Ordinance addresses any building construction that impacts a depth over 3" and more than 100 square feet. An Archaeological permit will be required. Most of Lincolnville sits in zones II and III.
- c. Any tree with a trunk 3" in diameter or greater when measured 4'-6" from the ground requires a tree removal permit. Large trees of certain species are considered "significant" and require the approval of the Planning and Zoning Board.
- d. Demolition of any structure over 50 years in age requires review and approval by the Historic Architectural Review Board (HARB). Applications may be made through the Planning & Building Department. HARB meets monthly (3rd Thursday of each month) with applications due approximately 30 days before.



**City of St. Augustine  
Lincolnville CRA Architectural Guidelines**

e. For contributing buildings within the National Register Historic District, special care should be given. There are five (5) primary elements of note that are reviewed by City staff and potentially HARB when they are modified or impacted, including:

- i. **Roof**
- ii. **Windows**
- iii. **Exterior Finishes**
- iv. **Appurtenances (porches, balconies, chimney, etc.)**
- v. **Foundations**



### 2.1.3 Guidelines

The enclosed *Lincolnville Architectural Guidelines* are recommendations and suggestions. While not "requirements" such as the zoning and demolition elements, these are "recommendations" to help guide the continued vibrancy of the Lincolnville architectural character.

## 2.2 Zoning

### 2.2.1 Overview

While there is a mixture of zoning categories within the Lincolnville neighborhood, a majority of the residential structures reside within RS-2 ("Residential Single-Family 2"). Property owners, homeowners, and their team should reference City Code and Zoning map (available via [citystaug.com](http://citystaug.com)). The following overview is provided for easy reference. Many lots are non-conforming lots; applicable code language is also available on the following pages.

### 2.2.2 RS-2 Yard Requirements

a. Yard requirements (sometimes referred to as *setbacks*) refer to the location the primary structure can sit on a site. They are measured from the property line. Within RS-2, yard requirements include:

- i. Front yard: fifteen (15) feet.
- ii. Side yard: ten (10) feet. Note that if there is a non-conforming lot (less than 50' in width in RS-2), the side yard must be ten percent (10%) of the lot width. As an example, a forty (40) foot lot width would require a minimum of four (4) feet on each side yard.
- iii. Rear yard: ten (10) feet.

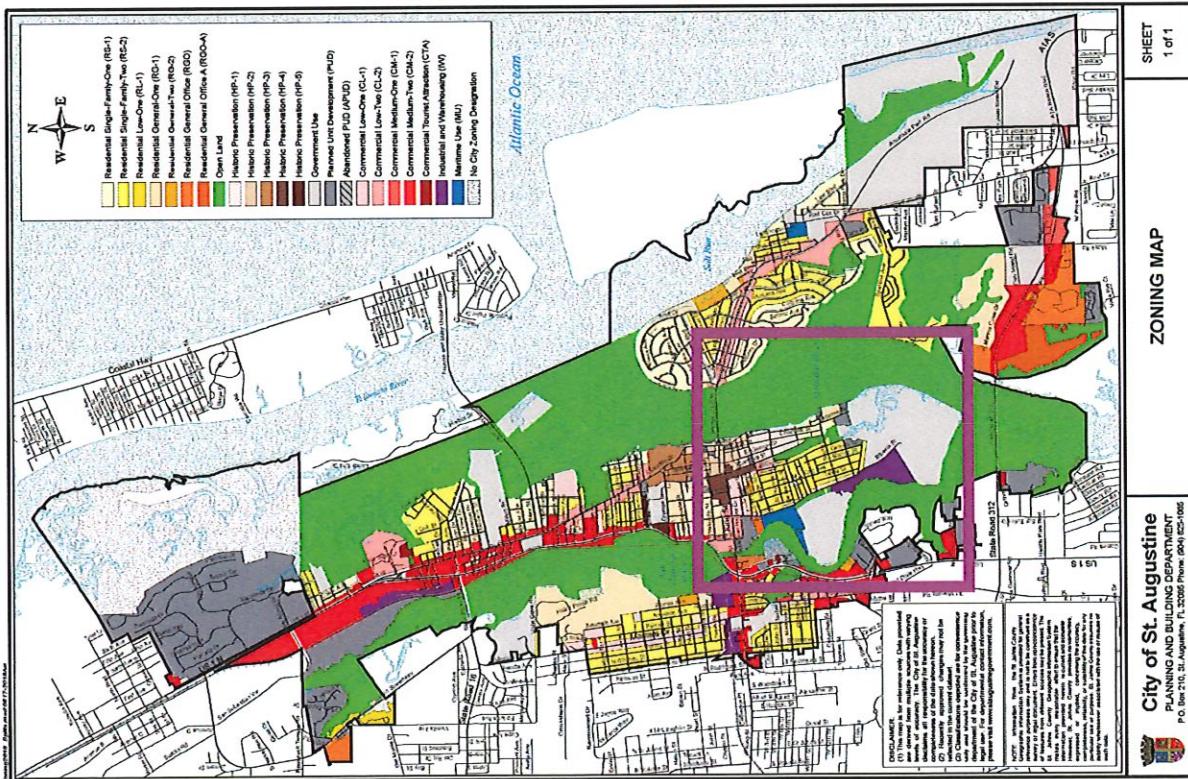
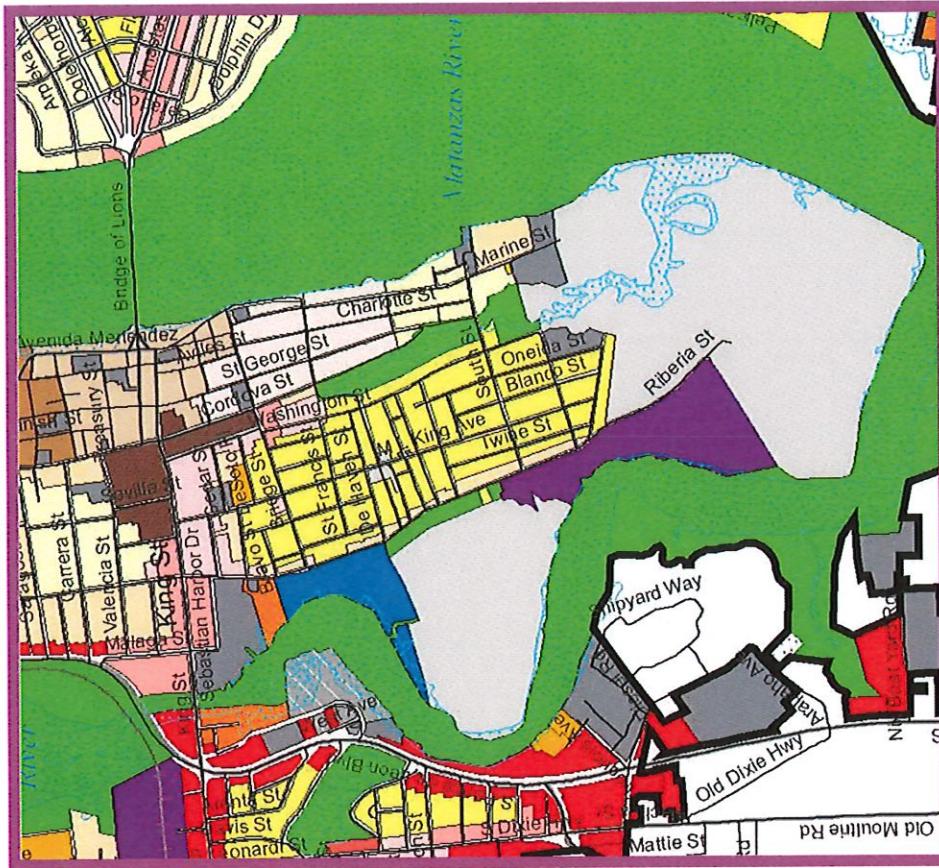
b. Within these yard requirements, it is permissible per City Code to build features such as fences, screening walls, pools (not closer than 5'), landscape, and secondary structures such as garages. Note that secondary structures must be separated from the primary structure. Such non-habitable structures may be within three (3) feet of a property line.

### 2.1.3 RS-2 Lot Coverage

- a. Lot coverage within RS-2 can be a maximum of thirty percent (30%) for all buildings.



# Lincolnville CRA Architectural Guidelines City of St. Augustine





## NON-CONFORMING LOTS

### Code for Reference

#### Sec. 28-119. Nonconforming lots of record.

Notwithstanding limitations imposed by the provisions of this chapter, any single lot or lots of record which were so recorded on or before the effective date of adoption of this chapter [April 29, 1975] may be used in accordance with the following:

- (1) A single-family dwelling may be constructed on any such lot, lots or portion of a lot or lots which are located in a district where such use is permitted or permitted by exception.
- (2) A multiple-family dwelling containing not more than two (2) dwelling units may be constructed on any lot or lots which are not less than fifty (50) feet in width, not less than five thousand (5,000) square feet in area, and located in a district where such use is permitted or permitted by exception.
- (3) A multiple-family dwelling containing not more than four (4) dwelling units may be constructed on any such lot or lots which are not less than fifty (50) feet in width, not less than seventy-five hundred (7500) square feet in area, and located in a district where such use is permitted or permitted by exception.
- (4) An existing single-family dwelling constructed prior to the effective date of this chapter on a nonconforming lot of record may be converted to a duplex or to accessory apartments on any such lot or lots which are not less than fifty (50) feet in width, not less than five thousand (5,000) square feet in area, and located in a district where such use is permitted or permitted by exception.
- (5) The minimum lot width requirement shall be waived by the planning and building department if the overall square footage of the nonconforming lot of record is above the minimum required for each multiple-family dwelling within the project. The in-



tent of this section is to give the developer some flexibility in the total site plan. This section shall not apply to conforming lots of record, as described in section 28-2.

(6) The above uses are also subject to the following:

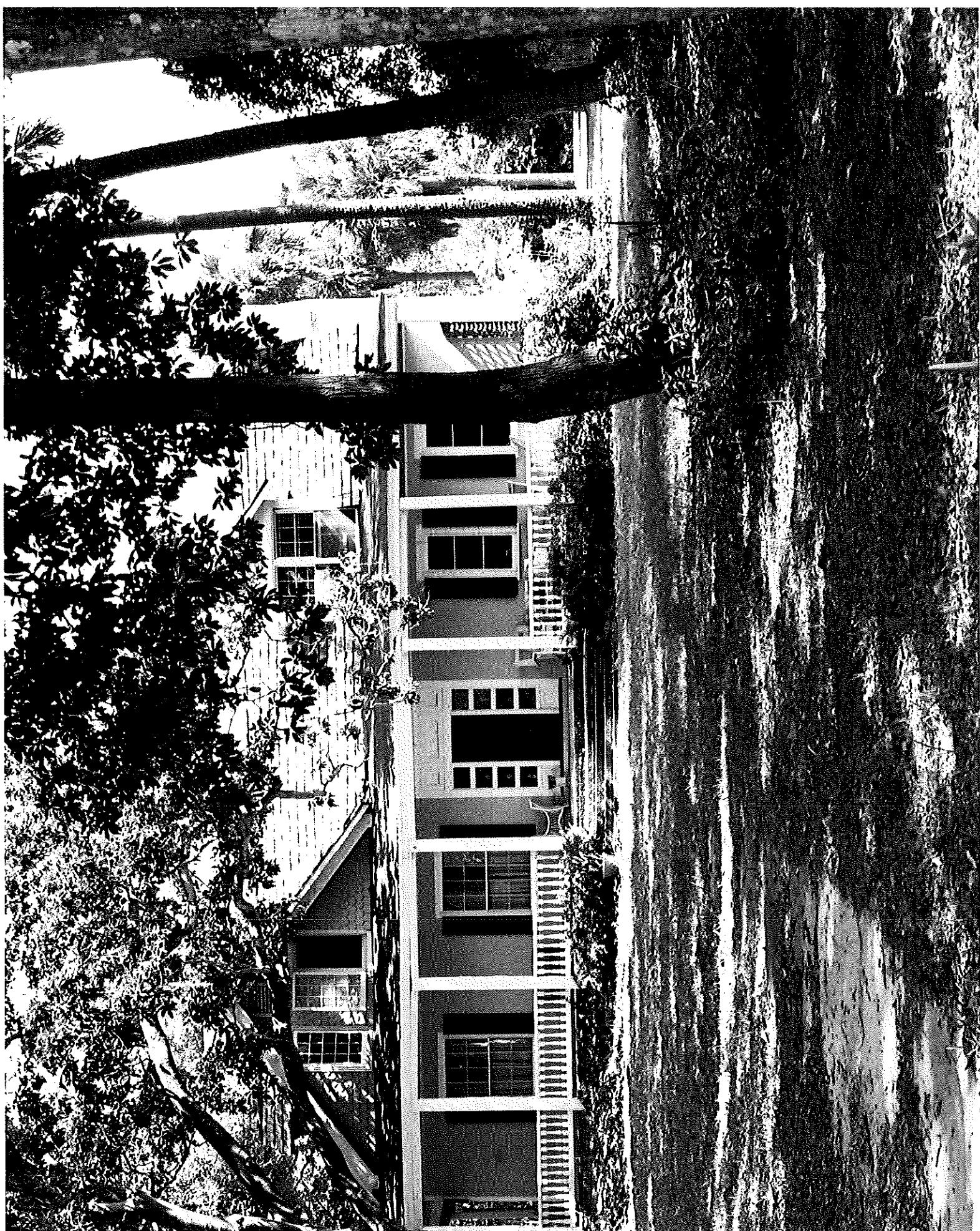
- a. No side yard shall be less than ten (10) percent of the width of the lot, provided such side yard is not less than four (4) feet.
- b. On a corner lot, the exterior yard adjoining the secondary street shall be considered a side yard but the width of the side yard shall not be less than eight (8) feet.
- c. The front yard shall meet the requirements of the district where such use is permitted or permitted by exception unless the lot is subject to one (1) of the conditions as specifically modified elsewhere herein (see "yard, front," section 28-2).

(Code 1964, § 33-138; Ord. No. 03-20, § 1, 9-8-03)

**Sec. 28-159. Height restrictions and maximum lot coverage on non-conforming lots of record in single-family residential districts (RS-1 and RS-2).**

Notwithstanding any other provisions of this division 3, the allowable maximum height of structures of more than one story proposed for construction within single-family residential districts (RS-1 and RS-2) on a non-conforming lot of record shall be thirty (30) feet, and such structures shall have a minimum roof pitch of 5/12, with dormers limited to twenty (20) percent of the eave length per side. For the proposed structures subject to this provision, the maximum lot coverage shall be twenty-nine (29) percent in RS-1 and thirty-five (35) percent in RS-2.

(Ord. No. 05-28, § 1, 9-12-05; Ord. No. 21-26, § 2, 10-11-21)



## Section 3

### SITE & LANDSCAPE GUIDELINES





## SECTION 4

### SITE & LANDSCAPE GUIDELINES

#### 4.1 Site Access

##### 4.1.1 Pedestrian Access

Pedestrian walkways, ramps or steps (or a combination of these) should link the public sidewalk to the front door entry.

- It is recommended that there be a change in materials between the public sidewalk and the private home's walkway. For example, brick banding may help differentiate the private walkway.



