



**CITY OF ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
REGULAR MEETING**

**Monday, July 24, 2023, 3:00 PM
ALCAZAR ROOM**

A G E N D A

1. Call to Order
 - A. Roll Call
2. Approval of Prior Meeting Minutes (April 24, 2023)
3. General Public Comment
4. Hayling/Vickers Parks Masterplan Presentation and Recommendation
Jeremy Marquis- Marquis, Latimer, + Halback
Jaime D. Perkins
5. LCRA Architectural Guidelines Presentation and Recommendation
Jeremy Marquis- Marquis, Latimer, + Halback
Les Thomas, Les Thomas Architects
R. Conner Dowling, Open City Architects
Jaime D. Perkins
6. Dr. Martin Luther King Jr. Ave. Streetscape Project Boundary Extension Recommendation
Jaime D. Perkins
7. LCRA Plan Amendment & Timeframe Extension Recommendation
Jaime D. Perkins
8. Historic Area CRA Plan Amendment Update
Jaime D. Perkins
9. LCRA Fix-It-Up Program Update
Jaime D. Perkins
10. Items by City Staff
11. Items by Chair and Board Members

12. Adjourn

NOTICES: In accordance with Florida Statute 286.0105: "If any person decides to appeal any decision made by the City Commission with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone (904) 825-1007; 1-800-955-8771 (TDB) or 1-800-955-8770 (V), via Florida Relay Service. Please note that one or more members of the City Commission or its appointed boards or committees may attend this meeting and participate, however they may not engage in a discussion or debate amongst themselves on any issue that will likely come before their respective elected or appointed body. The materials prepared and presented are part of the City's ongoing Florida Public Records and Government in the Sunshine compliance and are not intended to be relied upon or to reach investors or the trading markets.

CITY OF ST. AUGUSTINE

Community Redevelopment Agency
Regular Meeting
April 24, 2023

The Community Redevelopment Agency met in formal session Monday, April 24, 2023 at 3:30 P.M. in the Alcazar Room at City Hall. The meeting was called to order by Chairwoman Nancy Sikes-Kline, and the following were present:

1. Roll Call: Nancy Sikes- Kline, Chairwoman
Roxanne Horvath
Barbara Blonder
Cynthia Garris
Jim Springfield

John Regan, City Manager
Isabelle Lopez, City Attorney
Elyse Weimann, Acting City Clerk
Ruben Franklin, Public Works Director
Jaime D. Perkins, Community Redevelopment Agency Manager
Jennifer Michaux, Police Chief
Melissa Wissel, Communications Director
Colleen Kuhn, Recording Secretary

2. Approval of Minutes (January 23, 2023).

MOTION

Commissioner Springfield MOVED to approve the January 23, 2023, Meeting Minutes. The motion was SECONDED by Commissioner Horvath and APPROVED BY UNANIMOUS VOICE VOTE.

3. General Public Comments.

Public comment was opened; however, there was no response.

4. Hayling/Vickers Park Public Engagement Survey Presentation Alexis Ridgell- CRA Coordinator/Intern.

Alexis Ridgell, Community Redevelopment Agency Coordinator/Intern presented data collected on the recent Resident Input Surveys conducted on Eddie Vickers and Robert B. Hayling Freedom Parks. She

reviewed questions that were asked and noted that 158 people had responded, 143 of whom were Lincolnville residents or stakeholders.

Commissioner Blonder asked if there was any interest expressed in frisbee golf.

Ms. Ridgell said she saw some mention of frisbee golf, but it was not significant enough to categorize.

Commissioner Springfield asked about the lack of response from businesses.

Jaime D. Perkins, Community Redevelopment Agency Manager, stated there were not many businesses in Lincolnville which may account for the low response.

The Commission and staff discussed the community gardens including expansion and how they were operated.

Commissioner Blonder suggested adding the Park as part of the Great Florida Birding Trail.

5. Hayling/Vickers Park Masterplan Presentation.

Ms. Perkins said that the Lincolnville Community Redevelopment Agency (LCRA) Steering Committee met on April 17th and unanimously approved the Master Plan with some recommendations. She introduced Jeremy Marquis.

Jeremy Marquis, of Marquis, Latimer and Halback, reviewed his presentation and shared that a good amount of feedback had been received from the LCRA Steering Committee and the public. He shared the following LCRA recommendations:

- Ensure the history of the Park's name sakes were not lost.
- Addition of water fountains and bottle fill stations, utilities infrastructure for community events, restrooms, more shaded and parking areas, and dog waste containers.

Mr. Marquis showed designs of the Parks and noted the following features:

Eddie Vickers

- Benches, trash receptacles and dog waste stations
- Water fountains
- Historic signage
- Bio-filtration Garden
- Sidewalk games
- Deliberate pedestrian entrance
- Playground with resilient surface and basketball courts
- Batting cages
- Reunion plaza
- Separate dog parks
- Added parking
- Possible kayak vending machine
- Plenty of seating
- Structured shade

Dr. Robert B. Hayling Freedom

- Historic signs throughout

- Hayling Plaza
- Higher spaces for viewing
- Restroom pavilion
- Sunset terrace
- Covered pavilion
- Meditation zone
- Habitat for birding trail
- Accessible marsh overlook
- Park entrance games
- Sunset Terrace
- Clear visibility in the park

Commissioner Springfield and Mr. Marquis discussed the possibility of sidewalks that could include a jogging lane or track.

Commissioner Blonder asked for the use of native vegetation. She shared her concern about the amount of lawn care and use of pesticides that may be required.

Mr. Marquis said they could use all native plants and suggested adding Bahia Grass for lawn areas.

6. CRA Project Updates

A. HACRA Plan Amendment Update

Ms. Perkins said they were working with a consultant to amend the Historic Area Community Redevelopment Area (HACRA) Plan and expected it to be ready ahead of schedule. She said the City Manager would review the Amendment in early June, the Community Redevelopment Agency (CRA) Board would review in mid-June, and if adopted, it would be approved in September.

B. Fountain of Youth Elks Lodge

Ms. Perkins said the Institutional Rehabilitation Project was awarded over \$800,000 and indicated they were requesting a timeframe extension to complete the construction.

C. St. Paul Structural Engineering Assessment Update

Ms. Perkins said St. Paul received a grant award for roof repair. She reminded the Board they had approved a grant

application to help the Church complete a structural assessment. She said the Board had requested an update at their last meeting and noted that substantial information had been received very recently. She introduced Jude Kostage, who would provide an update on the Assessment.

Jude Kostage, Atlantic Engineering Services, said they had conducted a structural assessment on St. Paul's Church. He said immediate repairs were needed to keep the building safe and that more substantial work would be required in the future. He listed the following areas in need of temporary repairs:

- Main Sanctuary and roof
- Alter
- Brick along back and east side of building

Ms. Perkins requested that the Board approve the use of the remaining funding, \$85,000-\$90,000, to complete the temporary repairs and stabilize the building.

Commissioner Springfield asked how further repairs would be paid for.

Ms. Perkins said she was uncertain since the original request was just for the Assessment.

MOTION

Commissioner Horvath MOVED to approve use of the funds for the temporary repairs for life and safety purposes. The motion was SECONDED by Mayor Sikes-Kline.

VOTE ON MOTION:

AYES: Horvath, Sikes-Kline, Garris, Springfield, Blonder

NAYES: None

MOTION APPROVED UNANIMOUSLY

D. First Baptist Phase II

Ms. Perkins stated milestone dates were being met. She said the stakeholders were completing their own interior improvements separately and the project should be substantially completed by early May.

E. MLK Streetscape

Ms. Perkins said this was a multimillion-dollar capital improvement project funded by the CRA and LCRA. She noted it included widening of traffic lanes, sidewalks, electrical/sewer, and cultural heritage signage. She said they were moving into the design phase of the Project.

7. CRA Annual Report Presentation.

Ms. Perkins indicated the Annual Report was completed and had been submitted to the appropriate agencies in compliance with Florida State Statute. She noted the Report contained details on the CRA and LCRA's annual performance.

8. Items by Staff

None

9. Items by Chair and Board Members

Commissioner Garris requested an assessment of the West St. Augustine to see if a CRA would be of benefit.

Mayor Sikes-Kline and Isabelle Lopez, City Attorney suggested that Commissioner Garris bring the suggestion forward during the City Commission meeting.

10. Adjournment

There being no further business, the meeting was adjourned at 4:36 P.M.¹

Nancy Sikes-Kline, Chairwoman

¹ Transcribed by Colleen Kuhn

Darlene Galambos, CITY CLERK

DRAFT



ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
CITY OF ST. AUGUSTINE, FLORIDA

CITY OF ST. AUGUSTINE

MEMORANDUM

TO: The Honorable Chair and Board Members
City of St. Augustine Community Redevelopment Agency

DATE: July 12, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;
Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park Masterplan
Recommendation

Attached please find the conceptual design and masterplan for both Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park. Also attached are Opinion of Probable Costs associated with each individual park. These documents were prepared by the selected landscape architecture and planning firm, Marquis, Latimer and Halback.

During the April 17, 2023, Lincolnville Community Redevelopment Area Steering Committee meeting, the committee voted unanimously to approve the Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park Masterplan. The Steering Committee asked that with this approval that the conceptual design be updated to include permanent shading, permeable parking, electrical connections, and restrooms at Freedom Park. The board also wanted to ensure that the masterplan would incorporate an opportunity to display historically significant content and contextualize the history of the Lincolnville Community as well as acknowledge noteworthy individuals.

During the April 24, 2023, Community Redevelopment Agency Meeting, the masterplan was presented with considerations related to the recommendations from the Steering Committee. The Board provided similar recommendations citing the need to ensure that the plantings at each park were native and require little maintenance or pesticides. There was also mention of the improvements to the walking tracks at each park and mile marker notifications. The attached plan represents the recommended adjustments of each board and steering committee member.

Recommendation:

The 25-acres of recreational space, formally known as Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park are in dire need of improvements. The improvement of the

sports court, parking area, and walking trails are just a few elements of the park(s) that represent the need for improvement. Not only the residents of the community of Lincolnville, but stakeholders throughout the city have been very involved and vocal with their concerns regarding the current state of the park(s) and the addition of recreational elements that would make the park a more user-friendly recreational space.

The combined costs to complete each park improvement project is estimated to be approximately \$17,261,077. The improvements at Eddie Vickers Park is estimated to total \$11,744,922. The estimated costs to complete improvements at Dr. Robert B. Hayling Freedom Park is \$5,516,084. Considering these significant costs, the improvements to each recreational space should be phased. Taking into consideration the resident input survey, which provided feedback on park improvement prioritization. Each fiscal year staff will allocate funds to complete a park improvement effort. Staff will also make efforts to secure additional funding opportunities to complete the park improvements in lieu of CRA funds. It is important to mention that as part of the interlocal maintenance agreement between the City of St. Augustine and St. Johns County Parks and Recreational Department, partial funding for the improvement of the sports courts at Eddie Vickers Park will be provided by St. Johns County. The improvement of the sports court is a priority task.

City staff is asking the CRA Board to:

1. Make a motion to formally approve the masterplan for Dr. Robert B. Hayling Freedom Park and Eddie Vickers Park, allowing staff to move forward with the development of design documents to be used during construction phases and allowing staff to program construction efforts in phases as funding for each improvement element is made available.



Jaime D. Perkins
Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: Park(s) Masterplan, Opinion of Probable Costs

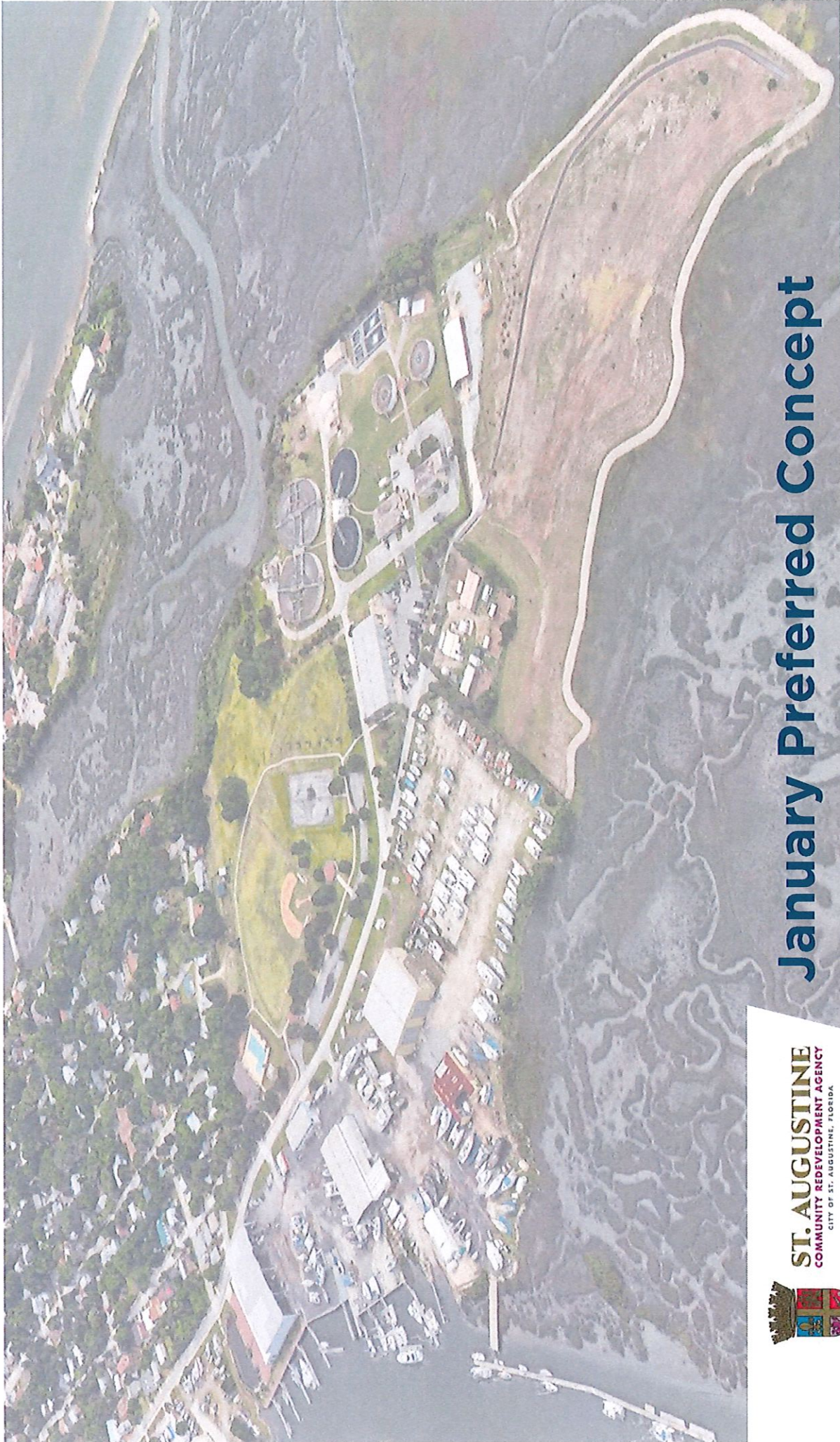


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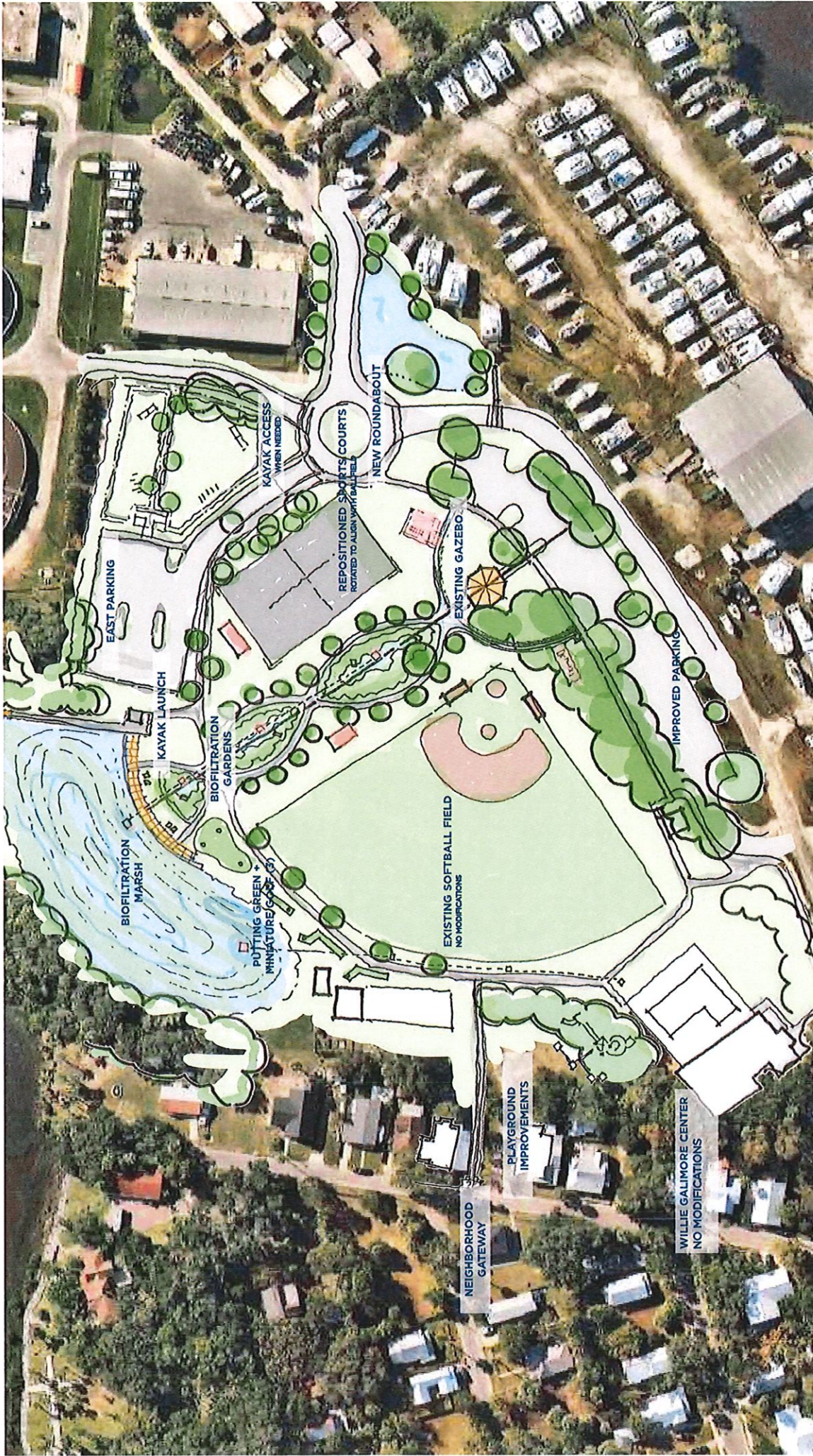
07.10.2023 VS.3

EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK | MASTER PLAN Illustrative Master Plan (Task 2.1C.7)

City of St. Augustine + Lincolnville CPA | St. Augustine, Florida
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January Preferred Concept



Marquis Latimer + Halback
LANDSCAPE ARCHITECTURE + PLANNING
www.halback.com | Phone: 813.466.1125

01.17.2023

EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING Initial Concept Eddie Vickers Park

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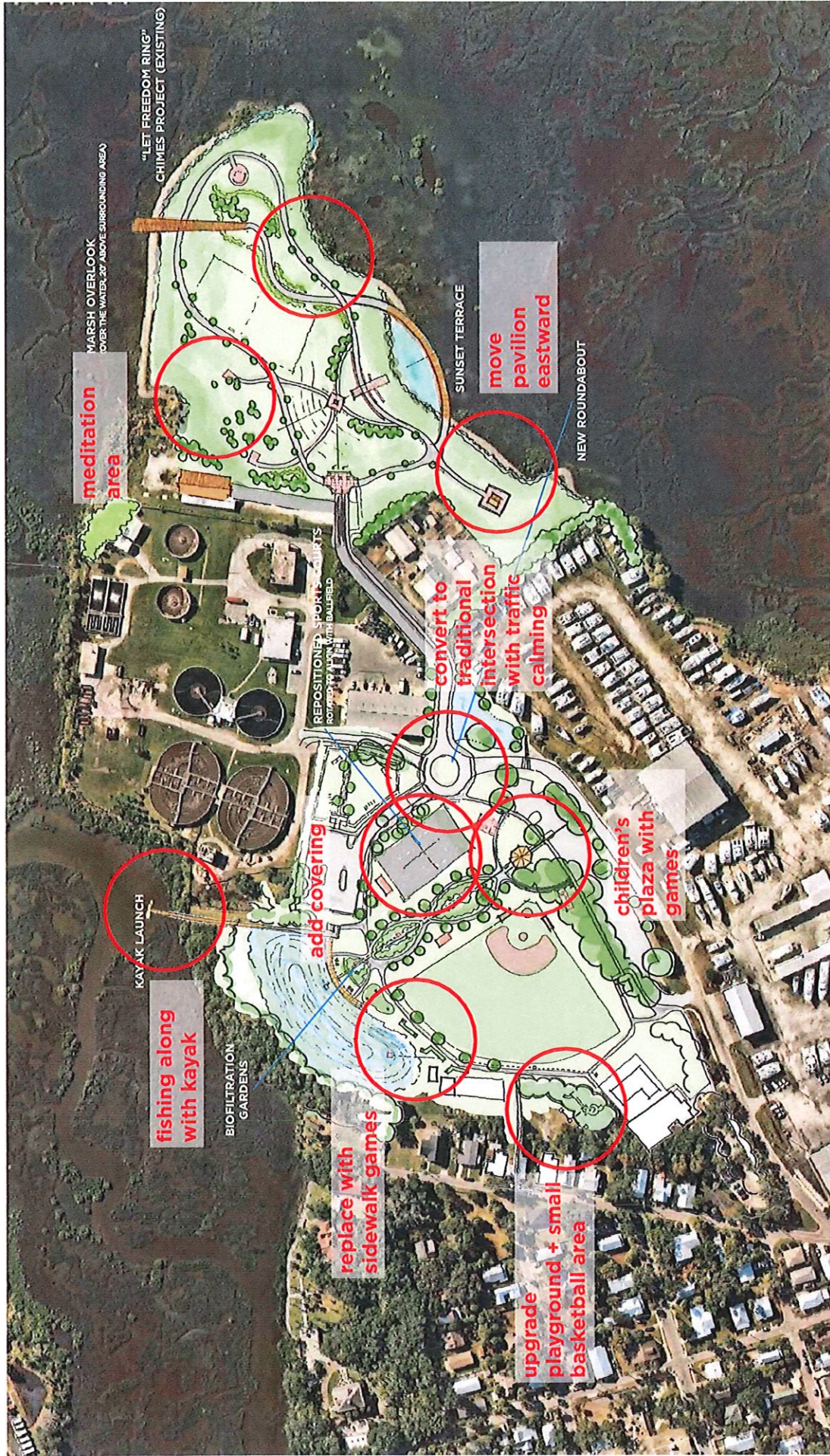
MASTER PLANNING Initial Concept A Dr. Robert B Hayling Freedom Park 01.17.2023