Separate front walks from driveways are typical throughout Lincolnvile.

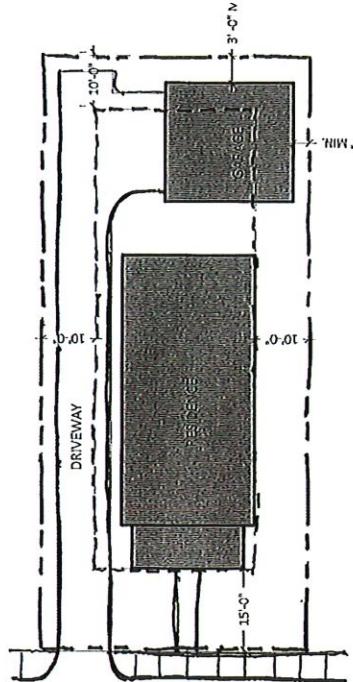
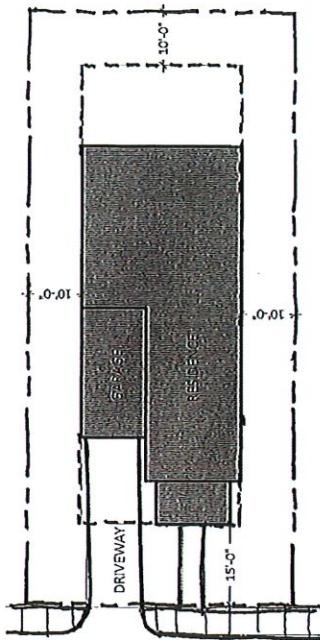
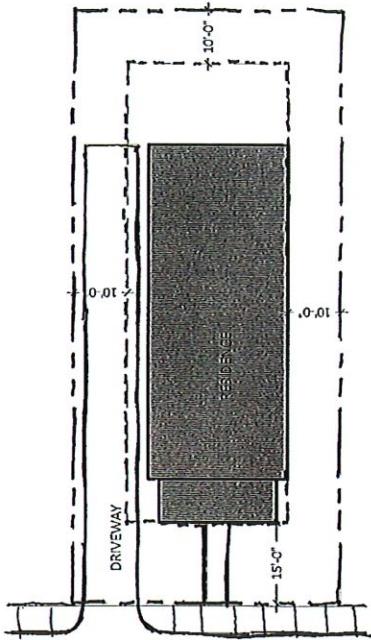
*Image from ML+H.*

#### ADDING PARKING FOR SHORT TERM RENTAL?

Per City Ordinance Sec 28-151:  
*Stabilized parking for vacation rentals may not consist of unimproved dirt, sand, or grass. For the purposes of this division, stabilized parking shall be defined as a space that is covered and graded by semi-permeable or impervious materials such as asphalt, concrete, pavers, gravel, or a similar material.*

**REMINDER: 70% IMPERVIOUS SURFACE RATIO** (only 70% of the lot can be covered with impervious surface)

Example site layouts showing pedestrian and driveway/ parking/ garage locations. Graphic from ML+H Team.





still allowing views of the front porch and dwelling should be considered.

Iii. The garage should be behind (detached) or setback from the primary plane. Also see Section 5 "Garage Location."

b. Parking area materials are recommended to primarily use pervious materials such as pervious concrete, pervious pavers, and tire strips with aggregate (shell, gravel, etc.) placed between. Coquina concrete, poured concrete, and brick are also options.

## 4.2 Landscape

Specific landscape requirements are per City Code (see Section 25-53 of the Code), but the following guidance is recommended:

### 4.2.1 Plant Materials

In general, site landscaping should use native or Florida-Friendly plants that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

### 4.2.2 Protection of Existing Landscape

Effort should be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Any tree with a trunk 3" in diameter or greater when measured 4'-6" from the ground requires a tree removal permit. Large trees of certain species are considered "significant" and require the approval of the Planning and Zoning Board.

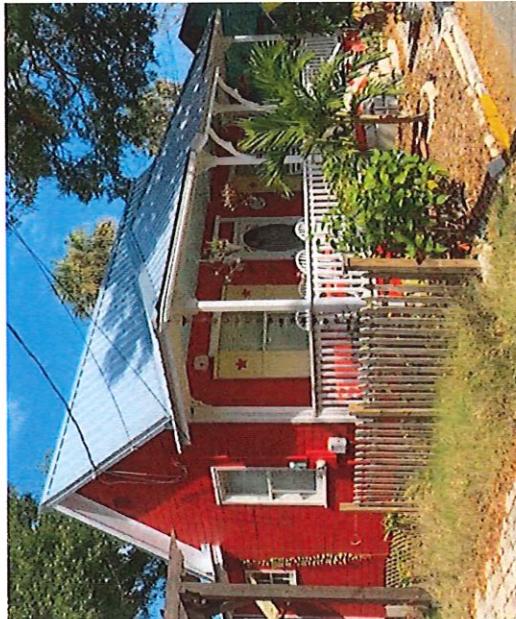
### 4.2.3 New Canopy Trees

Adding new canopy trees such as Live Oaks (*Quercus virginiana*) is recommended. Varieties are noted in Appendix C. Note that there are periodically City funding efforts for homeowners to add trees within their yards.



*Garage set back from front porch. Also see Section 5.*

*Image from ML+H.*



*Garage set back from front porch. Also see Section 5.*

*Canopy trees are form giving to Lincolnville.*

*Image from ML+H.*



## 4.3 Stormwater Recommendations

### 4.3.1 Stormwater Design Overview

Stormwater is recommended to be incorporated into the overall design of the project as amenities. The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities.

### 4.3.2 Low Impact Development (LID) Stormwater Techniques

It is recommended that projects include at least two of the following low impact design concepts, which may be located anywhere on the project (including the front setback):

- Raised pier construction for homes (allowing for movement of stormwater and additional infiltration area)
- Rain water harvesting (rain barrels, underground cisterns, and similar)
- Green roofs
- Bio-swales
- Rain gardens
- Pervious pavement (pervious concrete, pervious pavers, and/or other pervious pavements)



Examples of Stormwater Facility Design

Sources: *The Urban Report: Green and Sustainable Services, LLC.*



## 4.4 Fences and Walls

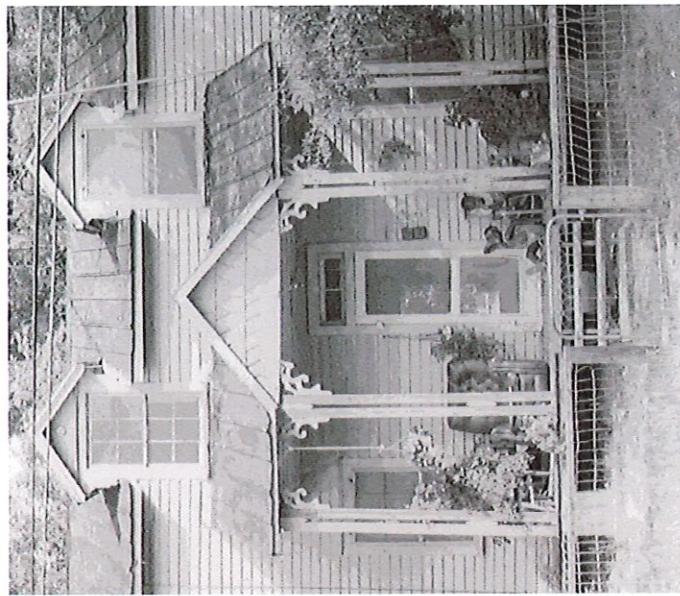
Low fences and site walls can be found along the front property lines in Lincolnville. Fences and walls within the front setback zone should be relatively low, allowing views between the street and front door. Recommendations for fences and street walls include:

### 4.4.1 Fences

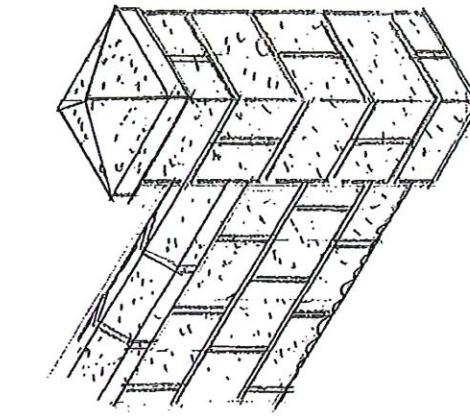
1. Along the front property line and within the front setback, appropriate fencing materials may include stained wood, painted wood, powder-coated aluminum, or wrought iron.
2. Chain link, wire, and PVC fencing are not recommended in the front setback but may be appropriate along side or rear areas.



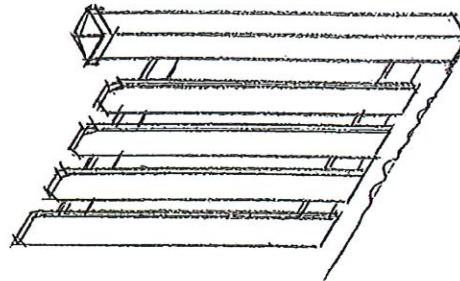
Wooden and metal fencing in Lincolnville.  
Image from ML+H.



Wooden and metal fencing. Image from Florida SP  
Lincolnville Historic District document.



Fencing Styles in Axonometric. Graphic by  
Les Thomas Architect and ML+H Team.





#### 4.4.2 Street Walls

1. Low block / masonry walls may be appropriate. Street walls are recommended to not exceed 36", but four (4) feet is the maximum per Code. Wall height should be measured from the lower elevation of the public sidewalk or final elevation of adjacent interior development.
2. Portions of the wall above 3 feet should not be more than 50% solid.
3. Street walls shall be constructed of brick or masonry. Fencing may be included.
4. When landscaping is provided between the wall and the sidewalk, the landscaping strip is recommended to be a minimum of two (2) feet wide.

#### 4.4.3 Street Wall as Flood Protection

1. It is recommended that the street wall be considered as part of flood protection to the site. When used in conjunction with neighboring walls and earthen berms, it is possible to create an initial barrier to storm surge and flooding.
2. Openings in the wall for pedestrian walkways and driveways can be closed during storm events by using temporary barriers.



*Masonry site walls are found throughout Lincolnville.*

*Image from ML+H.*

*A low site wall can help to provide flood protection. Also shown is an open "pier system" for the front porch.*

*Image from ML+H.*



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## Section 4

### BUILDING DESIGN GUIDELINES: FRAME VERNACULAR





## SECTION 5

### BUILDING DESIGN GUIDELINES

#### 5.1 PORCHES (Note: Item of Primary Importance)

Street-facing porches are one of the primary identifying features of homes within Lincolnville and should be considered on all homes within the neighborhood. Restoration of porches that have been previously enclosed is encouraged.

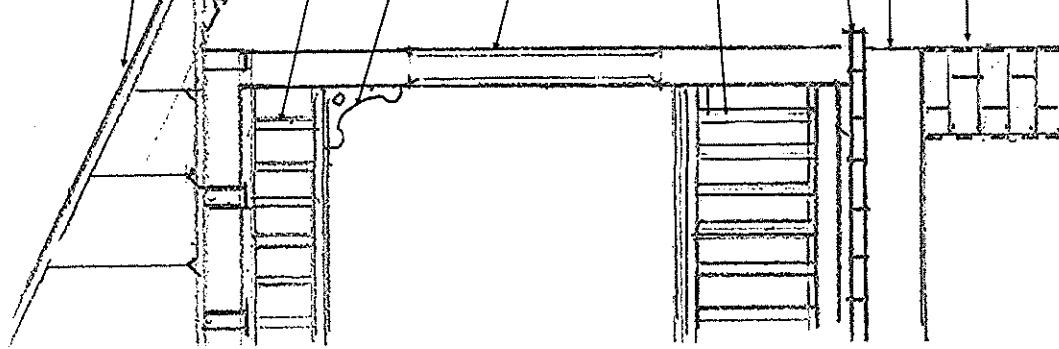
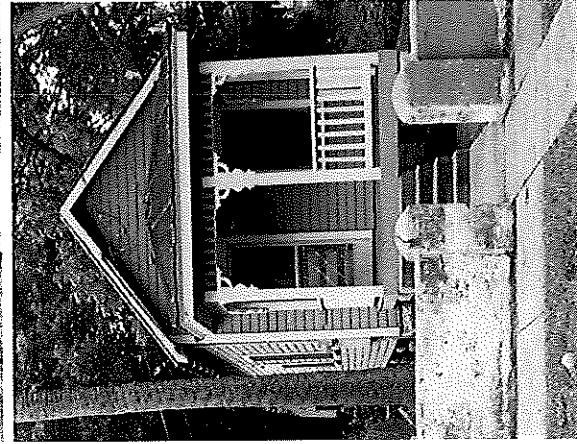
Design aspects to be considered for the front porches may include:

1. **Deep front porches.** Specifically, the porch should be deep enough for chairs to comfortably sit under the covering.
  - a. Recommended depth is between 6' to 8'.
  - b. Minimum depth of porch to be 5'-6" measured from exterior wall of home to inside edge of railing or column.
2. Front porch locations may include full width, wrap around, or fill in between the "L". Full width porches are most typical.
3. Commonly elevated 2'-6" to 3'-6" above grade. Also refer to Site Design Guidelines regarding stormwater.
4. Decking is recommended to be wood (versus a composite). Many homes would have used tongue-and-groove (T&G).
5. Columns are typically narrow and made of wood with few details; usually spaced evenly across the façade.
  - a. Details may include chamfered corners (square) or a turned (round) column.
  - b. Brackets would have traditionally been included at the top of the column (under the frieze board).
  - c. Bracket should be the same material (typically wood) as the home.
6. Railings would have typically been wood. Options may have included:
  - a. 1 1/4 inch square pickets.
  - b. Custom balustrade panel with cutouts.
7. **Screening.** Open air porches are traditional to Lincolnville and allow for the most unobstructed views of the architecture. Where screening is included, the following factors should be considered:
  - a. Screen should be placed behind (interior face) of the porch columns, railings, and other ornamental detailing.
  - b. Gray (versus charcoal) screening material is preferred as it allows the details to become more visible.
  - c. Wood framed screen systems are preferred.



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Front porches. Images from Florida SP  
Lincolnville Historic District document.



Typical porch components. Graphic from  
Les Thomas Architect and ML+H Team.



## 5.2 ROOF (Note: Item of Primary Importance)

Preferred roof styles within Lincolnville include gable and hip.

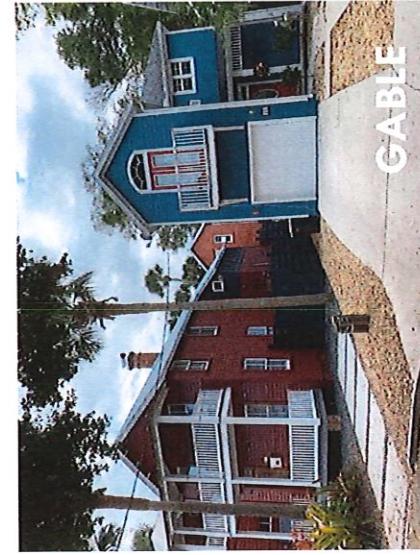
### 1. Roof styles:

- a. Gable: Front, side, dutch, and cross gables are appropriate.
- b. Hip: Hip roofs, especially for more Bungalow style homes, are appropriate.
- c. Flat: Typically not used.