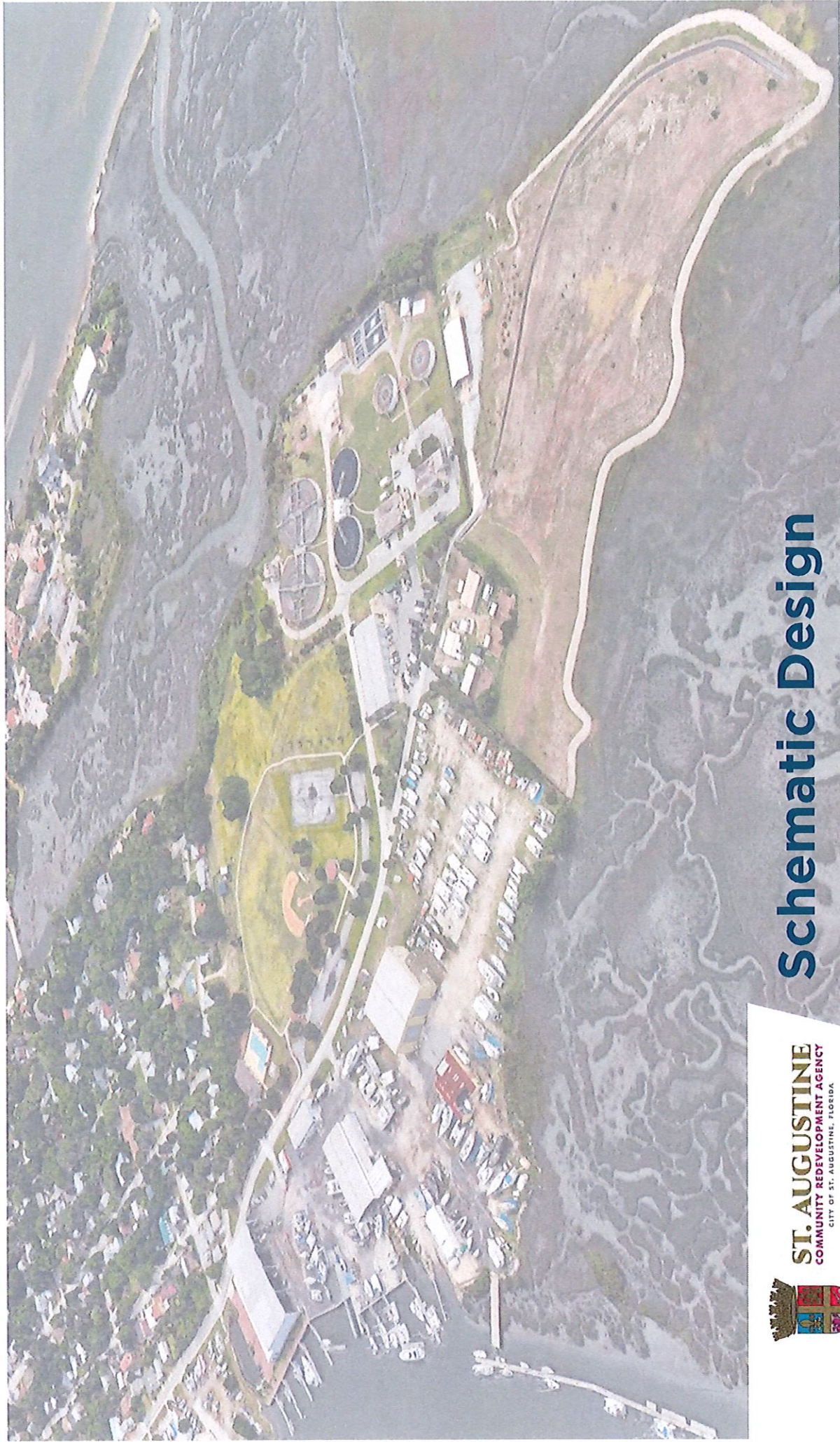
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Schematic Design





EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING Schematic Overview

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April 17, 2023 Presentation to LCRA Steering Committee

Unanimous Recommendation, noting the following:

THE STORY

1. **History panels** regarding Lincolnville, Little Links, Eddie Vickers, and Dr. Hayling.

WATER + UTILITIES

2. Add **water fountains / water bottle fill stations**
3. **Power / infrastructure** for community events

VISITOR AMENITIES

4. Potential **restroom** at Dr. Robert B Hayling Freedom Park
5. Increase **shade** at entry of Hayling Park
6. Durable **shade and hardscape** with permeable parking
7. Additional **parking at Hayling**
8. Dog **waste / containers**



ABOVE

Dr. Hayling, 1965 in Tallahassee. From Florida Memory.



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EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING LCRA Steering Committee **Feedback**

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COMMUNITY LEADERS of the Saint Augustine

Examples of stories to tell...



MAUDE E. REDDICK

School supervisor during segregation



FRANK B. BUTLER

Entrepreneur in Real Estate and Markets
Established First African American beach resort and later State/County Park



ROBERT B. HAYLING

Local civil rights activist
Dentist



JORGE BIASSOU

Spanish General of the Black Militia at Fort Matanzas – Leader of the Haitian Revolution



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MASTER PLANNING Community Leaders

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April 24, 2023 Presentation to LCRA Board

Feedback from Board Members

THE STORY

No additional feedback.

WATER + UTILITIES

No additional feedback.

VISITOR AMENITIES

1. Potential **restroom** is great benefit
2. The **1 mile running trail** might be of interest
3. Consider **pervious paving**
4. Consider **100% native plantings**
5. Consider **non-irrigated lawn**, such as Bahia



ABOVE

Images regarding additional sustainability features to consider.



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EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING LCRA Steering Committee **Feedback**

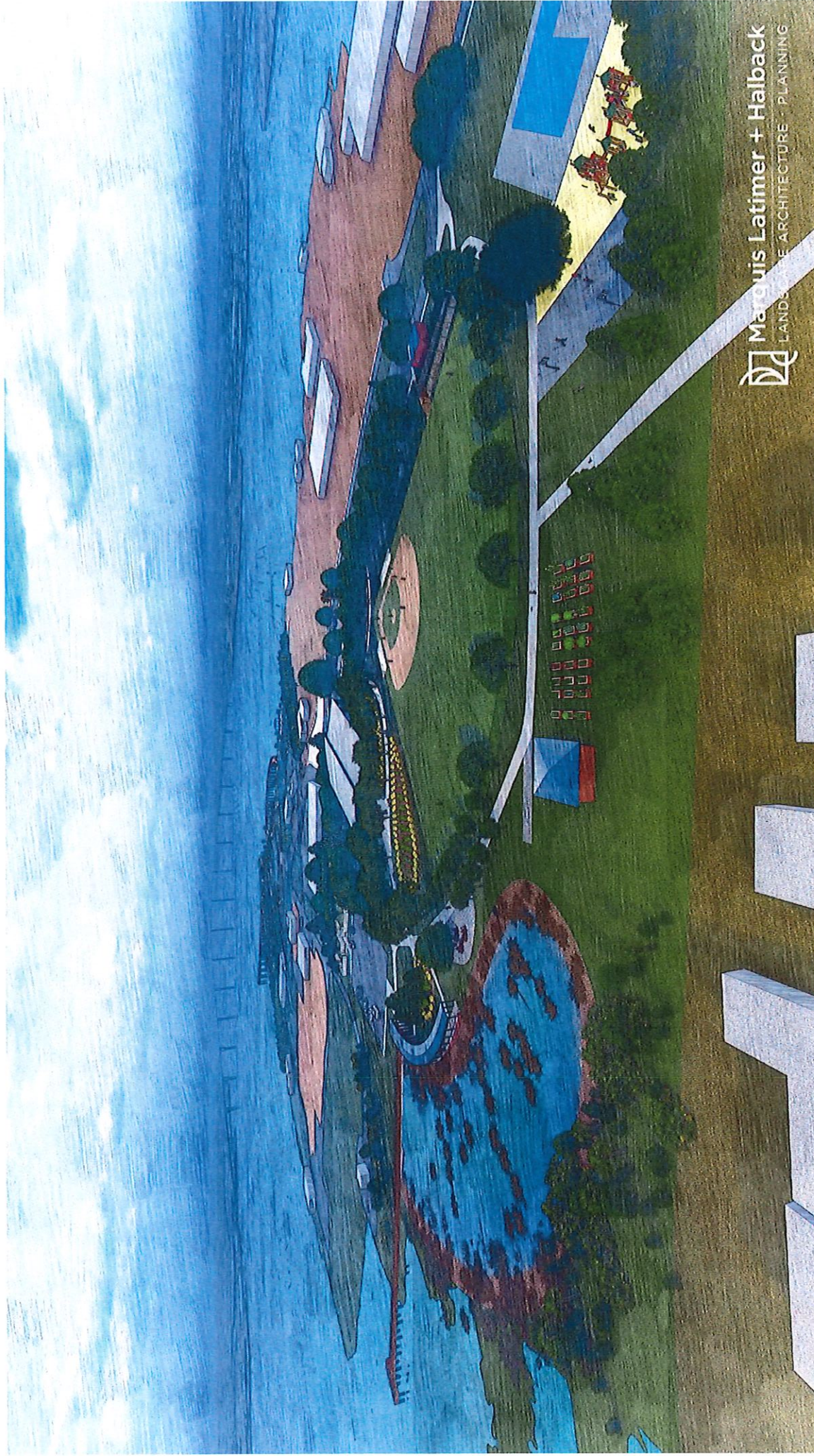
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EDDIE VICKERS PARK • DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING Eddie Vickers Park Bird's Eye Overview

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EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING Eddie Vickers Park Reunion Plaza

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MASTER PLANNING Eddie Vickers Park Covered Sports Court

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EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING Eddie Vickers Park Biofiltration Gardens

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MASTER PLANNING **Eddie Vickers Park Biofiltration Garden + Kayak** 04.10.2023

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MASTER PLANNING Hayling Freedom Park Bird's Eye Overview

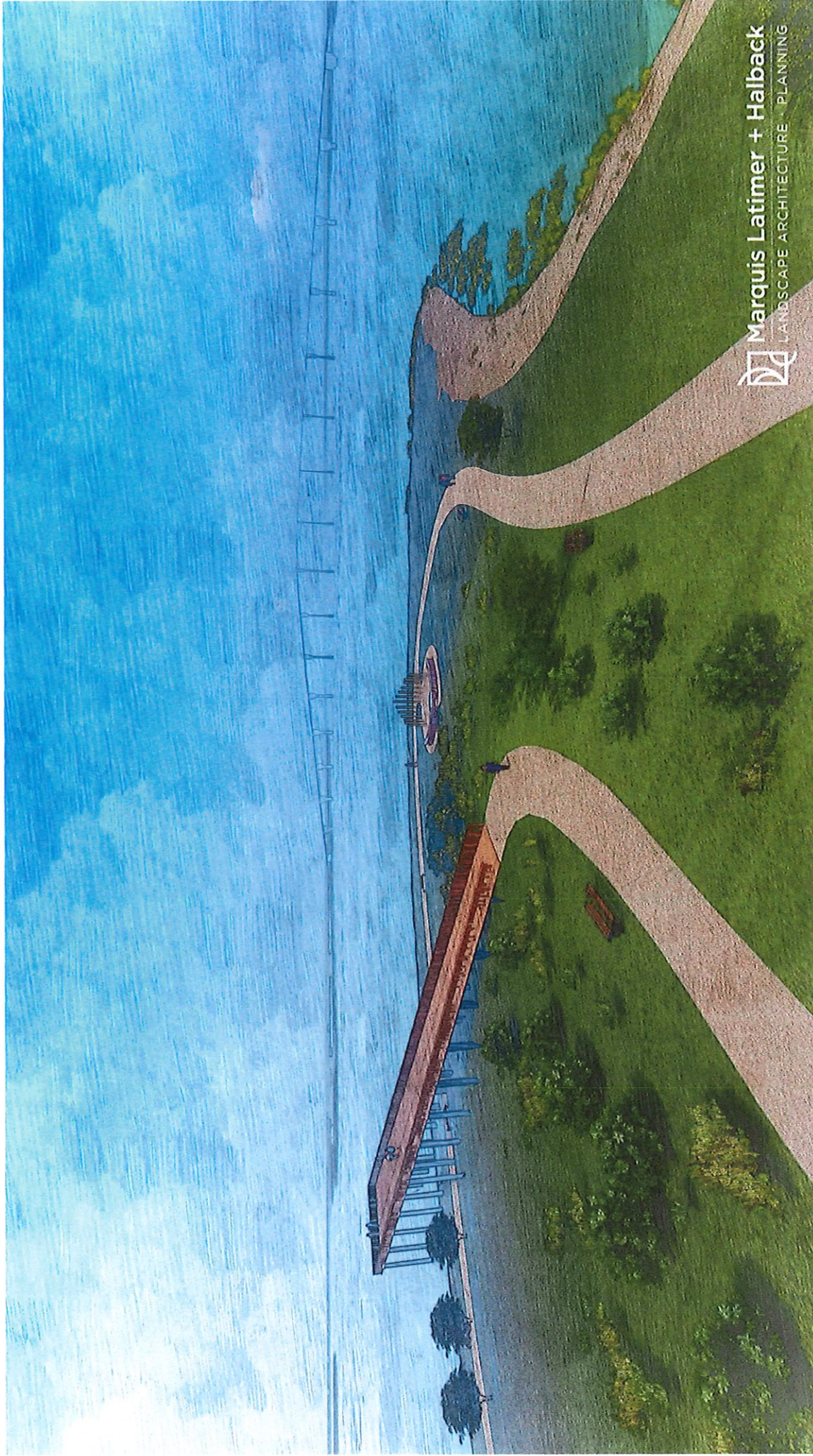
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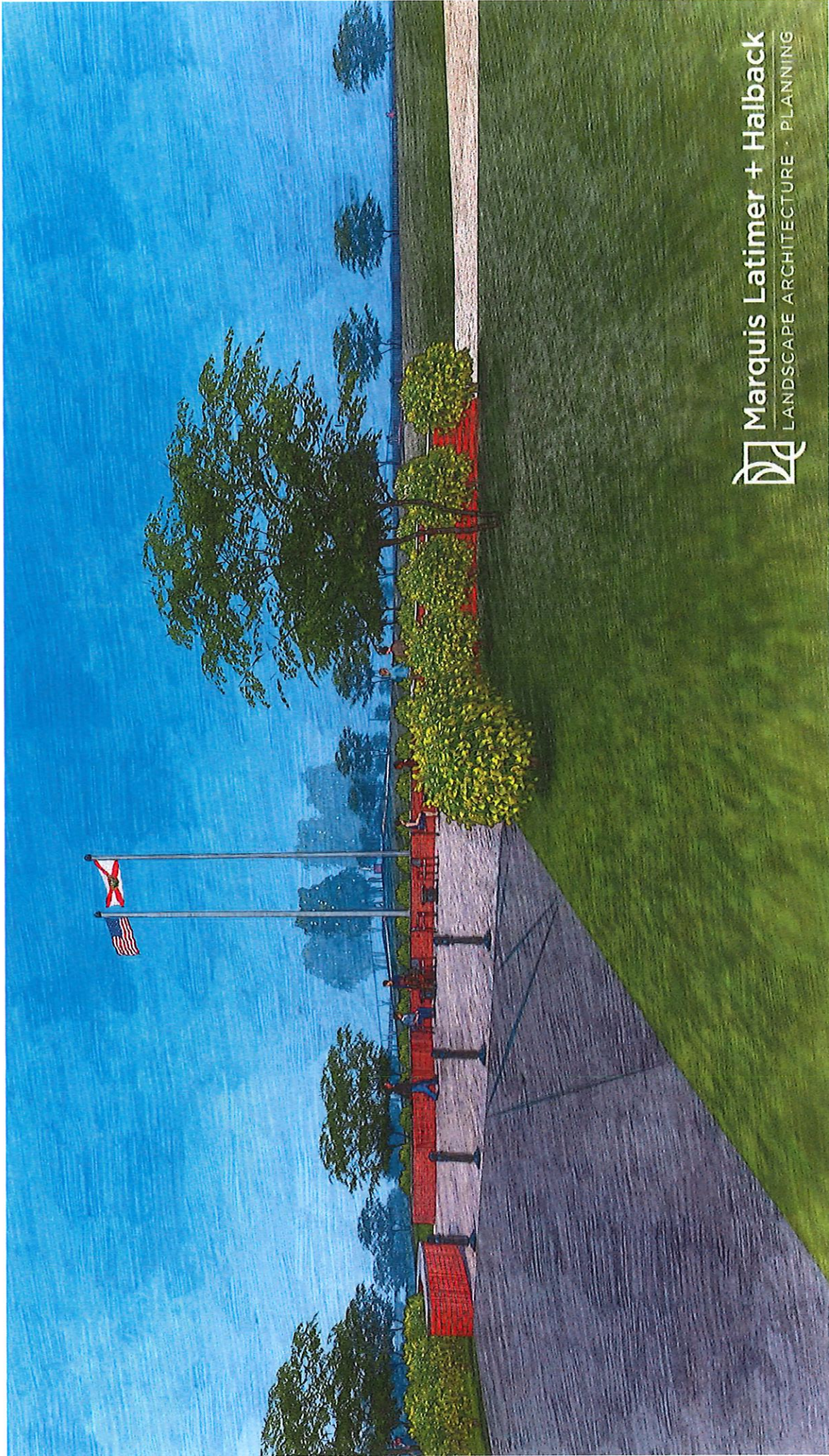
MASTER PLANNING Hayling Freedom Park Marsh Overlook

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MASTER PLANNING Hayling Freedom Park **Gathering Plaza**

04.10.2023

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MASTER PLANNING Hayling Freedom Park Sunset Terrace

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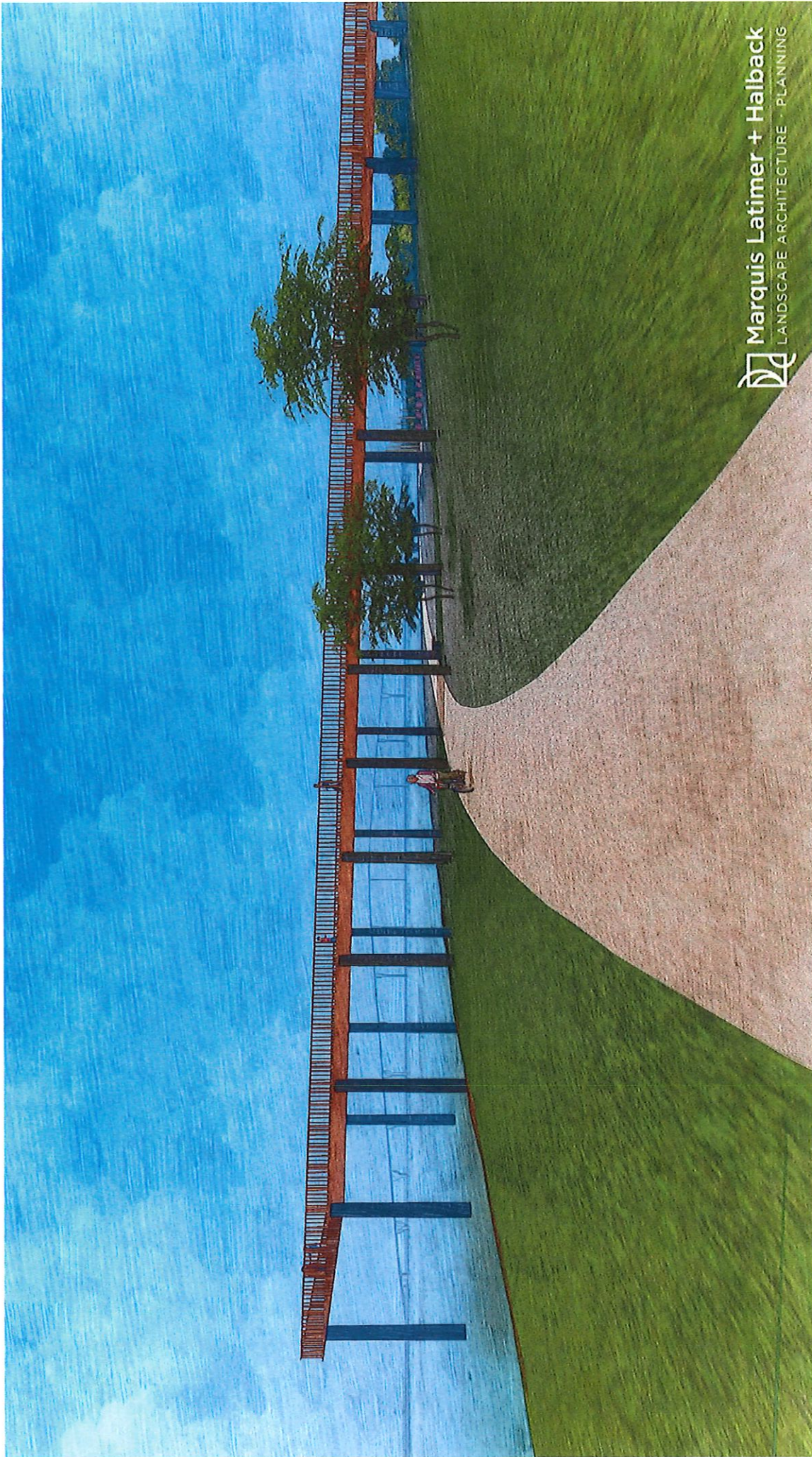
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MASTER PLANNING Hayling Freedom Park Sunset Terrace Boardwalk 04.10.2023