2. Pitch:
  - a. Main roofs are traditionally steeply pitched (8:12 to 12:12). Minimum pitch of 6:12 recommended (5:12 with 20% dormer maximum when allowed per City code for non-conforming lots).
  - b. Porch roofs have a low pitch (2:12 to 4:12).
  - c. Dormers sometimes used on 2 1/2 or 1 1/2 story homes.
3. Rafter tails / ends:
  - a. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
  - b. Vinyl soffits are discouraged.
4. Materials:
  - a. Asbestos (existing historic), composition or metal shingles, V-crimp metal.
  - b. Brick or stucco chimneys, typically on the gable end walls.

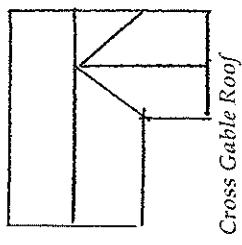
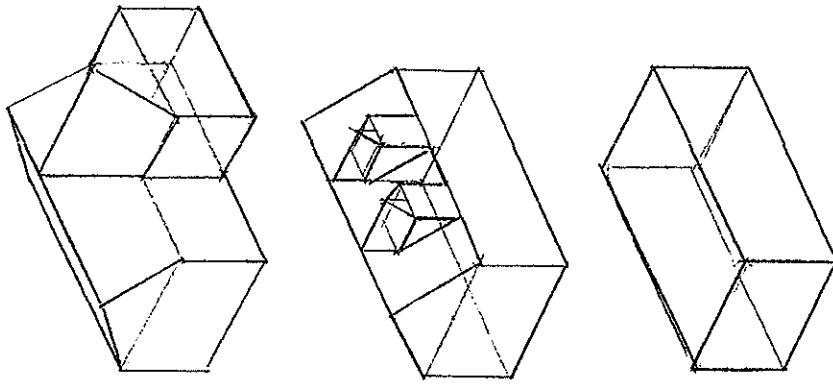
*Examples of Roof Types.*

*Images by ML+H.*

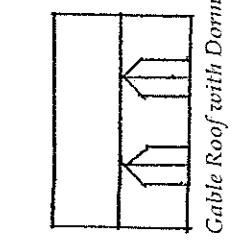




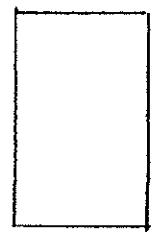
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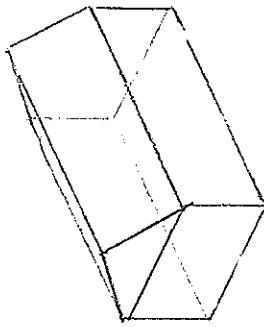
*Cross Gable Roof*



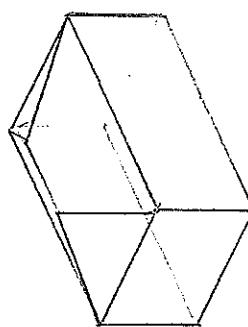
*Gable Roof with Dormers*



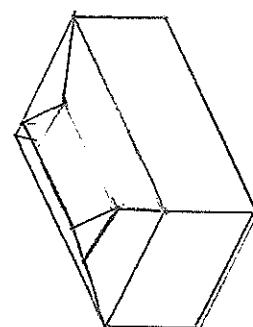
*Flat Roof*



*Gable Roof*



*Hip Roof*



*Dutch Gable Roof*

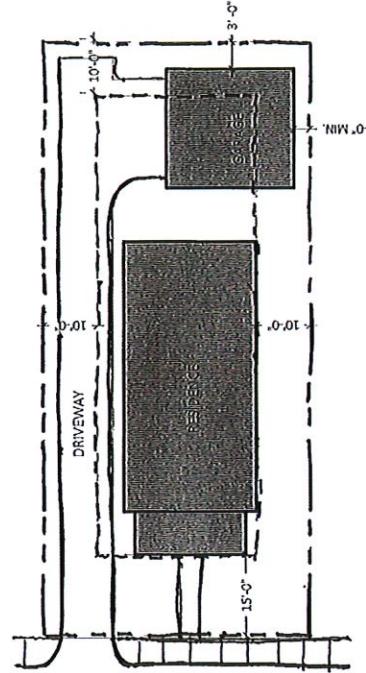
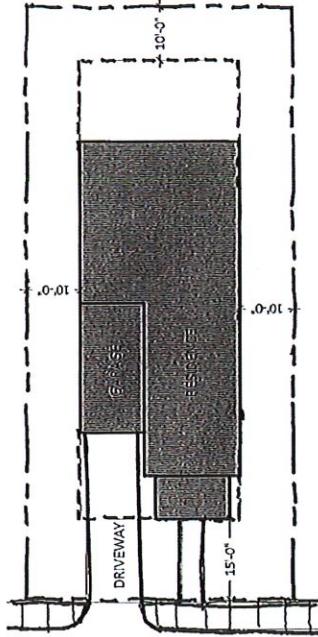
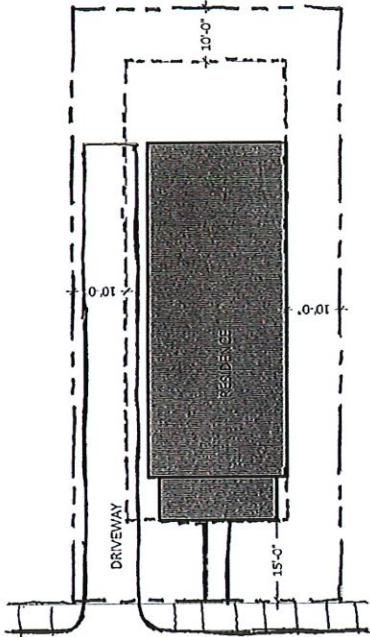
*Examples of Roof Types in Plan and Axonometric. Graphic by Les Thomas Architect and ML+H Team.*



### 5.3 GARAGE LOCATION

The primary façade of the home should be presented towards the street. Garages and carports should be secondary to the main building/ façade. Design recommendations may include:

1. Garages should be either recessed from main façade or detached and placed in the rear.
2. Generally, there should be sufficient parking room (18'-20') on the property / in front of the garage.
3. Typical minimum for recessing the garage from the front primary façade (excluding porch) is 4'-0", but additional offset is recommended.
4. Garages are recommended to be generally on grade (lower than finished grade of home) with a 2% to 5% driveway. Waterproofing of the garage space should be considered when applicable.



Example site layouts showing pedestrian and driveway / parking / garage locations. Graphic from ML+H Team.



## FOUNDATION

The relationship of the building floor height to the surrounding context of the neighborhood is important to consider.

**Raised Pier Foundations:** Within the Lincolnville neighborhood, raised pier foundations are typical.

There are multiple advantages to raising the foundation, including (a) opportunities for stormwater infiltration, (b) movement of storm surge through a site in hurricane events, and (c) cross ventilation.

Design recommendations should consider:

1. Brick, tabby or concrete block (with texture) piers.
2. Spaces between piers left open.
3. Lattice infill between piers is common.

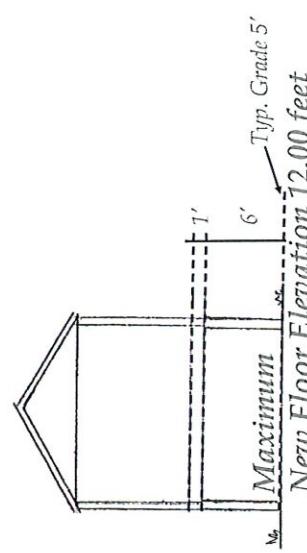


**Stemwalls:** Stemwalls may be an appropriate solution where a poured slab is needed. However, it is recommended that grades adjacent to stemwalls largely remain consistent with existing grades. This helps reduce the visual impact of adding extensive fill to a site and keeps new buildings within the existing character of the neighborhood.

## RECOMMENDED FIRST FLOOR ELEVATIONS

Homes may consider further elevating the first floor. General recommendations to keep the architectural context of the homes within Lincolnville include:

- Do not raise the home more than 2' from FEMA and City required minimum elevations.
- Do not raise the home more than 4' from existing grade.
- When raising the home more than 4' from existing grade, consider bringing it up one floor by building a non-occupied space such as garages, storage, and similar under the structure. The inclusion of an exterior porch and first floor entry should be considered in lieu of open "stilt house" base.



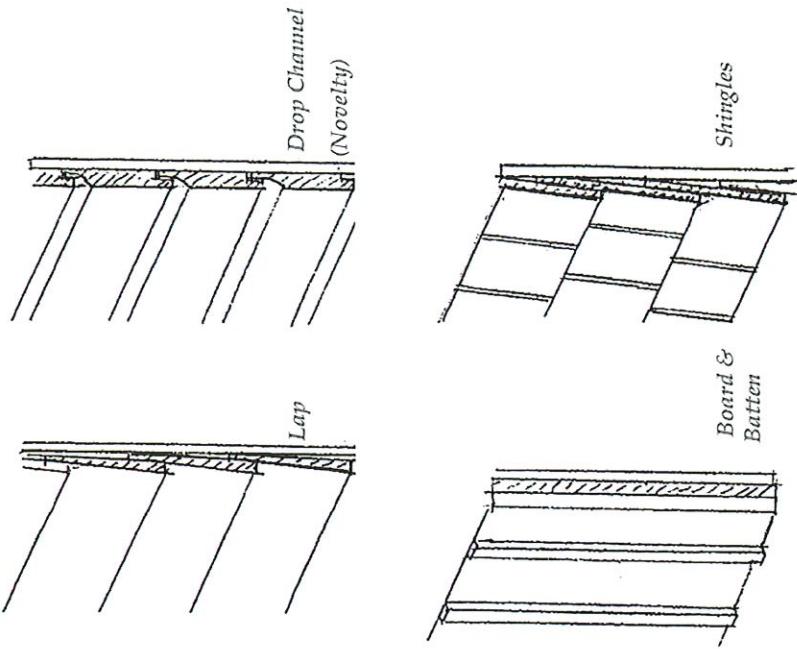
First Floor Elevation diagram. Graphic by  
Les Thomas Architect and ML+H Team.



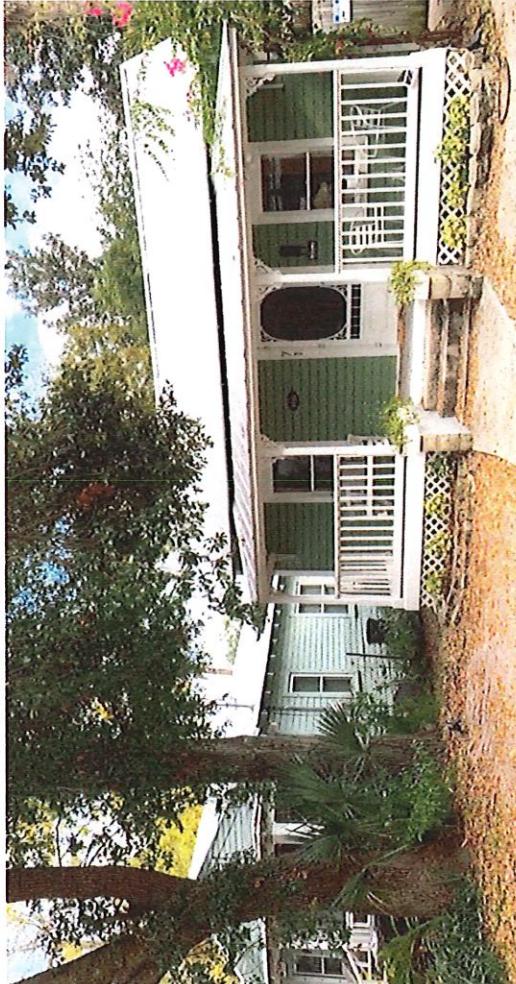
## SIDING

Horizontal siding is common throughout Lincolnville. Less common are wood shingles and board and batten. Consider the following:

1. Materials may be wood or cementitious panels. Vinyl is not appropriate for horizontal siding.
2. Smaller profiles are preferred, such as 6" exposure for horizontal siding.
3. Smooth finish is preferred.



Horizontal siding is present throughout Lincolnville.  
Image from ML+H.



Siding examples. Graphic by  
Les Thomas Architect and ML+H Team.

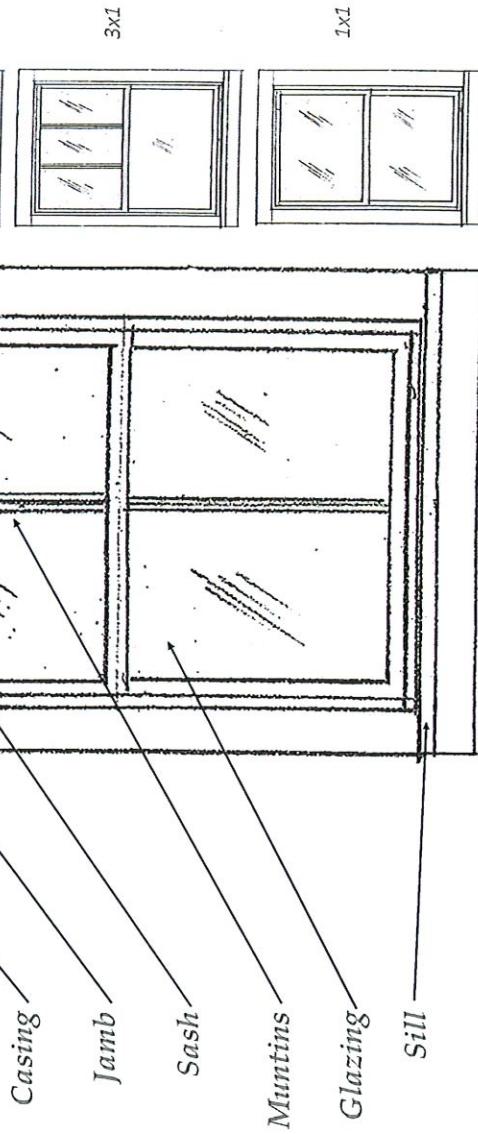
## FENESTRATION & GLAZING (WINDOWS)

Design aspects of fenestration include:

1. Windows generally are double-hung, rectangular windows.
2. Windows can be single or multi-pane (6/6, 3/1, 2/2 or 1/1).
3. Trim projects out from wall cladding, approximately  $\frac{3}{4}$  inch. Jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
4. Shutters are not typically used. If used, they should be paneled and should be either operable or proportioned to look operable.
5. Windows to be wood, fiberglass, vinyl, or vinyl clad. Aluminum is not recommended.
6. Mirrored glass or film is not recommended.

Window and fenestration layout should consider the following:

1. Second floor windows align with first floor windows.
2. Windows are spaced evenly along all facades.
3. Transoms, fanlights, and attic louvers are common.



Glazing diagram and example panel layouts.  
Graphic by Les Thomas Architect and ML+H Team.



## Appendix

### EXISTING STYLES

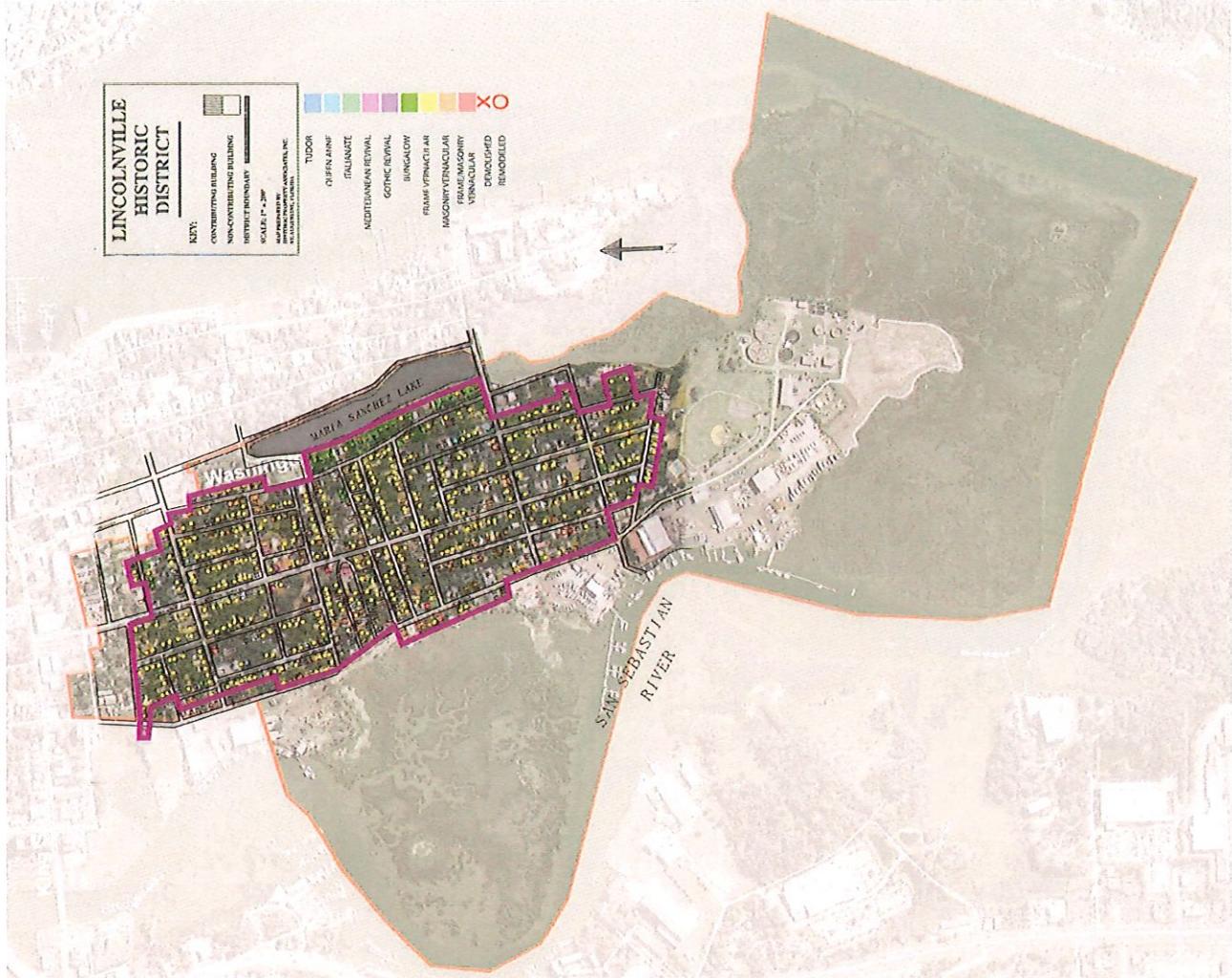




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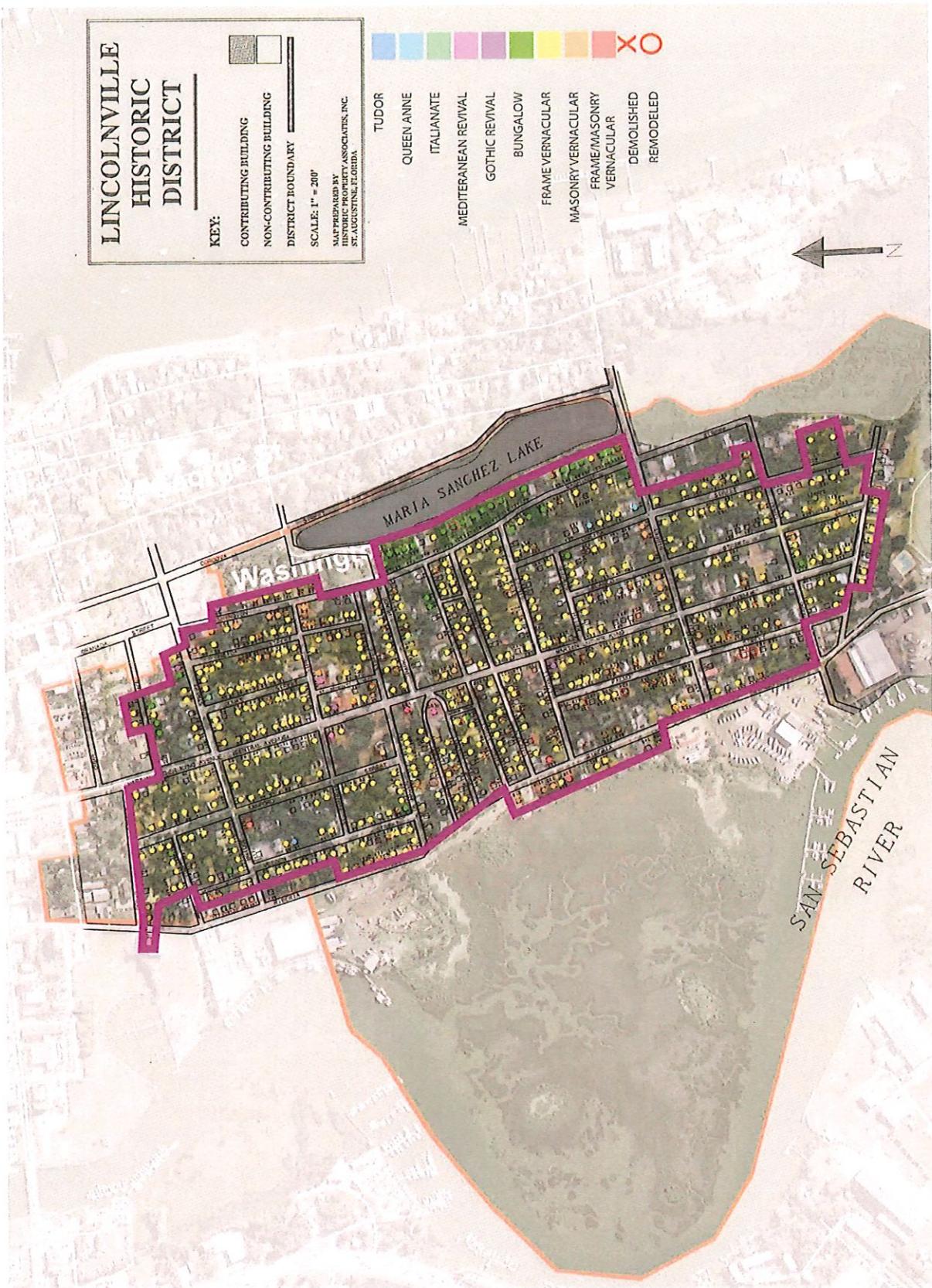
Lincolnville CRA Architectural Guidelines

## APPENDIX A: EXTENTS





City of St. Augustine  
Lincolnvillle CRA Architectural Guidelines





## APPENDIX B: DEFINITIONS

**Accessory:** a supplementary material object or feature that enhances the main focus

**Adjacent:** next to or adjoining something else.

**Ancillary:** a subsidiary area that supplements and is integral to the functions of the primary area, but is in no way the foremost purpose of the building

**Appurtenances:** spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, elevator shafts or other appurtenances required to be placed above the roof level

**Arcade:** series of arches supported by a colonnade of vertical supports, such as columns or piers

**Awning:** a rectangular or curved shelter extending from a building and supported entirely from the exterior wall of a building and composed of non-rigid materials except for supporting framework.

**Canopy:** a structure constructed of rigid materials including, but not limited to metal, wood, concrete, plastic or glass, which is attached to and supported by a building or by columns, poles or braces extended to the ground.

**Corridor Review Committee:** development review board as designated by the City Commission

**Development Site:** a parcel or lot of land that has been designated and initiated work for any development projects

**Dimensional Requirement:** the code guidelines for numerical measurement conditions for which development has to abide by, such as setbacks, structure widths & heights, lot coverage area, etc.

**Facility:** a structure, amenity, or place that houses and supports a specific function



**Frontage:** the facade of a building, specifically abutting King Street.

**Full Cut Off:** a lighting fixture from which none of its lamp's intensity is emitted at or above a horizontal plane drawn through the bottom of the fixture and no more than ten percent of the lamp's intensity is emitted between eighty (80) degrees and that horizontal plane.

**Land Development Regulations:** the land development and zoning codes contained in The Code of the City of St. Augustine.

**Licensed Professional:** a person who has been granted legal authority by their governing body to practice within the designated scope of their profession

**King Street:** including "West King" and "King Street," this is the main vehicular connector that front setbacks relate to.

**Malaga Street:** as an extension of the Corridor, applicable sites shall reference Standards for King and Malaga interchangeably.

**One-Story:** having one floor or level

**Parking Structure:** a building, generally enclosed, of which the principle function is for vehicular parking

**Parapet:** a low wall or protective barrier projecting from the edge of a building roof, balcony, terrace, or similar structure

**Permanent Accent Lighting:** light fixtures such as uplights, downlights, and strip lighting designed to accentuate architectural or landscape features (holiday / Christmas lighting not included)

**Photometric:** a plan showing the simulated lighting coverage of a proposed development, helping designers assess if a plan will be sufficient in lighting a space while not creating a lighting disturbance to the surrounding properties

**Porte-Cochere:** a covered entrance large enough for vehicles to pass through  
**Rendering:** a graphic (developed by a licensed professional) depicting a proposed structure in an existing context



**Redevelopment:** construction, policies, or programs with the overall process of improving upon existing sites or structures

**Right of Way (R.O.W.):** publicly owned lands, typically with roadway, sidewalks, etc., which is often immediately adjacent to a property line.

**Setback:** means the mean horizontal distance between the front line of the building (excluding steps and unenclosed porches of not more than sixteen (16) square feet) and the front line of the lot.

**Sign, Awning:** a sign that is painted, silk-screened, stitched on, imprinted on, or otherwise applied directly onto the fabric of the awning.

**Sign, Canopy:** a sign which is suspended from, attached to, supported from or forms a part of a canopy.

**Sign, Freestanding:** a sign supported by a sign structure secured in the ground and which is wholly independent of any building, fence, vehicle or object other than the sign structure for support. This sign type is prohibited on King Street (see Pedestrian Pole Sign for residential typology).

**Sign, Hanging:** a sign that is placed under a canopy, awning or arcade, perpendicular to the building façade, and not intended to be seen by motorists.

**Sign, Pedestrian Pole Sign:** a sign supported by one or two poles in the ground fully independent of any building, fence, vehicle, or object, not to exceed the dimensions included in the King Street Design Standards. This is only for the residential typology.

**Sign, Projecting:** a sign which is affixed and displayed perpendicular to any building wall or structure with a bracket

**Sign, Wall** – a sign that is attached flat to a building wall.

**Sign, Window** – a permanent sign affixed to, or painted on either face of a window or glass door that leads to the exterior of the building. Signs suspended within three (3) feet behind the glass are also deemed window signs.

**Two-Story:** having two floors or levels



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## APPENDIX C: STYLE OVERVIEW

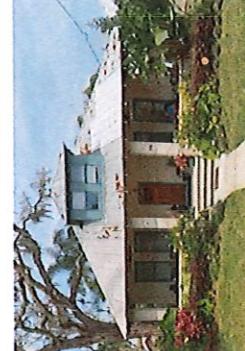
### MASONRY VERNACULAR - RESIDENTIAL

#### BACKGROUND

Masonry Vernacular is the most dominant architectural style in the King Street district. The Masonry Vernacular buildings, like the Frame Vernacular buildings, do not follow a particular style. For residential structures, Frame and Masonry Vernacular are very similar in terms of massing and proportions. The main difference between the two is that the Masonry Vernacular uses masonry material (formed work or brick/block) as the main structural support and may have a stucco façade for the exterior fabric. In the early decades of the century, wood frame houses were sometimes disguised as masonry by applying stucco cladding over the wooden studs. Conversely, some masonry vernacular homes have recently been covered with wood or vinyl siding. The following are the characteristics seen mostly on residential examples of the Masonry Vernacular. While new Masonry Vernacular residential buildings are not expected or encouraged in the area, the following characteristics are provided to aid in the preservation of the existing vernacular homes.



81 FRANCIS STREET



96 SOUTH STREET

#### BUILDING PLAN

1. Rectangular or L-shaped.
2. Garages and carports are secondary to the main building/facade. They are either recessed from main façade or detached and placed in the rear.
3. Normally one-car space only. Very few examples have a double car garage, and in those cases, there are two doors, instead of a double-wide door.

#### FOUNDATION



84 SOUTH STREET

#### FAÇADE



82 SOUTH STREET

1. Brick or concrete footings.
2. Vertically oriented.
3. Simple entrance.
3. Three-bay or five-bay pattern.



## PORCHES

1. Wide front porches.
2. Full width, wrap around, or fill in between the "L".
3. Commonly elevated 2'-6" to 3'-6" above grade.
4. Columns are typically narrow and made of wood with few details; usually spaced evenly across the façade.
5. If railings used, they were wooden with 1 1/4 inch square balustrades.

## MATERIALS

1. Painted block; sometimes has a rough stucco finish.
2. Brick chimneys sometimes finished with stucco.

## ROOF

1. Front, side and cross gable. Sometimes hip roof is used.
2. Main roofs are steeply pitched (8:12 to 12:12).
3. Porch roofs have a low pitch (2:12 to 4:12).
4. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
5. Composition or metal shingles, V-crimp metal roof materials.
6. Brick or stucco chimneys, typically on the gable end walls.
7. Dormers were sometimes used on 1 1/2 story homes.

## DOORS

1. Transoms, fanlights are common.
2. French doors and simple balconies are used occasionally.
3. Door trim projects out from wall cladding, approximately 3/4 inch. Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide.
4. Doors contain recessed wood panels.



## WINDOWS

1. Windows are typically single, tall and narrow.
2. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1). Awning and jalousie/louvered windows used in later construction (mid-century).
3. Transoms, fanlights and attic louvers are common.
4. Second floor windows align with first floor windows.
5. Windows are spaced evenly along all facades.
6. Window trim projects out from wall cladding, approximately  $\frac{3}{4}$  inch. Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide.
7. Shutters are not typically used. When used, they should be paneled and should be either operable or proportioned to look operable.