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MASTER PLANNING Hayling Freedom Park East Pathway + Overlook 04.10.2023

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MASTER PLANNING Hayling Freedom Park Marsh Overlook

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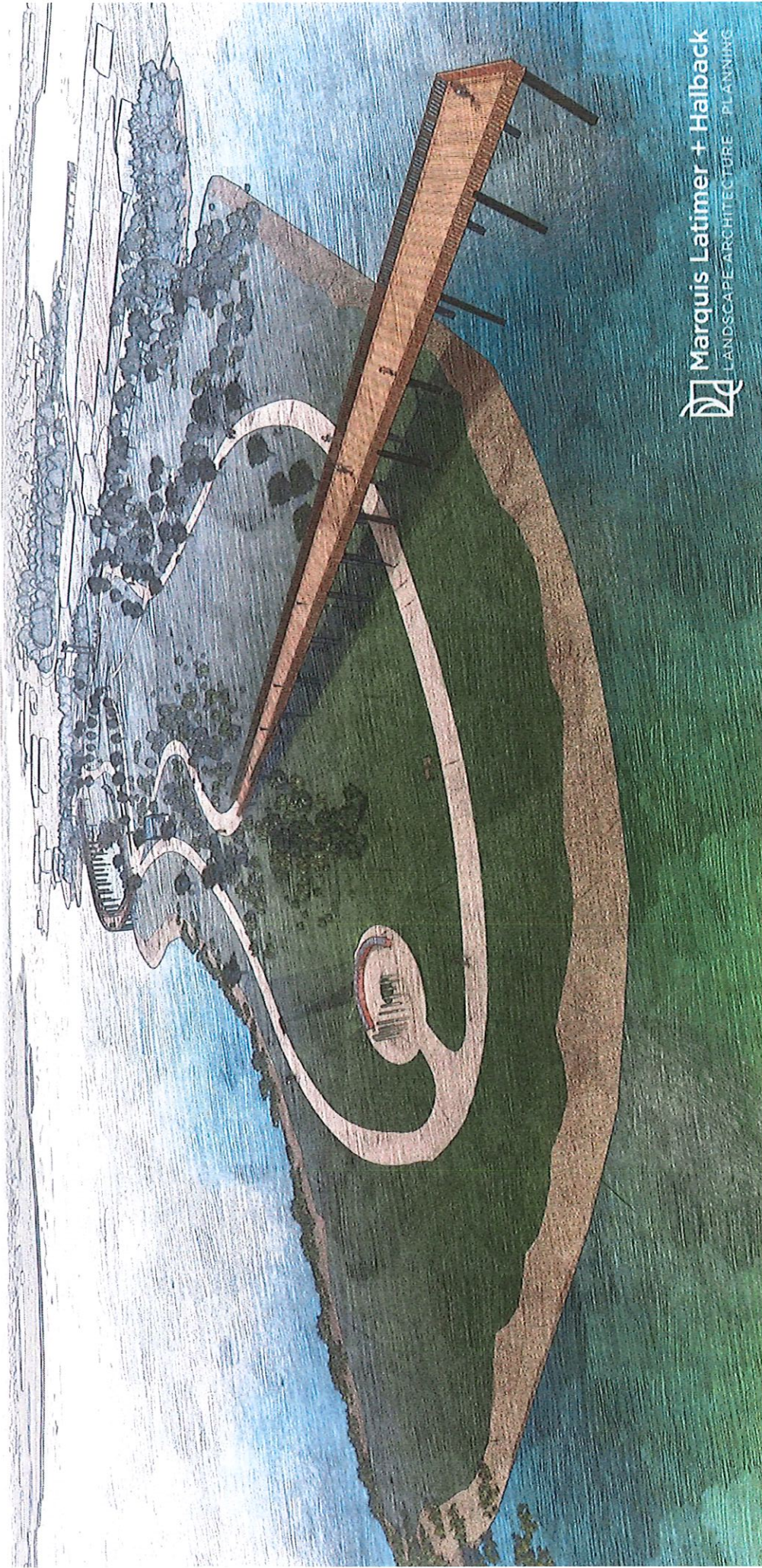
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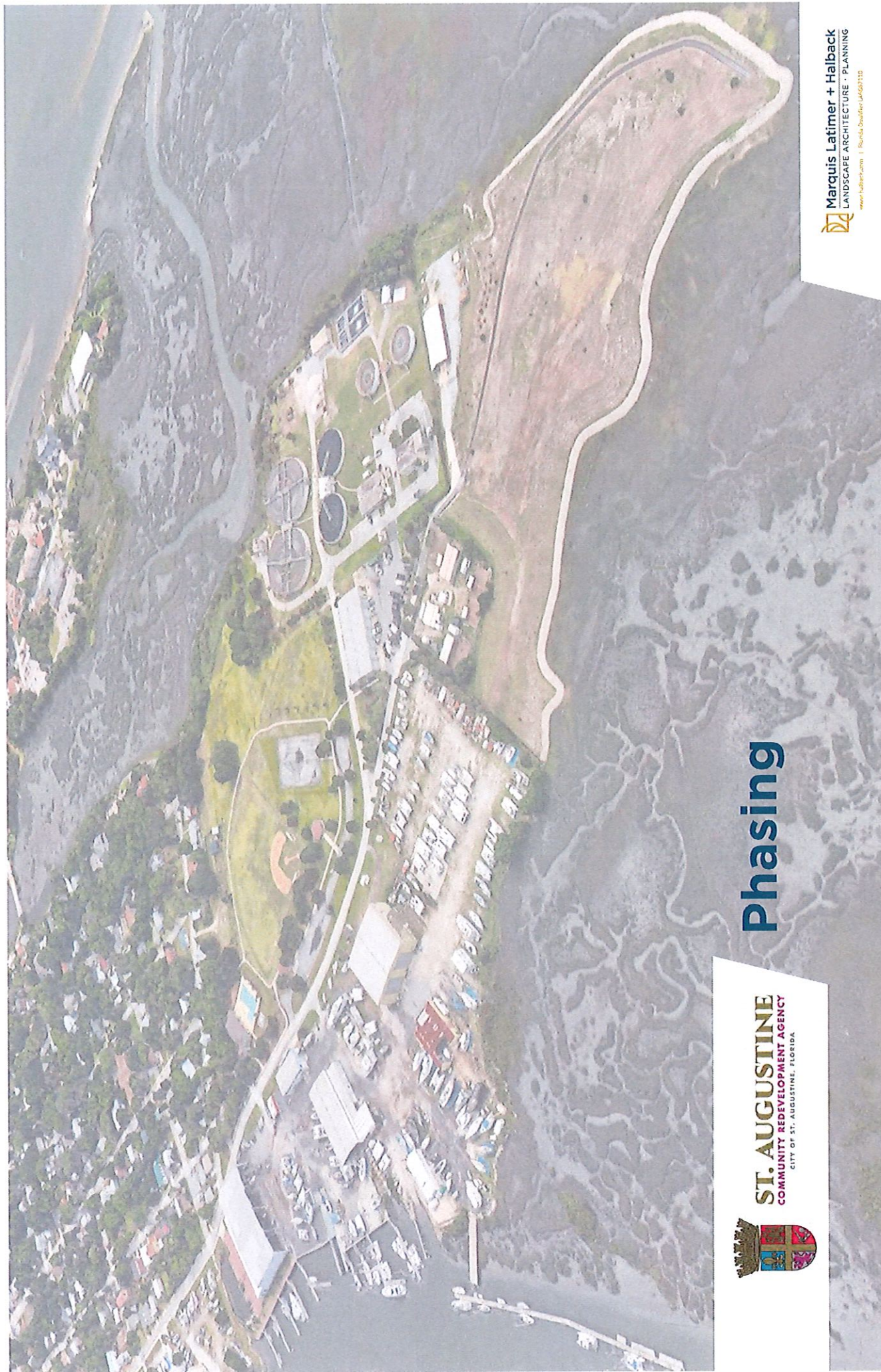
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MASTER PLANNING Hayling Freedom Park Marsh Overlook Bird's Eye 04.10.2023

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Phasing



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Phasing Legend

- A Reunion Plaza & Biofiltration Gardens
- B Iberia Streetscape & Parking
- C Dog Park & Overflow Parking
- D Kayak Launch & Fishing Pier
- E Playground
- F Sidewalk Games & Neighborhood Entry
- G Batting Cages
- H Sports Court Covering

-  BENCHES
-  TRASH RECEPTACLES / DOG WASTE STATIONS
-  WATER FOUNTAINS
-  HISTORIC SIGNAGE



Phasing Legend

- A Gathering Plaza
- B New Pathway
- C Sunset Terrace Overlook Boardwalk
- D Dr. Hayling Statue and Plaza
- E Marsh Overlook Boardwalk and Path
- F Restroom Pavilion

- BENCHES
- TRASH RECEPTACLES / DOG WASTE STATIONS
- WATER FOUNTAINS
- HISTORIC SIGNAGE



EDDIE VICKERS PARK + DR. ROBERT B. HAYLING FREEDOM PARK

MASTER PLANNING Dr. Robert B Hayling Freedom Park Plan Phasing

05.18.23

City of St. Augustine + Lincolnville CRA | St. Augustine, Florida
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Program Element	Qty	Unit	Notes	Per Unit	Subtotal
PHASE A: Reunion Plaza + Biofiltration Gardens					
ELECTRICAL					
Pole Lighting	38	sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 228,000.00
Outdoor Receptacles	19	sf	assumes receptacle every other pole	\$ 2,000.00	\$ 38,000.00
HARDSCAPE					
Brick Seat Walls	438	lf	18" high brick wall + concrete cap; gathering plaza + overlook	\$ 1,000.00	\$ 437,500.00
Sidewalk - New	11,340	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 170,100.00
LANDSCAPE					
Lawn - Main Park	38,400	sf	assumes non-irrigated bahia	\$ 1.50	\$ 57,600.00
Natural Areas (i.e. mulch)	9,600	sf		\$ 0.60	\$ 5,760.00
Understory Trees	12	ea		\$ 1,000.00	\$ 12,000.00
Large Trees	6	ea		\$ 2,250.00	\$ 13,500.00
Palms	12	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 6,600.00
Rain Garden Landscape	54,180	sf	includes central depression + large depression	\$ 5.00	\$ 270,900.00
Rocks/Boulders	27,090	sf	in central rain garden area	\$ 2.50	\$ 67,725.00
Irrigation	54,180	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ 54,180.00
AMENITIES					
Benches	16	ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 32,000.00
Litter + Recycle Receptacles	14	ea	approximately every 200 lineal feet	\$ 750.00	\$ 10,500.00
Water Fountains	1	ea		\$ 1,500.00	\$ 1,500.00
Signage - Directional Signs	2	ea		\$ 2,500.00	\$ 5,000.00
Signage - Historic Signs	6	ea		\$ 2,500.00	\$ 15,000.00
BUILDING STRUCTURES					
Rain Garden Overlook Pavilion	2,175	sf		\$ 100.00	\$ 217,500.00
SITE PREP/GRADING					
Site Utilities	113,520	sf		\$ 0.25	\$ 28,380.00
Demo, Grading, Fill	113,520	sf		\$ 0.25	\$ 28,380.00
					SUBTOTAL \$ 1,700,125.00