## COLORS

1. Colors range in the pastel family from light yellow and green to gray and brown.

## ORNAMENTATION

1. Detailing is simple, usually consisting of cast concrete.

## FENCES

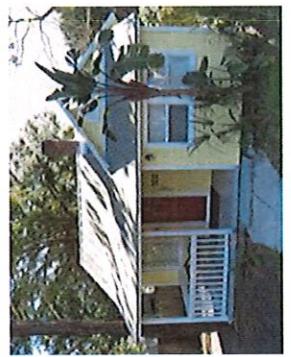
1. Wooden fences are most common.
2. Picket fences with various level of ornamentation, consistent with the main building.



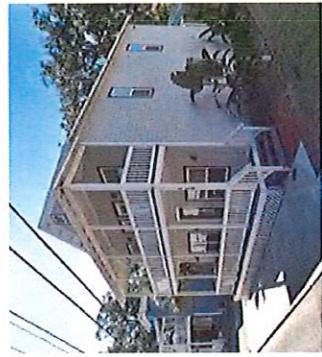
## APPENDIX C: STYLE OVERVIEW



79 LINCOLN STREET



93 LINCOLN STREET



114 MARTIN LUTHER KING  
AVENUE

### FRAME VERNACULAR

#### BACKGROUND

Frame Vernacular is one of the most dominant architectural styles in the Lincolnville neighborhood. Vernacular architecture refers to a regional or "folk" architecture, built with local materials and local labor, without formal plans, and for the most economical price at the time. Vernacular, while considered a style, does not belong to any particular formal architectural style, rather its design reflects a trend toward simplicity. Some Frame Vernacular buildings have one story, others have two; while some have front gable roofs, others may have side-gable or cross gable roofs. Most Frame Vernacular buildings in the district are residential homes; however, the style is often used on non-residential buildings as well.

#### BUILDING PLAN

1. Rectangular or L-shaped.
2. Garages and carports are secondary to the main building/facade. They are either recessed from main façade or detached and placed in the rear. Sites that have been converted to commercial or office use have demolished the garage (if one was present in the rear) and replaced it with surface parking.

#### FOUNDATION

1. Brick, tabby or concrete block piers.
2. Spaces between piers left open.
3. Lattice infill between piers is common.

#### FACADES

1. Vertically oriented.
2. Three-bay or five-bay pattern.
3. Simple entrance.



## COLORS

1. Colors range in the pastel family from light yellows and grays to light pastel colors.

## PORCHES

1. Wide front porches.
2. Full width, wrap around, or fill in between the "L".
3. Commonly elevated 2'-6" to 3'-6" above grade.
4. Columns are typically narrow and made of wood with few details; usually spaced evenly across the façade.
5. If railings used, they were wooden with 1 1/4 inch square balustrades.

## ROOF

1. Front, side and cross gable.
2. Main roofs are steeply pitched (8:12 to 12:12).
3. Porch roofs have a low pitch (2:12 to 4:12).
4. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
5. Asbestos, composition or metal shingles, V-crimp metal.
6. Brick or stucco chimneys, typically on the gable end walls.
7. Dormers sometimes used on 1 1/2 story homes.

## DOORS

1. Transoms, fanlights are common.
2. Door trim projects out from wall cladding, approximately 3/4 inch. Jamb trim min. 4" wide, and headers (lintel) are normally 6" wide.
3. Doors contain recessed wood panels.

## WINDOWS

1. Windows are single, tall and narrow.
2. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1). Jalousie used in later construction (mid-century).
3. Transoms, fanlights and attic louvers are common.



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4. Second floor windows align with first floor windows.
5. Houses built in the early 1900s had wood windows. Aluminum and vinyl windows have been used more recently.
6. Windows are spaced evenly along all facades.
7. Window trim projects out from wall cladding, approximately  $\frac{3}{4}$  inch. Jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
8. Shutters are not typically used. If used, they should be paneled and should be either operable or proportioned to look operable.

## MATERIALS

1. Horizontal wood siding; less common are wood shingles and board and batten. Vinyl and fiber cement siding used more recently.

## ORNAMENTATION

1. Sparse, limited to ornamental woodwork.

## FENCES

1. Wooden fences are most common.
2. Picket fences with various level of ornamentation, consistent with the main building.



## APPENDIX C: STYLE OVERVIEW



111 MARTIN LUTHER KING AVENUE



97 MARTIN LUTHER KING AVENUE

## TRADITIONAL COMMERCIAL

### BACKGROUND

Non-residential Masonry Vernacular buildings outnumber all other styles in the King Street district. As noted above, Masonry Vernacular buildings do not follow a particular style, but rather reflect local conditions and trends. The non-residential Masonry vernacular buildings in the district can be classified based on the type of use they serve.

The **one and two-story commercial masonry vernacular buildings** are encouraged in the King Street district. See style characteristics below. There are two examples of **multi-story masonry vernacular buildings** in the district. Neither one, however, has commercial use on the ground floor.

In more recent years, a different type of commercial vernacular has emerged – buildings housing auto-oriented uses. The **auto-oriented masonry vernacular buildings** typically have the customer parking area in front of the building. And even when the building is located close to the street, the entrance to the building faces the parking lot on the side of the building. The windows on this type of building are much smaller than the commercial buildings discussed above. There is one example in the district of a masonry vernacular building, with a large setback and porte cochere, that used to be a service station but today serves as a kart, scooter and bike rental. This type of building is not appropriate in the King Street Entry Corridor District.

The **institutional masonry vernacular buildings** in the King Street district date from different very periods of time, and do not represent a particular trend. The older examples do project a more monumental presence with their architectural detail and vertical orientation and are oriented to the street.

Masonry vernacular buildings sometimes adopt architectural elements from other styles but not in such a strong manner as to classify it under that style. While it is acceptable to infuse a stylistic flare to the commercial buildings, the main character or typology of such buildings shall follow closely the description provided above for the one, two or multi-story masonry vernacular buildings.



## BUILDING PLAN

1. The building is typically oriented to the street, placed close to the sidewalk;
2. The ground floor is used for retail or restaurant use and the second floor may house apartment units or office space;
3. Parking is located in the rear of the site or, in some cases, to the side of the building.

## FOUNDATION

1. Slab or continuous wall (concrete or masonry units)

## FAÇADE/FRONTAGE ELEMENTS

1. The ground floor façade includes one or several store-fronts with glass display windows and doors and low bulkhead;
2. Awnings and canopies are commonly used in the one-story examples. Galleries and canopies (sometimes projecting over the sidewalk) are seen in the two-story examples.

## COLORS

1. Colors range from pastels to earth colors;
2. Contrasting base and trim colors.

## ROOF

1. Flat, hip, or gable pitched roof;
2. Parapets are used to hide the main roof;

## DOORS

1. Recessed storefront glass doors are common;
2. Wood or metal door frames.



## WINDOWS

1. Fixed plate glass display windows and doors on the first floor.
2. Upper floor windows are typically single, tall and narrow; some may include arches or decorative brick work trim.
3. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1).
4. Windows are spaced evenly along all facades.
5. Upper story window trim projects out from wall cladding, approximately  $\frac{3}{4}$  inch. Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide.
6. Shutters are not typically used. When used, they should be paneled and should be either operable or proportioned to look operable.

## MATERIALS

1. Exposed brick, painted block; sometimes has a rough stucco finish.

## ORNAMENTATION

1. Detailing is simple, usually consisting of cast concrete.

## SIGNS

1. Business signs typically include wall or projecting signs complementing the design of the façade;



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## APPENDIX D: LANDSCAPE PLANT LIST

Botanical Name	Common Name	Botanical Name	Common Name
<b>Accent Trees and Palms</b>			
<b>Street Trees</b>			
<i>Quercus laurifolia</i>	Laurel Oak	<i>Acer rubrum</i>	Red Maple
<i>Quercus virginiana</i>	Live Oak	<i>Bambusa spp.</i>	Bamboo (clumping)
<i>Quercus shumardii</i>	Shumard Oak	<i>Butia capitata</i>	Pindo Palm
<i>Platanus occidentalis</i>	Sycamore	<i>Cercis canadensis</i>	Redbud
<i>Taxodium distichum</i>	Bald Cypress	<i>Ilex cassine</i>	Dahoon Holly
<i>Ulmus parvifolia</i>	Drake Elm	<i>Ilex opaca</i>	American Holly
		<i>Ilex vomitoria</i>	Yaupon Holly
		<i>Juniperus silicicola</i>	Southern Red Cedar
		<i>Juniperus virginiana</i>	Eastern Red Cedar
		<i>Lagerstroemia indica</i>	Crape Myrtle
		<i>Ligustrum spp.</i>	Ligustrum
		<i>Liquidambar styraciflua</i>	Sweetgum
		<i>Livistonia chinensis</i>	Chinese Fan Palm
		<i>Magnolia grandiflora</i>	Southern Magnolia
		<i>Myrica cerifera</i>	Wax Myrtle
		<i>Phoenix recinata</i>	Senegal Date Palm
		<i>Prunus austifolia</i>	Chickasaw Plum
		<i>Prunus calleryana</i>	Bradford Pear
		<i>Prunus caroliniana</i>	Cherry Laurel
		<i>Trachycarpus fortunei</i>	Windmill Plum
<b>Street Palms</b>			
<i>Phoenix canariensis</i>	Canary Island Date Palm		
<i>Phoenix dactylifera</i>	Date Palm		
<i>Phoenix sylvestris</i>	Sylvestris Date Palm		
<i>Sabal palmetto</i>	Sabal Palm		
<i>Washingtonia robusta</i>	Washington Palm		



Botanical Name	Common Name	Common Name
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## Hedges\*, Shrubs\*, Cycads and Palms

(\*To be used as a screen for parking lots.)

Botanical Name	Common Name	Common Name
<b>Hedges*, Shrubs*, Cycads and Palms</b>		
<i>Abelia grandiflora*</i>	Abelia	Oleander
<i>Camellia japonica</i>	Camellia	Split Leaf Philodendron
<i>Camellia sasanqua</i>	Sasanqua Camellia	Fraser's Photinia
<i>Cassia spp.</i>	Cassia	Pittosporum
<i>Cortaderia selloana</i>	Pampas Grass	Plumbago
<i>Crinum spp.</i>	Crinum Lily	Podocarpus
<i>Eleagnus pungens*</i>	Silverthorn	Firethorn Pyracantha
<i>Eragrostis spectabilis</i>	Purple Lovegrass	Indian Hawthorn
<i>Feijoa sellowiana*</i>	Feijoa	Needle Palm
<i>Galphimia glauca</i>	Thryallis	Indica Azaleas
<i>Gardenia jasminoides</i>	Gardenia	Dwarf Azaleas
<i>Hibiscus spp.</i>	Hibiscus	Kurume Azaleas
<i>Ilex cassine</i>	Dahoon Holly	Saw Palmetto
<i>Ilex cornuta*</i>	Chinese Holly	Cordgrass
<i>Ilex cornuta* "Burfordi"</i>	Burford Holly	American Arborvitae
<i>Ilex crenata</i>	Japanese Holly	Sweet Viburnum
<i>Ilex vomitoria "nana"</i>	Dwarf Yaupon Holly	Sandankwa Viburnum
<i>Illicium anisatum*</i>	Star Anise	Laurustikus Viburnum
<i>Illicium parviflorum*</i>	Yellow Anise	Spineless Yucca
<i>Juniperus chinensis*</i>	Chinese Juniper	Bear Grass
<i>Juniperus spp.</i>	Juniper	Coontie
<i>Lantana camara</i>	Lantana	Cardboard Plant
<i>Ligustrum japonicum*</i>	Japanese Privet	
<i>Magnolia grandiflora "Little Gem"</i>	Little Gem Magnolia	
<i>Muhlenbergia capillaris</i>	Muhly Grass	
<i>NaNdina domestica</i>	Heavenly Bamboo	



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Botanical Name	Common Name	Common Name
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## Groundcovers

<i>Aspidistra elatior</i>	Cast Iron Plant
<i>Catharanthus roseus</i>	Periwinkle, Vinca
<i>Cyrtomium falcatum</i>	Holly Fern
<i>Dicteis iridioides</i>	African Iris
<i>Ficus pumila</i>	Creeping Fig
<i>Gaillardia pulchella</i>	Gaillardia
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Gerbera jamesonii</i>	Gerbera Daisy
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Helianthus debilis</i>	Day Lilly
<i>Ipomoea stolonifera</i>	Beach Sunflower
<i>Iris virginica</i>	Beach Morning Glory
<i>Lantana depressa</i>	Blue Flag
<i>Lantana montevidensis</i>	Yellow Pineland Lantana
<i>Liriope spp.</i>	Weeping Lantana
<i>Lonicera japonica "Halliana"</i>	Lily Turf
<i>Nandina domestica "nana"</i>	Hall's Honeysuckle
<i>Nephrolepis exaltata</i>	Dwarf Heavenly
<i>Ophiopogon japonicus</i>	Sword or Boston Fern
<i>Pittosporum tobira "nana"</i>	Mondo Grass
<i>Rudbeckia hirta</i>	Dwarf Pittosporum
	Black Eyed Susan
	Confederate Jasmine
	Star Jasmine
	Society Garlic
	Bigleaf Periwinkle
	Coontie

## Groundcovers

<i>Cast Iron Plant</i>	Cast Iron Plant
<i>Periwinkle, Vinca</i>	Periwinkle, Vinca
<i>Holly Fern</i>	Holly Fern
<i>African Iris</i>	African Iris
<i>Creeping Fig</i>	Creeping Fig
<i>Gaillardia pulchella</i>	Gaillardia
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Gerbera jamesonii</i>	Gerbera Daisy
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Helianthus debilis</i>	Day Lilly
<i>Ipomoea stolonifera</i>	Beach Sunflower
<i>Iris virginica</i>	Beach Morning Glory
<i>Lantana depressa</i>	Blue Flag
<i>Lantana montevidensis</i>	Yellow Pineland Lantana
<i>Liriope spp.</i>	Weeping Lantana
<i>Lonicera japonica "Halliana"</i>	Lily Turf
<i>Nandina domestica "nana"</i>	Hall's Honeysuckle
<i>Nephrolepis exaltata</i>	Dwarf Heavenly
<i>Ophiopogon japonicus</i>	Sword or Boston Fern
<i>Pittosporum tobira "nana"</i>	Mondo Grass
<i>Rudbeckia hirta</i>	Dwarf Pittosporum
	Black Eyed Susan
	Confederate Jasmine
	Star Jasmine
	Society Garlic
	Bigleaf Periwinkle
	Coontie

## Vines

<i>Clematis dioscoreifolia</i>	Japanese Clematis
<i>Clematis virginiana</i>	Sweet Autumn Clematis
<i>Glechoma hederacea</i>	Carolina Jasmine
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Ipomea stolonifera</i>	Beach Morning Glory
<i>Jasminum multiflorum</i>	Downy Jasmine
<i>Jasminum sambac</i>	Arabian Jasmine
<i>Lonicera japonica "Halliana"</i>	Hall's Honeysuckle
<i>Lonicera sempervirens</i>	Coral Honeysuckle
<i>Parthenocissus quinquefolia</i>	Virginia Creeper
<i>Trachelospermum asiaticum</i>	Confederate Jasmine
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Wisteria sinensis</i>	Chinese Wisteria

## Turfgrass

<i>Bahia Grass</i>
<i>Bermuda Grass</i>
<i>Centipede Grass</i>
<i>St. Augustine Grass</i>
<i>Zoysia Grass</i>

## PLANTS NOT LISTED

All native plantings as defined by UF/IFAS or USDA to northeast Florida may be used in addition to this list. All plantings defined as "Florida Friendly" and suited to northeast Florida's climate by UF/IFAS may also be used. Refer to the Florida-Friendly Landscape website for more assistance: <http://fn.ifas.ufl.edu/>



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## APPENDIX E: RECOMMENDED PAINT COLORS

Paint colors are arranged by Architectural Style and Years. Paint names and manufacturer numbers are listed to ensure correct paints are purchased. Manufacturers referenced are Sherwin-Williams (SW #####) and Benjamin Moore (BM #####). Additional information can be found in the City of St Augustine AGHP's Guide to Paint Colors and Placement.

### EARLY VICTORIAN, CA. 1840-1870

	<b>Downing Sand</b> SW 2822		<b>Downing Stone</b> SW 2821		<b>Downing Yellow</b> SW 6696		<b>Downing Cream</b> SW 6127		<b>Renwick Yellow</b> SW 6381		<b>Renwick Golden Oak</b> SW 2824		<b>Renwick Heather</b> SW 2818		<b>Renwick Golden</b> SW 2815		<b>Downing Olive</b> SW 2819		<b>Downing Earth</b> SW 2820
	<b>Renwick Beige</b> SW 2805		<b>Tiffany Bronze</b> SW 2806		<b>Rookwood Brown</b> SW 2806		<b>Rookwood Medium Brown</b> SW 2807		<b>Rookwood Dark Brown</b> SW 2808		<b>Rookwood Clay</b> SW 2823		<b>Rookwood Antique Gold</b> SW 2814		<b>Rookwood Dark Green</b> SW 2816		<b>Rookwood Dark Earth</b> SW 2817		
	<b>Downing Sand</b> SW 2822		<b>Downing Stone</b> SW 2821		<b>Downing Yellow</b> SW 6696		<b>Downing Cream</b> SW 6127		<b>Renwick Yellow</b> SW 6381		<b>Renwick Golden Oak</b> SW 2824		<b>Renwick Heather</b> SW 2818		<b>Renwick Golden</b> SW 2815		<b>Downing Olive</b> SW 2819		<b>Downing Earth</b> SW 2820
	<b>Renwick Beige</b> SW 2805		<b>Tiffany Bronze</b> SW 2806		<b>Rookwood Brown</b> SW 2806		<b>Rookwood Medium Brown</b> SW 2807		<b>Rookwood Dark Brown</b> SW 2808		<b>Rookwood Clay</b> SW 2823		<b>Rookwood Antique Gold</b> SW 2814		<b>Rookwood Dark Green</b> SW 2816		<b>Rookwood Dark Earth</b> SW 2817		

### LATE VICTORIAN, CA. 1870-1890

	<b>Rookwood Clay</b> SW 2823		<b>Rookwood Antique Gold</b> SW 2814		<b>Rookwood Brown</b> SW 2806		<b>Rookwood Medium Brown</b> SW 2807		<b>Rookwood Dark Brown</b> SW 2808		<b>Rookwood Dark Green</b> SW 2816		<b>Rookwood Dark Earth</b> SW 2817						
	<b>Downing Sand</b> SW 2822		<b>Downing Stone</b> SW 2821		<b>Downing Yellow</b> SW 6696		<b>Downing Cream</b> SW 6127		<b>Renwick Yellow</b> SW 6381		<b>Renwick Golden Oak</b> SW 2824		<b>Renwick Heather</b> SW 2818		<b>Renwick Golden</b> SW 2815		<b>Downing Olive</b> SW 2819		<b>Downing Earth</b> SW 2820



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## APPENDIX D: RECOMMENDED PAINT COLORS

### LATE VICTORIAN, CA. 1870-1890

Tiffany Palm Green SW 6397	Moss Green SW 6417		Rookwood Olive SW 2843	Dark Olive SW 2846	Rookwood SW 2802	Tiffany Olive SW 2815

### BOTH EARLY AND LATE VICTORIAN, CA. 1840-1900

Light Gray Stone SW 7016	Dark Gray Stone SW 7046	Medium Gray Stone SW 7017		Light Slate SW 7072	Medium Slate SW 7074	Dark Slate SW 7075			Rookwood Dark Red SW 2801	Rookwood Terra Cotta SW 2803	

Medium Brownstone SW 6095	Dark Brownstone SW 6039		Medium Brownstone SW 6095	Rookwood Dark Red SW 2801	Rookwood Red SW 2802	Rookwood Terra Cotta SW 2803			Roycroft Bronze Green SW 2846	Roycroft Bronze Green SW 2846



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## APPENDIX D: RECOMMENDED PAINT COLORS

### BOTH EARLY AND LATE VICTORIAN, CA. 1840-1900

<b>Light Drab</b> SW 6149	<b>Medium Drab</b> SW 6150	<b>Dark Drab</b> SW 6151	<b>Rookwood</b> <b>Shutter Green</b> SW 2809	<b>Rookwood</b> <b>Sash Green</b> SW 2810	<b>Rookwood</b> <b>Blue Green</b> SW 2811	<b>Rookwood</b> <b>Jade</b> SW 2812	
<b>Dark Blue Green</b> SW 6474	<b>Rookwood</b> <b>Antique Gold</b> SW 2814	<b>Downing Straw</b> SW 2813	<b>Rookwood</b> <b>Amber</b> SW 2817	<b>Old Gold</b> SW 6384	<b>Light Olive</b> SW 2842		
<b>Dark Olive</b> SW 2843	<b>Powder Blue</b> SW 2863	<b>Olive Yellow</b> SW 6410	<b>Colonial Revival</b> <b>Gray</b> SW 2832	<b>Colonial Revival</b> <b>Ivory</b> SW 2833	<b>Colonial Revival</b> <b>Yellow</b> SW 2865	<b>Colonial Revival</b> <b>Colonial Revival</b> SW 2835	



City of St. Augustine  
Lincolnville CRA Architectural Guidelines

## APPENDIX D: RECOMMENDED PAINT COLORS

### COLONIAL AND CLASSICAL REVIVAL, CA. 1890-1930

#### BODY AND TRIM

<b>Classical White</b> SW 2829	<b>Colonial Revival Ivory</b> SW 2833	<b>Colonial Revival Yellow</b> SW 2865	<b>Colonial Gold</b> SW 2831	<b>Colonial Revival Blue</b> SW 6227	<b>Colonial Revival Sea Green</b> SW 2825	<b>Colonial Revival Green Stone</b> SW 2826
<b>Colonial Revival Stone</b> SW 2827	<b>Colonial Revival Tan</b> SW 2813	<b>Colonial Revival Gray</b> SW 2813				
				<b>TRIM ONLY</b>		
					<b>Rookwood</b> SW 2809	<b>Renwick Fence</b> SW 6194
					<b>Shutter Green</b> SW 6194	



City of St. Augustine  
Lincolnvile CRA Architectural Guidelines

## APPENDIX D: RECOMMENDED PAINT COLORS MEDITERRANEAN INFLUENCE, CA. 1890-1940

BODY (STUCCO)		TRIM ONLY	
Bagel SW 6114	Interactive Cream SW 2859	Quartersawn Oak SW 2836	Renwick Beige SW 2804
Beige SW 2859	Dark Brown SW 2808	Rookwood Clay SW 2823	Rookwood SW 2824
Universal Khaki SW 6150	Downing Earth SW 2820	Sycamore Tan SW 2855	Shutter Green SW 2839
Golden Oak SW 2846	Amber SW 2817	Rookwood SW 2820	Rookwood SW 2820



## APPENDIX D: RECOMMENDED PAINT COLORS

### BUNGALOW, CA. 1890-1940

#### PAINT SELECTION INSTRUCTIONS:

In the paint selection process usually two to five (2 to 5) colors total consisting of a “family” of colors and an accent color (complementary or contrasting) color that may or may not be trim color are selected:

Body Color(s): one main color, can have second compatible color for gable or second floor body.

Major Trim: contrasting to main body, for corner boards, porch railings, steps, window trim (not sash), and door trim boards.

Minor Trim: Doors, porch parts (posts, spindles) and decorative trim next to major trim

Sash (moveable parts of window): white, light/dark body or accent color

Accent: highlighting architectural features, brackets, doors, posts, accent boards, etc.

Note:

White can be used for body, major or minor trim, window sashes or as an accent.

Black can be used for minor trim, window sashes, or as an accent ONLY.

Colors may be selected based on compatible family pairings. See color guide below and on following pages.

#### FAMILY 1 (compatible with Family 2)



**Hunt Club**  
SW 6468



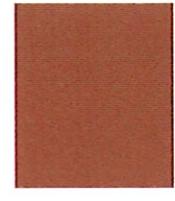
**Dried Thyme**  
SW 6186



**Plymouth Green**  
SW 2852



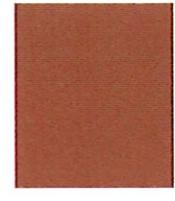
**Royston Vellum**  
SW 2833



**Birdseye Maple**  
SW 2834



**Downing Straw**  
SW 2813



**Rookwood Terracotta**  
SW 2803



## APPENDIX D: RECOMMENDED PAINT COLORS

### BUNGALOW, CA. 1890-1940

#### FAMILY 1 (compatible with Family 2)



Rookwood  
Amber  
SW 2817

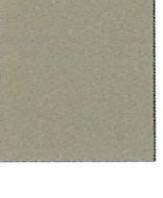


New Colonial  
Yellow  
SW 2853

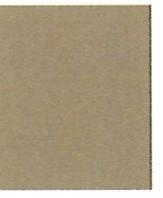
#### FAMILY 2 (compatible with Family 1, 3, or 4)



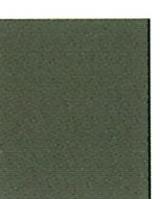
Downing Earth  
SW 2820



Sycamore Tan  
SW 2855



Bunglehouse  
Gray  
SW 2845



Renwick Clay  
SW 2823



Rookwood  
Brown  
SW 2806



Rookwood  
Medium Brown  
SW 2807



Rookwood  
Dark Brown  
SW 2808



Rookwood  
Red  
SW 2802



Rookwood  
Dark Green  
SW 2816

Rookwood  
Dark Green  
SW 2816



Quartersawn  
Oak  
SW 2836



## APPENDIX D: RECOMMENDED PAINT COLORS

### BUNGALOW, CA. 1890-1940

#### PAINT SELECTION INSTRUCTIONS:

In the paint selection process usually two to five (2 to 5) colors total consisting of a "family" of colors and an accent color (complementary or contrasting) color that may or may not be trim color are selected:

Body Color(s): one main color, can have second compatible color for gable or second floor body.

Major Trim: contrasting to main body, for corner boards, porch railings, steps, window trim (not sash), and door trim boards.

Minor Trim: Doors, porch parts (posts, spindles) and decorative trim next to major trim

Sash (moveable parts of window): white, light/dark body or accent color

Accent: highlighting architectural features, brackets, doors, posts, accent boards, etc.

#### Note:

White can be used for body, major or minor trim, window sashes or as an accent.

Black can be used for minor trim, window sashes, or as an accent ONLY.

Colors may be selected based on compatible family pairings. See color guide below and on following pages.



City of St. Augustine  
Lincolnville CRA Architectural Guidelines

## APPENDIX D: RECOMMENDED PAINT COLORS

### BUNGALOW, CA. 1890-1940

#### FAMILY 3 (compatible with Family 2 or 4)

Renwick Rose Beige SW 284	Beige SW 2859	Soft Apricot SW 6352	Kings Bakery Coral BM 040	Rookwood Terracotta SW 2803	Fireweed SW 6328

#### FAMILY 4 (compatible with Family 2 or 3)

Downing Stone SW 2821	Oyster Bay SW 6206	Downing Slate SW 2819	Glamour SW 6031	Vaguely Mauve SW 6015	River Rouge SW 6026	De Mesa Pink BM 038
Renwick Beige SW 2805	Rainstorm SW 6230	Rainstorm SW 6230	Rainstorm SW 6230	Rainstorm SW 6230	Rainstorm SW 6230	Rainstorm SW 6230



City of St. Augustine  
Lincolnville CRA Architectural Guidelines

## APPENDIX D: RECOMMENDED PAINT COLORS

### CRAFTSMAN, CA. 1910-1940

	<b>Roycroft</b> <b>Vellum</b> SW 2833		<b>Birdseye Maple</b> <b>Brown</b> SW 2834		<b>Craftsman</b> <b>Brown</b> SW 2836		<b>Quartersawn</b> <b>Oak</b> SW 2837		<b>Hammered</b> <b>Silver</b> SW 2840		<b>Roycroft Brass</b> SW 2843		<b>Roycroft Suede</b> SW 2842		<b>Weathered</b> <b>Shingle</b> SW 2841		<b>Roycroft</b> <b>Mist</b> SW 2844		<b>Aurora Brown</b> SW 2847		<b>Bunglehouse</b> <b>Gray</b> SW 2845		<b>Roycroft</b> <b>Bottle Green</b> SW 2848		<b>Polished</b> <b>Mahogany</b> SW 2838		<b>Roycroft</b> <b>Bronze Green</b> SW 2846
	<b>Roycroft</b> <b>Bottle Green</b> SW 2847		<b>Roycroft</b> <b>Pewter</b> SW 2848		<b>Polished</b> <b>Mahogany</b> SW 2838		<b>Roycroft</b> <b>Bronze Green</b> SW 2846																				



## APPENDIX D: RECOMMENDED PAINT COLORS

### POST WAR ROMANTICISM, CA. 1945-1970

<b>Peace Yellow</b> SW 2857	<b>Harvest Gold</b> SW 2858	<b>Fairfax Brown</b> SW 2856	<b>Chelsea Gray</b> SW 2850
<b>Sage</b> SW 2860	<b>Beige</b> SW 2859	<b>Avocado</b> SW 2861	<b>Westchester Gray</b> SW 2849
<b>New Colonial Yellow</b> SW 2853	<b>Powder Blue</b> SW 2863	<b>Burma Jade</b> SW 2862	<b>Sycamore Tan</b> SW 2855
<b>Caribbean Coral</b> SW 2854	<b>Statford Blue</b> SW 2864	<b>Plymouth Green</b> SW 2852	<b>Sage Green Light</b> SW 2851



## GUIDELINES FOR INFORMATIONAL PURPOSES

These voluntary guidelines are intended for informational purposes only at this time.

We hope that you consider incorporating them in your renovations or new construction to honor the architectural history of Lincolnville.



City of St. Augustine  
Lincolnville CRA Architectural Guidelines

**FINAL DRAFT FOR BOARD REVIEW**

JULY 10, 2023

Prepared by



LANDSCAPE ARCHITECTURE · PLANNING

**Marquis Latimer + Halback, Inc.**

34 Cordova Street, Suite A  
St. Augustine, FL 32084  
Jeremy Marquis, RLA, ASLA, LEED AP BD+C, Project Manager  
[jeremy@halback.com](mailto:jeremy@halback.com)

**LES THOMAS**  
ARCHITECT

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Open City  
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## Lincolnville Community Redevelopment Area Architectural Guidelines QUICK REFERENCE

### Preserving Lincolnville + Maintaining

#### a Vibrant Neighborhood

Lincolnville is a neighborhood with rich history, especially regarding the African American settlements within the City of St. Augustine. In fact, Lincolnville and the City of St. Augustine have the oldest record of continuous African American settlement in the United States dating from Pedro Menéndez's founding of the city in 1565 to the present day.