CONTRACTOR'S COST			
General Conditions	5%		\$ 85,006.25
Misc. Insurance	2%		\$ 28,052.06
Fee	5%		\$ 85,006.25
OWNER'S ALLOWANCES			
Owner's Market Escalation	8% per yr	2	\$ 272,020.00
Design Fee Estimate	8%		\$ 136,010.00
Owner's Design Contingency	10% allowance		\$ 170,012.50
Owner's Construction Cont.	5% allowance		\$ 85,006.25

TOTAL PROBABLE CONSTRUCTION COST \$ 2,561,238.31

PHASE B: Iberia Streetscape + Main Parking					
ELECTRICAL					
Pole Lighting	54	sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 324,000.00
Outdoor Receptacles	27	sf	assumes receptacle every other pole	\$ 2,000.00	\$ 54,000.00
HARDSCAPE					
Sidewalk - New	6,360	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 95,400.00
New Asphalt	83,000	sf	main parking area + roadway	\$ 12.00	\$ 996,000.00
LANDSCAPE					
approximately 30% of overall lawn area					
Lawn - Main Park	57,600	sf	assumes non-irrigated bahia	\$ 1.50	\$ 86,400.00
Natural Areas (i.e. mulch)	14,400	sf		\$ 0.60	\$ 8,640.00
Understory Trees	18	ea		\$ 1,000.00	\$ 18,000.00
Large Trees	9	ea		\$ 2,250.00	\$ 20,250.00
Palms	18	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 9,900.00
Landscape (shrubs/groundcover)	43,575	sf	areas along Iberia Street parking + overlook + dog park	\$ 5.00	\$ 217,875.00
Mulch	43,575	sf		\$ 0.60	\$ 26,145.00
Irrigation	43,575	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ 43,575.00
AMENITIES					
Signage - Directional Signs	4	ea		\$ 2,500.00	\$ 10,000.00
BUILDING STRUCTURES					
excluded in other phases					
SITE PREP/GRADING					
Site Utilities	204,935	sf		\$ 0.25	\$ 51,233.75
Demo, Grading, Fill	204,935	sf		\$ 0.25	\$ 51,233.75
					SUBTOTAL \$ 2,012,652.50

CONTRACTOR'S COST			
General Conditions	5%		\$ 100,632.63
Misc. Insurance	2%		\$ 33,208.77
Fee	5%		\$ 100,632.63
OWNER'S ALLOWANCES			
Owner's Market Escalation	8% per yr	2	\$ 322,024.40
Design Fee Estimate	8%		\$ 161,012.20
Owner's Design Contingency	10% allowance		\$ 201,265.25
Owner's Construction Cont.	5% allowance		\$ 100,632.63

TOTAL PROBABLE CONSTRUCTION COST \$ 3,032,060.99

PHASE C: Dog Park					
ELECTRICAL					
Pole Lighting	29	sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 174,000.00
Outdoor Receptacles	15	sf	assumes receptacle every other pole	\$ 2,000.00	\$ 29,000.00
HARDSCAPE					
Fencing - Dog Park	730	lf	4" aluminum fence	\$ 40.00	\$ 29,200.00
Sidewalk - New	3,720	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 55,800.00
Parking Gravel	10,825	sf	dog park / kayak parking area	\$ 15.00	\$ 162,375.00
					SUBTOTAL \$ 247,375.00

TOTALS:	
Phase A	\$ 2,561,238.31
Phase B	\$ 3,032,060.99
Phase C	\$ 933,404.80
Phase D	\$ 1,301,614.49
Phase E	\$ 657,444.13
Phase F	\$ 410,189.82
Phase G	\$ 790.91
Phase H	\$ 2,848,249.16

CONTRACTOR'S COST	Included above
OWNER'S ALLOWANCES	Included above
	\$ 11,744,992.62

TOTALS:	
ELECTRICAL	\$ 1,069,000.00
HARDSCAPE	\$ 2,962,510.00
LANDSCAPE	\$ 1,236,625.00
AMENITIES	\$ 224,500.00
BUILDING STRUCTURES	\$ 2,052,500.00
SITE PREP/GRADING	\$ 251,076.50
CONTRACTOR'S COST	\$ 935,545.38
OWNER'S ALLOWANCES	\$ 3,040,522.49

LANDSCAPE		approximately 15% of overall lawn area			\$	127,395.00
Lawn - Dog Park	16,960 sf	assumes bahia, irrigated	\$ 1.50	\$	25,440.00	
Lawn - Main Park	28,600 sf	assumes non-irrigated bahia	\$ 1.50	\$	43,200.00	
Natural Areas (i.e. mulch)	7,200 sf		\$ 0.60	\$	4,320.00	
Understory Trees	10 ea		\$ 1,000.00	\$	10,000.00	
Large Trees	5 ea		\$ 2,250.00	\$	11,250.00	
Palms	10 ea	regenerated cabbage palms assumed	\$ 550.00	\$	5,500.00	
Landscape (shrubs/groundcover)	1,625 sf	areas along Ribera Street parking + overlook + dog park	\$ 5.00	\$	8,125.00	
Mulch	1,625 sf		\$ 0.60	\$	975.00	
Irrigation	18,555 sf	dog park, landscape areas, rain garden	\$ 1.00	\$	18,555.00	
AMENITIES					\$	7,250.00
Benches	2 ea	11 locations x 2 benches per location	\$ 2,000.00	\$	4,000.00	
Litter + Recycle Receptacles	1 ea	approximately every 200 lineal feet	\$ 750.00	\$	750.00	
Signage - Directional Signs	1 ea		\$ 2,500.00	\$	2,500.00	
BUILDING STRUCTURES		excluded, in other phases			\$	-
SITE PREP/GRADING					\$	34,565.00
Site Utilities	69,130 sf		\$ 0.25	\$	17,282.50	
Demo, Grading, Fill	69,130 sf		\$ 0.25	\$	17,282.50	
					SUBTOTAL	\$ 619,555.00
CONTRACTOR'S COST						
General Conditions		5%		\$	30,979.25	
Misc. Insurance		2%		\$	10,223.15	
Fee		5%		\$	30,979.25	
OWNER'S ALLOWANCES						
Owner's Market Escalation		8% per yr	2	\$	99,133.60	
Design Fee Estimate		8%		\$	49,566.80	
Owner's Design Contingency		10% allowance		\$	61,958.50	
Owner's Construction Cont.		5% allowance		\$	30,979.25	
					TOTAL PROBABLE CONSTRUCTION COST	\$ 933,404.80

PHASE D: Kayak Launch + Fishing Pier						
ELECTRICAL					\$	105,000.00
Pole Lighting	15 sf	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$	90,000.00	
Outdoor Receptacles	8 sf	assumes receptacle every other pole	\$ 2,000.00	\$	15,000.00	
HARDSCAPE					\$	678,385.00
Sidewalk - New	600 sf	approximately 50% new; 50% reused	\$ 15.00	\$	9,000.00	
Parking Gravel	10,825 sf	dog park / kayak parking area	\$ 15.00	\$	162,375.00	
Kayak/Fishing Pier	7,243 sf	assumes tree style decking + PT supports	\$ 70.00	\$	507,010.00	
LANDSCAPE		approximately 10% of overall lawn area			\$	54,330.00
Lawn - Main Park	19,200 sf	assumes non-irrigated bahia	\$ 1.50	\$	28,800.00	
Natural Areas (i.e. mulch)	4,800 sf		\$ 0.60	\$	2,880.00	
Understory Trees	6 ea		\$ 1,000.00	\$	6,000.00	
Large Trees	3 ea		\$ 2,250.00	\$	6,750.00	
Palms	6 ea	regenerated cabbage palms assumed	\$ 550.00	\$	3,300.00	
Landscape (shrubs/groundcover)	1,000 sf	areas along Ribera Street parking + overlook + dog park	\$ 5.00	\$	5,000.00	
Mulch	1,000 sf		\$ 0.60	\$	600.00	
Irrigation	1,000 sf	dog park, landscape areas, rain garden	\$ 1.00	\$	1,000.00	
AMENITIES					\$	4,750.00
Benches	- ea	11 locations x 2 benches per location	\$ 2,000.00	\$	-	
Litter + Recycle Receptacles	1 ea	approximately every 200 lineal feet	\$ 750.00	\$	750.00	
Water Fountains	1 ea		\$ 1,500.00	\$	1,500.00	
Signage - Directional Signs	1 ea		\$ 2,500.00	\$	2,500.00	
BUILDING STRUCTURES		excluded, in other phases			\$	-
SITE PREP/GRADING					\$	21,534.00
Site Utilities	43,068 sf		\$ 0.25	\$	10,767.00	
Demo, Grading, Fill	43,068 sf		\$ 0.25	\$	10,767.00	
					SUBTOTAL	\$ 863,999.00
CONTRACTOR'S COST						
General Conditions		5%		\$	43,199.95	
Misc. Insurance		2%		\$	14,255.98	
Fee		5%		\$	43,199.95	
OWNER'S ALLOWANCES						
Owner's Market Escalation		8% per yr	2	\$	138,239.84	
Design Fee Estimate		8%		\$	69,119.92	
Owner's Design Contingency		10% allowance		\$	86,399.90	
Owner's Construction Cont.		5% allowance		\$	43,199.95	
					TOTAL PROBABLE CONSTRUCTION COST	\$ 1,301,614.49

PHASE E: Playground						
ELECTRICAL		excluded, in other phases			\$	-
HARDSCAPE					\$	251,750.00
Playground Surface	7,700 sf		\$ 25.00	\$	192,500.00	
Tot Area Basketball	3,950 sf	adjacent to playground; assumes concrete	\$ 15.00	\$	59,250.00	
LANDSCAPE		approximately 10% of overall lawn area			\$	53,080.00
Lawn - Main Park	19,200 sf	assumes non-irrigated bahia	\$ 1.50	\$	28,800.00	
Natural Areas (i.e. mulch)	4,800 sf		\$ 0.60	\$	2,880.00	
Understory Trees	8 ea		\$ 1,000.00	\$	8,000.00	
Large Trees	4 ea		\$ 2,250.00	\$	9,000.00	
Palms	8 ea	regenerated cabbage palms assumed	\$ 550.00	\$	4,400.00	
Irrigation	- sf	dog park, landscape areas, rain garden	\$ 1.00	\$	-	
AMENITIES					\$	111,250.00
Benches	2 ea	11 locations x 2 benches per location	\$ 2,000.00	\$	4,000.00	
Litter + Recycle Receptacles	1 ea	approximately every 200 lineal feet	\$ 750.00	\$	750.00	
Water Fountains	1 ea		\$ 1,500.00	\$	1,500.00	
In-ground Basketball Hoops	2 ea	tot area basketball	\$ 1,250.00	\$	2,500.00	
Playground	1 ea		\$ 100,000.00	\$	100,000.00	
Signage - Historic Signs	1 ea		\$ 2,500.00	\$	2,500.00	