In addition to Lincolnville's cultural legacy, Lincolnville has an incredible built history being "...the densest concentration and most numerous examples of historic structures." (NRHD Application, page 48)

The buildings in Lincolnville range from Frame Vernacular, Masonry Vernacular, Frame/Masonry Vernacular, Burgadow, Gothic Revival, Mediterranean Revival, Italianate, Queen Anne, Tudor, Victorian Era, and potentially Pre-Colonial archaeological footprints. The cultural and built history of Lincolnville are protected by the National Register of Historic Places designation, but it is incumbent on all homeowners, property owners, and the community to care for these treasures.

These voluntary guidelines are intended for informational purposes only at this time. We hope that you consider incorporating them in your renovations or new construction to honor the architectural history of Lincolnville.

#### Quick Reference: Focal Features

Note that two of the most important architectural features are the front porch and appropriate roof pitch (angle and shape of roof). The materials of the siding and window / fenestration appearance are both of note. This quick reference guide is designed to provide an easy overview. Also reference the full Lincolnville CRA Architectural Guidelines to learn more.

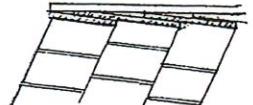
**Full Guidelines: Please visit [www.CityStAugCRA.com](http://www.CityStAugCRA.com)**

## SIDING

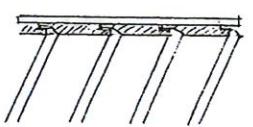
Horizontal siding is common throughout Lincolnville. Less common are wood shingles and board and batten.

Consider the following:

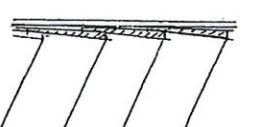
1. Materials may be wood or cementitious panels. Vinyl is not appropriate for Lincolnville.
2. Smaller profiles are preferred, such as 6" exposure for horizontal siding.
3. Smooth finish is preferred.



Shingles



Drop Channel  
(Novelty)



Lap

## FENESTRATION & GLAZING

### (WINDOWS)

Design aspects of fenestration include:

1. Windows generally are double-hung, rectangular windows.
2. Windows can be single or multi-pane (6/6, 3/1, 2/2 or 1/1).
3. Trim projects out from wall cladding, approximately  $\frac{3}{4}$  inch, jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
4. Shutters are not typically used. If used, they should be panelled and should be either operable or proportioned to look operable.
5. Windows to be wood, fiberglass, vinyl, or vinyl clad. Aluminum is not recommended.
6. Mirrored glass or film is not recommended.

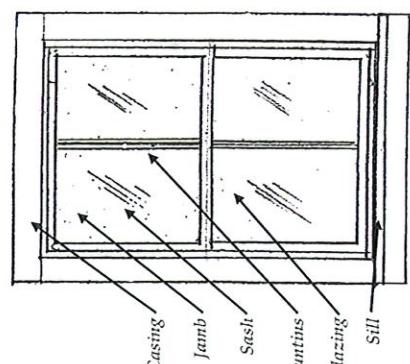
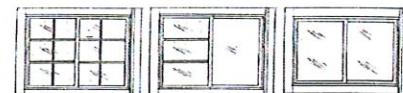
Window and fenestration layout should consider the following:

1. Second floor windows align with first floor windows.
2. Windows are spaced evenly along all facades.
3. Transoms, fanlights, and attic louvers are common.

## NEIGHBORHOOD SERVICES

Please contact Neighborhood Services / CRA for questions and assistance.  
904.209.4254 / [CRA@CityStAug.com](mailto:CRA@CityStAug.com)

Siding examples. Graphic by Les Thomas Architect and ML+H Team.



#### QUICK REFERENCE "BIG FOUR"

##### Front Porch

##### Roof Pitch

##### Siding

##### Windows



ST. AUGUSTINE  
COMMUNITY REDEVELOPMENT AGENCY  
CITY OF ST. AUGUSTINE, FLORIDA



Open City  
Architecture

## THE PORCH

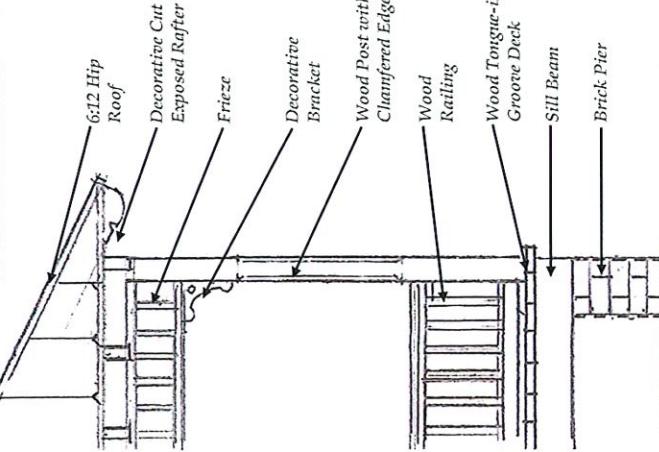
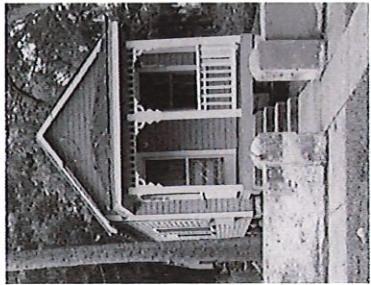
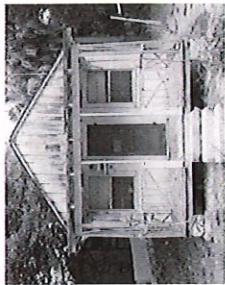
Street-facing porches are one of the primary identifying features of homes within Lincolnville and should be considered on all homes within the neighborhood. Restoration of porches that have been previously enclosed is encouraged.

Design aspects to be considered for the front porches may include:

1. Deep front porches. Specifically, the porch should be deep enough for chairs to comfortably sit under the covering.
  - a. Recommended depth is between 6' to 8'.
  - b. Minimum depth of porch to be 5'-6"
  - c. Measured from exterior wall of home to inside edge of railing or column.
2. Front porch locations may include full width, wrap around, or fill in between the "L". Full width porches are most typical.
3. Commonly elevated 2'-6" to 3'-6" above grade.
4. Decking is recommended to be wood (versus a composite). Many homes would have used tongue-and-groove (T&G).
5. Columns are typically narrow and made of wood with few details; usually spaced evenly across the facade.

- a. Details may include chamfered corners (square) or a turned (round) column.
- b. Brackets would have traditionally been included at the top of the column (under the frieze board).
- c. Bracket should be the same material (typically wood) as the home.
- d. Railings would have typically been wood.

- e. Options may have included:
  - a. 1 1/4 inch square pickets.
  - b. Custom balustrade panel with cutouts.
- f. Screening. Open air porches are traditional to Lincolnville and allow for the most unobstructed views of the architecture. Where screening is included, the following factors should be considered:
  - a. Screen should be placed behind (interior face) of the porch columns, railings, and other ornamental detailing.
  - b. Gray (versus charcoal) screening material is preferred as it allows the details to become more visible.
- g. Wood framed screen systems are preferred.



## ROOF

Preferred roof styles within Lincolnville include gable and hip.

### 1. Roof styles:

- a. **Gable:** Front, side, dutch, and cross gables are appropriate.
- b. **Hip:** Hip roofs, especially for more Bungalow style homes, are appropriate.

### 2. Pitch:

- a. Main roofs are traditionally steeply pitched (8:12 to 12:12). Minimum pitch of 6:12 recommended (5:12 with 20% dormer maximum, when allowed per City code for non-conforming lots).

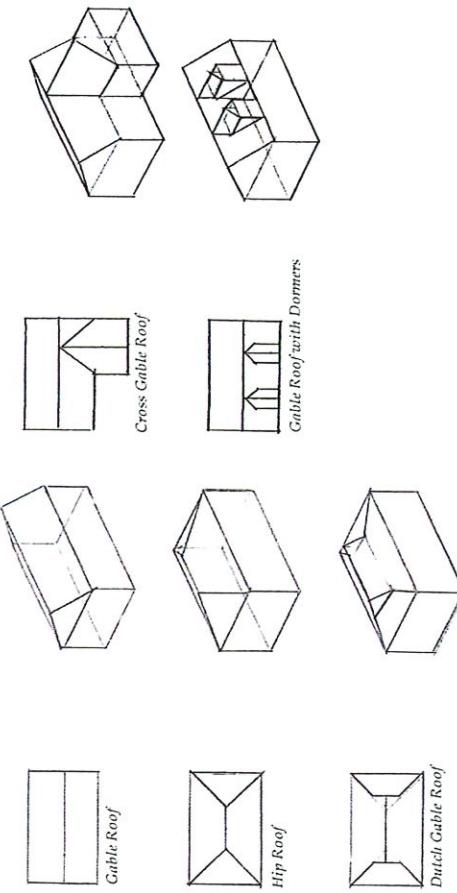
### 3. Rafter tails / ends:

- a. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
- b. Vinyl soffits are discouraged.

### 4. Materials:

- a. Asbestos (existing historic), composition or metal shingles, V-crimp metal.
- b. Brick or stucco chimneys, typically on the gable end walls.

ABOVE Examples of Roof Types. Images by ML+H.  
Below Examples of Roof Types in Plan and Aeronometric. Graphic by Les Thomas Architect and ML+H Team.



TOP PHOTOS Front porches. Images from Florida SP Lincolnville Historic District document.  
LEFT Typical porch components. Graphic from Les Thomas Architect and ML+H Team.



## CITY OF ST. AUGUSTINE

### MEMORANDUM

TO: The Honorable Chair and Board Members  
City of St. Augustine Community Redevelopment Agency

DATE: July 10, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;  
Dr. Martin Luther King Jr. Ave. Streetscape Project Boundary Extension  
Recommendation

Attached please find the notice from engineering professional, Earl Wills, project manager from the selected firm, Kimley-Horn. The attached notice outlines the benefits of extending the project boundary and including the additional roadway within the streetscape project scope.

As staff continues to work with the engineers at Kimley-Horn and Associates, information continues to evolve, and our findings help us to continue to develop the project scope in a way that would benefit residents and users of the improved streetscape for many years to come.

### **Recommendation:**

The MLK Streetscape Project is slated to be an overall improvement to the useability and visual aesthetics of Dr. Martin Luther King Jr. Avenue. The scope specifically calls to enhance pedestrian connectivity and safety by improving lighting, adding pedestrian bump outs, and high visibility crosswalks. The project will also incorporate traffic calming elements, undergrounding utilities, and introduce a street banner program. The original project scope includes the MLK corridor starting at Bridge Street and ending at the cross-section of Dr. Martin Luther King Jr. Avenue and South Street.

Internal staff conversations, conversations with individual Lincolnville Community Redevelopment Steering Committee Members, and the engineering professionals at the selected firm, Kimley Horn, continue to express the need to expand the project boundary past South Street, to the corridors end at Cerro Street. The attached professional engineering statement highlights cost-saving benefits and limited disruption to residents. Avoiding the need to return to the same project area and perform similar project tasks post the completion of the original phase. Expanding

Agenda Item for July 24, 2023

Community Redevelopment Agency Meeting;

Dr. Martin Luther King Jr. Ave. Streetscape Project Boundary Extension Recommendation

Page 2 of 2

the project boundary and incorporating the additional roadway also allows for the street to embody the complete street approach, where the street is planned, designed, operated, and maintained to enable safe, convenient, and comfortable travel access for all users, regardless of age, abilities, and mode of transportation.

City staff is asking the CRA Board to:

1. Make a motion to formally authorize the expansion of the MLK Streetscape Project boundary to include the additional roadway from South to Cerro Street. This is to say that streetscape improvements will include Dr. Martin Luther King Jr. Ave, beginning at Bridge Street and continuing to Cerro Street.



Jaime D. Perkins

Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: Engineer Statement.

# Kimley»Horn

July 11, 2023

Ms. Jaime Perkins, MPA, PMP  
City of St Augustine  
P.O. Box 210  
St Augustine, FL 32085

RE: *Dr Martin Luther King Jr. Avenue Streetscape.*

Dear Ms. Perkins

Kimley-Horn and Associates, Inc. has been working with the City of St Augustine and the Lincolnville Community Redevelopment Area Steering Committee to develop a conceptual streetscape design for Dr Martin Luther King Jr. Avenue through the Lincolnville community. As part of that conceptual streetscape design, we developed an improvement plan for the corridor based on input received from the community through public information meetings as well as from guidance provided by the Lincolnville Steering Committee. Through these community engagement efforts, a concept plan was approved by the steering committee which included the reconstruction of MLK Ave to provide the following general improvements:

- 1.) Two - 9ft wide travel lanes with an 8ft wide parking lane on one side of the roadway
- 2.) 6ft wide sidewalks along both sides of the roadway w/ ADA compliant ramps
- 3.) Decorative street lighting
- 4.) Landscape and Hardscape improvements (*historical signs, Lincolnville entry monument signs, aesthetic sidewalk treatments, etc.*)
- 5.) Undergrounding of overhead utility lines (FPL)
- 6.) Replacement of aging City of St Augustine Water and Sewer facilities

For reference a copy of the approved typical roadway section is attached to this letter which illustrates the vision for the community.

The project limits for MLK Ave during the conceptual design development phase was from South Street to Bridge Street (approx. 2500LF) with an estimated construction cost of \$2.6 million dollars which included the undergrounding of FPL's overhead electric lines.