PHASE F: Sidewalk Games + Neighborhood Entry						
ELECTRICAL						
Pole Lighting	11	sf	assumes 10' pole light approximately every 25'	\$	6,000.00	\$ 66,000.00
Outdoor Receptacles	6	sf	assumes receptacle every other pole	\$	2,000.00	\$ 11,000.00
HARDSCAPE						
Sidewalk Games Surface	3,400	sf		\$	20.00	\$ 68,000.00
Sidewalk - New	1,200	sf	approximately 50% new; 50% reused	\$	15.00	\$ 18,000.00
LANDSCAPE						
			approximately 10% of overall lawn area	\$		\$ 66,930.00
Lawn - Main Park	19,200	sf	assumes non-irrigated bahia	\$	1.50	\$ 28,800.00
Natural Areas (i.e., mulch)	4,800	sf		\$	0.60	\$ 2,880.00
Understory Trees	6	ea		\$	1,000.00	\$ 6,000.00
Large Trees	3	ea		\$	2,250.00	\$ 6,750.00
Palms	6	ea	regenerated cabbage palms assumed	\$	550.00	\$ 3,300.00
Irrigation	19,200	sf	dog park, landscape areas, rain garden	\$	1.00	\$ 19,200.00
AMENITIES						
Benches	2	ea	11 locations x 2 benches per location	\$	2,000.00	\$ 4,000.00
Litter + Recycle Receptacles	1	ea	approximately every 200 lineal feet	\$	750.00	\$ 750.00
Signage - Historic Signs	3	ea		\$	2,500.00	\$ 7,500.00
Signage - Main Signs	3	ea		\$	5,000.00	\$ 15,000.00
BUILDING STRUCTURES						
Signage - Directional Signs	1	ea		\$	2,500.00	\$ 2,500.00
SITE PREP/GRADING						
Site Utilities	25,200	sf		\$	0.25	\$ 6,300.00
Demo, Grading, Fill	25,200	sf		\$	0.25	\$ 6,300.00
					SUBTOTAL	\$ 272,280.00
CONTRACTOR'S COST						
General Conditions				5%		\$ 13,614.00
Misc. Insurance				2%		\$ 4,492.62
Fee				5%		\$ 13,614.00
OWNER'S ALLOWANCES						
Owner's Market Escalation				8% per yr	2	\$ 43,564.80
Design Fee Estimate				8%		\$ 21,782.40
Owner's Design Contingency				10% allowance		\$ 27,228.00
Owner's Construction Cont.				5% allowance		\$ 13,614.00
					TOTAL PROBABLE CONSTRUCTION COST	\$ 410,189.82

PHASE H: Sports Court Cover					
ELECTRICAL					\$ 40,000.00
Covered Pavilion Lighting	20 ea	assumes canopy light every 900sf	\$ 1,000.00	\$ 20,000.00	
Outdoor Receptacles	10 sf	assumes receptacle every other pole	\$ 2,000.00	\$ 20,000.00	
HARDSCAPE					\$ -
<i>excluded in other phases</i>					

LANDSCAPE		approximately 5% of overall lawn area				\$	15,840.00
Lawn - Main Park	9,600	sf	assumes 1.50 sf/sq ft	\$	1.50	\$	14,400.00
Natural Areas (e. mulch)	2,400	sf		\$	0.60	\$	1,440.00
Irrigation	-	sf	non-irrigated	\$	1.00	\$	-
AMENITIES						\$	-
excluded in other phases							
BUILDING STRUCTURES						\$	1,830,000.00
Basketball Pavilion	18,300	sf	split level some specialty detailing (based on FCP similar project)	\$	100.00	\$	1,830,000.00
SITE PREP/GRADING						\$	4,800.00
Site Utilities	9,600	sf		\$	0.25	\$	2,400.00
Demol, Grading, Fill	9,600	sf		\$	0.25	\$	2,400.00
						SUBTOTAL	\$ 1,830,640.00
CONTRACTOR'S COST							
General Conditions			5%			\$	94,532.00
Misc. Insurance			2%			\$	31,195.56
Fee			5%			\$	94,532.00
OWNER'S ALLOWANCES							
Owner's Market Escalation			6% per yr	2		\$	302,507.40
Design Fee Estimate			8%			\$	151,251.20
Owner's Design Contingency			10% allowance			\$	189,064.00
Owner's Construction Cont.			5% allowance			\$	94,532.00
						TOTAL PROBABLE CONSTRUCTION COST	\$ 2,848,249.16

Program Element	Qty	Unit	Notes	Per Unit	Subtotal	
PHASE A: Gathering Plaza						
ELECTRICAL						\$ 102,000.00
Pole Lighting	17	ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 102,000.00	
HARDSCAPE						\$ 402,000.00
Brick Seat Walls	150	lf	18" high brick wall + concrete cap; gathering plaza + overlook	\$ 1,000.00	\$ 150,000.00	
Sidewalk - New	-	sf	approximately 50% new; 50% reused	\$ 15.00	\$ -	
Entry Plaza	2,500	sf		\$ -	\$ -	
New Asphalt	21,000	sf	main parking area + roadway	\$ 12.00	\$ 252,000.00	
LANDSCAPE						\$ 8,220.47
Landscape (shrubs/groundcover)	2,586	sf		\$ 1.50	\$ 3,878.91	
Mulch	2,586	sf		\$ 0.60	\$ 1,551.56	
Understory Trees	2	ea		\$ 1,000.00	\$ 1,800.00	
Large Trees	-	ea		\$ 2,250.00	\$ -	
Palms	2	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 990.00	
Irrigation		sf		\$ 1.00	\$ -	
AMENITIES						\$ 15,300.00
Chess Tables + Chairs	3	ea	1 concrete table and 2 concrete seats per set	\$ 1,600.00	\$ 4,800.00	
Flag Poles	3	ea	US Flag, State of Florida flag, City of St Augustine flag	\$ 3,000.00	\$ 9,000.00	
Litter + Recycle Receptacles	2	ea	approximately every 200 lineal feet	\$ 750.00	\$ 1,500.00	
BUILDING STRUCTURES						\$ -
<i>excluded; in other phases</i>						
SITE PREP/GRADING						\$ 10,182.50
Site Utilities	20,250	sf		\$ 0.25	\$ 5,062.50	
Demo, Grading, Fill	20,480	sf		\$ 0.25	\$ 5,120.00	
					SUBTOTAL	\$ 537,702.97
CONTRACTOR'S COST						
General Conditions				5%		\$ 26,885.15
Misc. Insurance				2%		\$ 8,872.10
Fee				5%		\$ 26,885.15
OWNER'S ALLOWANCES						
Owner's Market Escalation				8% per yr	2	\$ 86,032.48
Design Fee Estimate				8%		\$ 43,016.24
Owner's Design Contingency				10% allowance		\$ 53,770.30
Owner's Construction Cont.				5% allowance		\$ 26,885.15
TOTAL PROBABLE CONSTRUCTION COST						\$ 810,049.53
PHASE B: New Pathway						
ELECTRICAL						\$ 144,400.00
Path Light	60	ea	assumes 1 path light approximately every 10'	\$ -	\$ -	
Pole Lighting	24	ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 144,400.00	
HARDSCAPE						\$ 54,150.00
Sidewalk - New	3,610	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 54,150.00	
LANDSCAPE						\$ 336,806.00
Lawn - Active Area	52,894	sf	assumes non-irrigated bahia	\$ 1.50	\$ 79,341.00	
Lawn - Meadow	405,004	sf	existing landscape to remain	\$ -	\$ -	
Understory Trees	8	ea		\$ 1,000.00	\$ 7,500.00	
Large Trees	-	ea		\$ 2,250.00	\$ -	
Palms	8	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 4,125.00	
Landscape (shrubs/groundcover)	10,775	sf		\$ 5.00	\$ 219,500.00	
Mulch	10,775	sf		\$ 0.60	\$ 26,340.00	
Irrigation		sf		\$ 1.00	\$ -	
AMENITIES						\$ 19,000.00
Benches	8	ea	8 locations x 2 benches per location	\$ 2,000.00	\$ 16,000.00	
Litter + Recycle Receptacles	-	ea	approximately every 200 lineal feet	\$ 750.00	\$ -	
Water Fountains	2	ea		\$ 1,500.00	\$ 3,000.00	
BUILDING STRUCTURES						\$ 29,000.00
Pavilions	290	sf		\$ 100.00	\$ 29,000.00	
SITE PREP/GRADING						\$ 71,277.50
Site Utilities	141,750	sf		\$ 0.25	\$ 35,437.50	
Demo, Grading, Fill	143,360	sf		\$ 0.25	\$ 35,840.00	
					SUBTOTAL	\$ 654,633.50
CONTRACTOR'S COST						
General Conditions				5%		\$ 32,731.68
Misc. Insurance				2%		\$ 10,801.45
Fee				5%		\$ 32,731.68
OWNER'S ALLOWANCES						
Owner's Market Escalation				8% per yr	2	\$ 104,741.36
Design Fee Estimate				8%		\$ 52,370.68
Owner's Design Contingency				10% allowance		\$ 65,463.35
Owner's Construction Cont.				5% allowance		\$ 32,731.68
TOTAL PROBABLE CONSTRUCTION COST						\$ 986,205.37

TOTALS:	
Phase A	\$ 810,049.53
Phase B	\$ 986,205.37
Phase C	\$ 1,223,837.06
Phase D	\$ 479,226.18
Phase E	\$ 1,628,407.64
Phase F	\$ 388,358.77
	\$ 5,516,084.55

TOTALS:	
ELECTRICAL	\$ 804,480.00
HARDSCAPE	\$ 1,838,430.00
LANDSCAPE	\$ 548,163.10
AMENITIES	\$ 78,300.00
BUILDING STRUCTURES	\$ 188,500.00
SITE PREP/GRADING	\$ 203,650.00
CONTRACTOR'S COST	\$ 439,382.77
OWNER'S ALLOWANCES	\$ 1,427,994.01