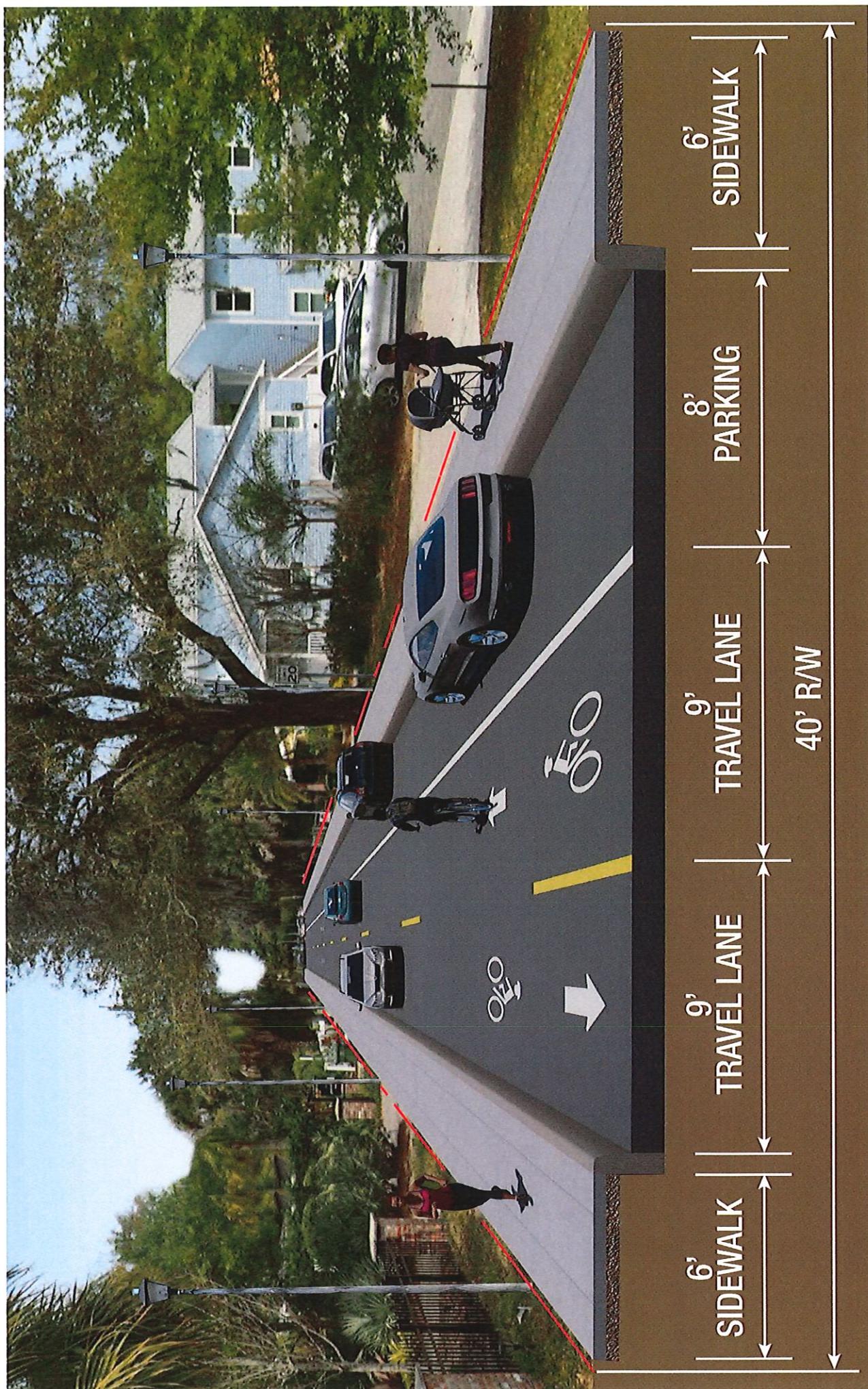
The original plan was for the CRA to redevelop the MLK corridor in two separate phases however it has been suggested that the original project limits be extended further south to Cerro Street (additional 1000LF). The extension of the project south to Cerro Street would provide the City with two primary benefits. The first benefit is that the entire MLK Ave corridor could be constructed in a single phase, limiting disruption to residents by providing for a shorter overall construction duration. The second benefit is that there is some economy of scale that could be realized which would reduce overall project costs. At this conceptual stage of development it is estimated that extending the project to Cerro street would require approximately an additional \$1.0 million of funding.

If you should have any questions or need any additional information regarding the final design phase development for this project please let us know.

Sincerely,



Earl Wills, PE  
Project Manager





## CITY OF ST. AUGUSTINE

### MEMORANDUM

TO: The Honorable Chair and Board Members  
City of St. Augustine Community Redevelopment Agency

DATE: July 12, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;  
Lincolnvile Community Redevelopment Area Timeframe Extension

Attached please find April 17, 2023, Lincolnvile Community Redevelopment Area (LCRA) Steering Committee meeting minutes (item 4d), where the Steering Committee voted unanimously in favor of moving forward with steps to extend the LCRA operational timeframe as well as adding language to the Community Redevelopment Plan (CRP) that would address the commercial development element within the Community Redevelopment Area (CRA).

Staff continues to address conditions of blight, and community inadequacies consistent with the current LCRA Community Redevelopment Plan Amendment. The LCRA has approximately 10 projects ongoing and at least 3 major projects, that in consideration of planning efforts and funding opportunities could span over a ten-year period. The current sunset date of the Lincolnvile Community Redevelopment Area is April 8, 2033.

### **Recommendation:**

The Community Redevelopment Plan is a living document that can and should be updated to meet the ever-changing needs of the Community Redevelopment Area. Projects and programs should align and be consistent with the evolution of the community. Goals must be identified within the Community Redevelopment Plan (CRP), or they cannot be addressed by the Agency.

Anticipating the current timeline of ongoing projects and future projects, staff and stakeholders are concerned that the remaining ten-year operating period of the LCRA may not provide adequate time to accomplish all of the goals addressed in the CRP. Furthermore, the implementation of new projects and programs aimed to foster and support a thriving community could span past the CRA sunset date of April 8, 2033. The inability to complete these projects prior to the sunset date could stifle the ongoing success of the CRA.

Agenda Item for July 24, 2023

Community Redevelopment Agency Meeting;

Lincolnvile Community Redevelopment Area Timeframe Extension Recommendation

Page 2 of 2

Extending the operation period allows for ongoing and future projects to be planned, conceptualized, implemented, and completed. The CRA operating period may have a timeframe of up to sixty (60) years dependent upon the completion and adoption of the Community Redevelopment Plan.

City staff is asking the CRA Board to:

1. Make a motion to formally authorize staff to move forward with selecting a consultant to assist in amending the LCRA Plan, focusing on extending the operation timeframe and addressing goals related to commercial and business development.



Jaime D. Perkins  
Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: April 17, 2023, LCRA Steering Committee Meeting Minutes

## CITY OF ST. AUGUSTINE, FLORIDA

### Lincolnville Community Redevelopment Area Steering Committee April 17, 2023

The Lincolnville Community Redevelopment Area Steering Committee met for its regularly scheduled meeting at 5:03 P.M., Monday, April 17, 2023, at the Willie Galimore Community Center. The meeting was called to order by James St. George -Chairperson. The following Steering Committee members were present:

#### **1. ROLL CALL**

James St. George, Chairperson  
Mari Hayes, Co-Chairperson  
Madeline Wise  
Dee Thomas

Dalonja Duncan (excused absence)

**Staff Present:** Jaime D. Perkins, CRA Manager; Isabelle Lopez, City Attorney  
Kelly Traynor, Assistant City Attorney

---

#### **2. Approval of Minutes**

On a motion made by Mari Hayes and seconded by Madeline Wise the January 17, 2023, meeting minutes were approved with any necessary corrections.

#### **3. GENERAL PUBLIC COMMENT**

No General Public

#### **4. GENERAL DISCUSSION**

##### **a) Hayling/Vickers Park Survey Results**

Alexis Ridgell- CRA Intern presented survey data related to the Hayling/Vickers Park Resident Input Survey. She advised that the survey was a two-part 20 question survey. Staff collected 158 total responses. There were no questions or discussion regarding the presentation. Ms. Perkins used this opportunity to acknowledge the efforts of

Ms. Ridgell and the work that she has been doing with the Community Redevelopment Agency.

##### **b) Hayling/Vickers Park Masterplan Presentation and Recommendation**

Jeremy Marquis of Maquis, Latimer, and Halback and Jeremy Calloway of Maverick Engineering presented the conceptual and schematic design of both recreational spaces.

Mr. Marquis advised that the updated concepts were based off of feedback and input received from the input survey.

Mr. St. George inquired about the walking path from Eddie Vickers Park to Dr. Robert B. Hayling Freedom Park. He requested a more integrated path. He also asked about parking. Mr. Marquis suggested that the parking would be primarily at Vickers Park with the exception of 5 or 6 ADA spaces.

Ms. Wise inquired as to why there was no indication of African American historic/interpretive signage and markers along the walking pathway. She stated that in the last meeting it was discussed that this would be added. She asked Ms. Perkins to clarify. Ms. Perkins advised that Ms. Wise was correct and that the concepts being presented was foundational. Ms. Perkins stated that historic context was being proposed primarily in Hayling Plaza. Mr. Marquis stated that he could show additional context on the concepts to represent historic marker placement.

Mari Hayes inquired about the greenspace-citing safety issues correlating with the homeless population challenges presenting in the Hayling Park space. Mr. Marquis noted that the design would incorporate elevation that could help to mitigate the safety challenges.

Mr. St. George inquired about the utilities at the parks and if water supply would be well or city water. Mr. Marquis stated that it would likely be a city water connection.

Ms. Thomas asked about the community garden and any proposed improvements. Ms. Lopez stated that the community garden was under a private license. There are some legal restrictions to utilizing CRA funds for the improvements of the community garden.

Mr. Calloway stated that Maverick Engineering is working with the City's Utility Department to tap into existing lines on nearby Riberia Street. The idea is to connect water and sewer. Mr. St. George inquired about the cost. Mr. Calloway stated that cost estimates would be determined once

the final design is completed. There is an irrigation plan being proposed.

### **Public Comment**

Kevin Lang- State that she liked the design. She stated that parks often fail because of underutilization. She asked that staff and consultants consider shade, seating, and landscaping. She also indicated the need for a dog park, kayak launch and additional amenities.

Babrbra Franz- Stated that the park concept is exciting and inviting but asked about additional parking at Hayling Park. She also asked about the use of permeable materials.

Anne Galloway- Inquired about cost. She also stated that the parks seemed to be being improved as a destination area and the draw of tourists to the park space. She stated she would prefer to leave the park as is. Ms. Perkins answered the cost question by advising that cost cannot be determined until the final design is complete. Ms. Perkins also stated that approximately \$500k is currently allocated toward this park project.

Rick Spence- Mr. Spence stated that he liked the idea of implementing a chess table. He also asked about tennis and stated his approval of the pickleball courts. He asked about kayak vending machines and places to store kayaks when the launch is completed.

Lauren Giber- Stated that there is a need for dog waste containers. She also stated that the greenspace near the baseball field could be converted to a soccer field. She also suggested wider sidewalks.

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Gail Eubanks- Ms. Eubank indicated her disdain for the parks being named for prominent African American figures but not placing historic contextualization. She asked for the preservation of the history of the community.

Tom Gilboy- Stated that there is water access at Freedom Park.

Ken McClain- Mr. McClain stated that the covered pavilion near the horse stables at Freedom Park needs to be removed and converted to accessible parking. He also stated that there needs to be a restroom in the park.

Nico Stearling- Ms. Stearling stated that the plans seemed to show the Cerro access as a smaller pedestrian access point. She stated that the park should have water, electricity, and emergency vehicle access.

Ms. Thomas stated that she appreciated all of the public comments. She reiterated the need for electrical and water access for future events. She asked that any historical markers placed need to be permanent and durable.

Ms. Wise stated her concern for the city and county park management responsibilities. Ms. Lopez stated that the city does not have a Parks and Recreation Department so the agreement with St. Johns County is for the County to manage the active athletic elements of the recreational spaces. She states that any items of importance- the steering committee should include in their motion to have it considered by the CRA Board Members.

Ms. Hayes commended the efforts of the forward progress of the concepts and designs. She stated the need to reinforce the idea that the park is being improved for the community. She asked about the efforts related to the marketing of the utilization of the park once it is improved.

Ms. Lopez offered insight into developing a motion with necessary updates to the plan.

A conversation ensued regarding the use of the park space as it related to events. Ms. Thomas talked about the difference in having a farmers' market versus a music festival.

Ms. Perkins stated that Eddie Vickers Park was once the event space for the Lincolnvile Festival. Ms. Perkins also stated that the park's use as it relates to events is a futuristic concept and can be addressed later with policy. She stated that the recommendation right now is based on the improvement and programming of elements.

Ms. Hayes made a motion that the Hayling Vickers Park Masterplan move forward as presented with consideration to ensuring that the history of Lincolnvile is incorporated, that parks are designed for smaller scaled community-based activities, shading and permeable parking, the addition of dog waste, water electrical and restrooms be implemented. The motion was seconded by Dee Thomas. The motion was passed with a unanimous voice vote.

c) **CRA FTE (full-time employee) Recommendation**

Ms. Perkins stated that she has been working on the justification of the need for additional staff in the CRA division. She has tracked time spent on

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tasks and the workload of her intern. Ms. Perkins stated that if approved, a portion of the funding to hire staff would come from the LCRA.

Mr. St. George stated that he was shocked that Ms. Perkins was doing the majority of work alone.

Ms. Wise asked why Ms. Perkins needed additional help.

Ms. Hayes stated she was in full support of additional staff and inquired how quickly someone could be hired.

Ms. Thomas stated that she definitely understands the need and asked for a job description.

Mr. St. George motioned that the board approved the recommendation for Ms. Perkins to take next steps to acquire a new hire. Ms. Hayes seconded the motion. The motion passed with a unanimous voice vote.

**d) Lincolnvile Community Redevelopment Timeframe Extension Recommendation**

Ms. Perkins offered a recommendation to hire a consultant to investigate the opportunity to amend the Community Redevelopment Plan to extend the timeframe of the LCRA as well as add additional language to address commercial development.

Ms. Thomas stated she is favorable of extending to LCRA thirty years.

Mr. St. George stated that he would be in favor of the timeframe extension being thirty years.

**Public Comment**

Kevin Lang- stated that she is in favor of the LCRA extension.

Rick Spence- Inquired about the need for hiring a consultant.

Ken McClain- Stated that he is in favor of the recommendation of extending the timeframe for thirty years.

Mr. St George made a motion recommending that the CRA explore the timeframe extension and commercial improvements within the LCRA. Ms. Thomas seconded the motion. The recommendation was passed with a unanimous voice vote.

**e) Annual Report Presentation**

Ms. Perkins stated the annual report has been submitted to the appropriate parties and agencies. She gave a brief overview of the report's contents.

**5. Steering Committee Items/Discussion**

Ms. Hayes requested an update on the Architectural Guidelines. Ms. Perkins stated that the appendix of the LCRA guidelines has been added to the AGHP guidelines. Ms. Perkins also stated that she is working to have the guidelines available in the City's Planning and Building Department for those requesting permits for development within the Lincolnvile CRA boundaries.

Ms. Wise asked why the workbook was noted as a draft. Ms. Perkins stated that it is a draft because it has not been formally adopted. Ms. Lopez clarified that the AGHP if adopted will be requirements and the appendix of the LCRA document is included. Ms. Lopez stated that this is for partial demolition and partial construction.

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**6. City Staff Items**

Ms. Perkins thanked Dee Thomas for her tenure on the board and presented her with a City Crest.

Ms. Perkins introduced newly appointed Ken McClain.

Ms. Perkins Recognized Madeline Wise on her reappointment.

Ms. Perkins stated she invited Floyd and Gayle Philips in an effort to get community buy-in from the community regarding a future proposed trolley stop at the Lincolnville Museum and Cultural Center.

Ms. Perkins stated that this is not a CRA or LCRA program or project and that it is not in the CRA's purview to recommend or approve. Ms. Perkins did state that she is favorable of the stop if it helps to keep the LMCC in Lincolnville. Ms. Perkins deferred

to the Committee Chair, Mr. St. George yielded the floor to Ms. Phillips to offer a brief presentation.

Ms. Phillips gave a presentation of the LMCC; its organization hierarchy, establishment, funding source(s), and the need for the trolley.

**7. NEXT MEETING DATE**

August 21, 2023

**8. ADJOURNMENT**

The meeting was adjourned by Chairman, James St. George at 7:41 PM. with a motion made by Dee Thomas.

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