ELECTRICAL											
Path Light	112	ea	assumes 1 path light approximately every 10'	\$	-	\$	-				
Pole Lighting	45	ea	assumes 10' pole light approximately every 25'	\$	6,000.00	\$	267,800.00				
HARDSCAPE											
Curved Overlook	5,550	sf		\$	60.00	\$	333,000.00				
Resurface Existing Sidewalk	6,695	sf	approximately 50% new; 50% reused	\$	15.00	\$	100,425.00				
LANDSCAPE											
Understory Trees	8	ea		\$	1,000.00	\$	7,500.00				
Large Trees	-	ea		\$	2,250.00	\$	-				
Palms	8	ea	regenerated cabbage palms assumed	\$	550.00	\$	4,125.00				
Landscape (shrubs/groundcover)	10,775	sf	areas along Iberia Street parking + overlook + dog park	\$	5.00	\$	53,873.75				
Mulch	10,775	sf		\$	0.60	\$	6,464.85				
Irrigation		sf	dog park, landscape areas, rain garden	\$	1.00	\$	-				
AMENITIES											
Benches		ea	11 locations x 2 benches per location	\$	2,000.00	\$	-				
Litter + Recycle Receptacles		ea	approximately every 200 lineal feet	\$	750.00	\$	-				
BUILDING STRUCTURES											
Pavilions	290	sf		\$	100.00	\$	29,000.00				
SITE PREP/GRADING											
Site Utilities	20,250	sf		\$	0.25	\$	5,062.50				
Demo, Grading, Fill	20,480	sf		\$	0.25	\$	5,120.00				
								SUBTOTAL	\$		812,371.10
CONTRACTOR'S COST											
General Conditions					5%			\$		40,618.56	
Misc. Insurance					2%			\$		13,404.12	
Fee					5%			\$		40,618.56	
OWNER'S ALLOWANCES											
Owner's Market Escalation					8% per yr		2	\$		129,979.38	
Design Fee Estimate					8%			\$		64,989.69	
Owner's Design Contingency					10% allowance			\$		81,237.11	
Owner's Construction Cont.					5% allowance			\$		40,618.56	
TOTAL PROBABLE CONSTRUCTION COST								\$		1,223,837.00	

PHASE 1: Statue Plaza for Dr. Robert D. Young				\$	138,920.00
ELECTRICAL					
Path Light	28	ea	assumes 1 path light approximately every 10'	\$ -	\$ -
Pole Lighting	23	ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 138,920.00
HARDSCAPE				\$	52,095.00
Sidewalk - New	3,473	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 52,095.00
Statue Plaza	1,196	sf		\$ -	\$ -
LANDSCAPE				\$	43,178.16
Understory Trees	5	ea		\$ 1,000.00	\$ 4,500.00
Large Trees	-	ea		\$ 2,250.00	\$ -
Palms	5	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 2,475.00
Landscape (shrubs/groundcover)	6,465	sf	areas along Riberia Street parking + overlook + dog park	\$ 5.00	\$ 32,324.25
Mulch	6,465	sf		\$ 0.60	\$ 3,878.91
Irrigation		sf	dog park, landscape areas, rain garden	\$ 1.00	\$ -
AMENITIES				\$	33,000.00
Benches	4	ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 8,000.00
Litter + Recycle Receptacles		ea	approximately every 200 lineal feet	\$ 750.00	\$ -
Dr. Hayling Sculpture	1	ea	life size bronze statue with base	\$ 25,000.00	\$ 25,000.00
BUILDING STRUCTURES				\$	-
<i>excluded; in other phases</i>					
SITE PREP/GRADING				\$	50,912.50
Site Utilities	101,250	sf		\$ 0.25	\$ 25,312.50
Demo, Grading, Fill	102,400	sf		\$ 0.25	\$ 25,600.00
				SUBTOTAL	\$ 318,105.66
CONTRACTOR'S COST					
General Conditions			5%	\$	15,905.28
Misc. Insurance			2%	\$	5,248.74
Fee			5%	\$	15,905.28
OWNER'S ALLOWANCES					
Owner's Market Escalation			8% per yr	2	\$ 50,896.91
Design Fee Estimate			8%		\$ 25,448.45
Owner's Design Contingency			10% allowance		\$ 31,810.57
Owner's Construction Cont.			5% allowance		\$ 15,905.28
TOTAL PROBABLE CONSTRUCTION COST				\$	479,226.16

PHASE E: Marsh Overlook Boardwalk + Path					\$	60,760.00
ELECTRICAL						
Path Light	25	ea	assumes 1 path light approximately every 10'	\$ -	\$ -	
Pole Lighting	10	ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 60,760.00	
HARDSCAPE					\$	862,785.00
Elevated Overlook	5,600	sf		\$ 150.00	\$ 840,000.00	
New Sidewalk	1,519	sf	approximately 50% new; 50% reused	\$ 15.00	\$ 22,785.00	
LANDSCAPE					\$	71,963.60
Understory Trees	8	ea		\$ 1,000.00	\$ 7,500.00	
Large Trees	-	ea		\$ 2,250.00	\$ -	
Palms	8	ea	regenerated cabbage palms assumed	\$ 550.00	\$ 4,125.00	
Landscape (shrubs/groundcover)	10,775	sf	areas along Ribiera Street parking + overlook + dog park	\$ 5.00	\$ 53,873.75	
Mulch	10,775	sf		\$ 0.60	\$ 6,464.85	

Irrigation	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ -		
AMENITIES						
Benches	2 ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 4,000.00		\$ 5,500.00
Litter + Recycle Receptacles	- ea	approximately every 200 lineal feet	\$ 750.00	\$ -		
Water Fountains	1 ea		\$ 1,500.00	\$ 1,500.00		
BUILDING STRUCTURES						
Pavilions	290 sf		\$ 100.00	\$ 29,000.00		\$ 29,000.00
SITE PREP/GRADING						
Site Utilities	101,250 sf		\$ 0.25	\$ 25,312.50		\$ 50,912.50
Demo, Grading, Fill	102,400 sf		\$ 0.25	\$ 25,600.00		
SUBTOTAL						\$ 1,080,921.10

CONTRACTOR'S COST						
General Conditions		5%			\$	54,046.06
Misc. Insurance		2%			\$	17,835.20
Fee		5%			\$	54,046.06
OWNER'S ALLOWANCES						
Owner's Market Escalation		8% per yr	2	\$		172,947.38
Design Fee Estimate		8%		\$		86,473.69
Owner's Design Contingency		10% allowance		\$		108,092.11
Owner's Construction Cont.		5% allowance		\$		54,046.06
TOTAL PROBABLE CONSTRUCTION COST						\$ 1,628,407.64

PHASE F: Restroom Pavilion						
ELECTRICAL						\$ 90,600.00
Path Light	38 ea	assumes 1 path light approximately every 10'	\$ -	\$ -		
Pole Lighting	15 ea	assumes 10' pole light approximately every 25'	\$ 6,000.00	\$ 90,600.00		
HARDSCAPE						\$ 33,975.00
Sidewalk - New	2,265 sf	approximately 50% new; 50% reused	\$ 15.00	\$ 33,975.00		
LANDSCAPE						\$ 16,031.26
Understory Trees	1 ea		\$ 1,000.00	\$ 1,000.00		
Large Trees	- ea		\$ 2,250.00	\$ -		
Palms	1 ea	regenerated cabbage palms assumed	\$ 550.00	\$ 550.00		
Landscape (shrubs/groundcover)	2,586 sf	areas along Ribena Street parking + overlook + dog park	\$ 5.00	\$ 12,929.70		
Mulch	2,586 sf		\$ 0.60	\$ 1,551.56		
Irrigation	sf	dog park, landscape areas, rain garden	\$ 1.00	\$ -		
AMENITIES						\$ 5,500.00
Benches	2 ea	11 locations x 2 benches per location	\$ 2,000.00	\$ 4,000.00		
Litter + Recycle Receptacles	ea	approximately every 200 lineal feet	\$ 750.00	\$ -		
Water Fountains	1 ea		\$ 1,500.00	\$ 1,500.00		
BUILDING STRUCTURES						\$ 101,500.00
Restroom Pavilion	290 sf	single building at northmost corner of site	\$ 350.00	\$ 101,500.00		
SITE PREP/GRADING						\$ 10,182.50
Site Utilities	20,250 sf		\$ 0.25	\$ 5,062.50		
Demo, Grading, Fill	20,480 sf		\$ 0.25	\$ 5,120.00		
SUBTOTAL						\$ 257,788.76
CONTRACTOR'S COST						
General Conditions		5%		\$		12,889.44
Misc. Insurance		2%		\$		4,253.51
Fee		5%		\$		12,889.44
OWNER'S ALLOWANCES						
Owner's Market Escalation		8% per yr	2	\$		41,246.20
Design Fee Estimate		8%		\$		20,623.10
Owner's Design Contingency		10% allowance		\$		25,778.88
Owner's Construction Cont.		5% allowance		\$		12,889.44
TOTAL PROBABLE CONSTRUCTION COST						\$ 388,358.77



ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
CITY OF ST. AUGUSTINE, FLORIDA

CITY OF ST. AUGUSTINE

MEMORANDUM

TO: The Honorable Chair and Board Members
City of St. Augustine Community Redevelopment Agency

DATE: July 12, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;
LCRA Architectural Guidelines Presentation and Recommendation

Attached please find the Lincolnville Community Redevelopment Area (LCRA) Architectural Guidelines and the LCRA Architectural Guidelines Quick Reference Guide. These documents have been developed in an effort to address one of the priority goals in the Lincolnville Community Redevelopment Plan Amendment: "Preserve Lincolnville's Historic Character".

The LCRA Plan Amendment addresses many challenges and concerns within the Lincolnville Community. Of those concerns and challenges, the plan addresses the preservation of the architectural integrity in Lincolnville. The plan recommends that staff make an effort to preserve the "Historic Lincolnville Look" by establishing an overlay district. In an effort to initiate a good faith effort of accomplishing this goal, staff retained the landscape, architecture, and planning firm Marquis, Latimer, and Halback to conduct a series of neighborhood engagement walks, workshops, and to ultimately develop the building design guidelines. During the walks, staff, the consultant, and community stakeholders helped to identify historic features of residential and commercial structures within the CRA boundaries. Of the many contributing features, porches, the roof pitch, windows, and siding have been identified as the items of utmost importance when rehabbing, restoring, or building a new structure in the Lincolnville Community.

During the October 17, 2022, LCRA Steering Committee Meeting a unanimous committee consensus in favor of distributing the LCRA Architectural Guidelines was noted. While the board and residents during public comment requested that the guidelines be evolved into standards, citing the guidelines should be a requirement for rehabilitations and new builds, staff and the consultant explained that guidelines could help to create a culture of preserving the architectural integrity in Lincolnville.

Recommendation:

The latest version of the LCRA Architectural Guidelines is vast and contains very

detailed information related to the rich architectural history of Lincolnville. The Architectural Guidelines address in precise detail information that could easily assist homeowners, property owners, builders (developers), and/or architects in creating context-sensitive structures that reflect the architectural history of Lincolnville.

While the LCRA Architectural Guidelines is an intriguing and informative document, its robust context could be intimidating and deter readers. In consideration of internal staff conversations, and conversations with Steering Committee Members and board members, staff requested that the retained firm create a user-friendly, quick reference guide that would highlight the architectural components that have been deemed the most significant. This guide should be made available on the City and CRA websites and marketed to property owners and developers. Making the document available to users prior to the permitting process could aid in the consciousness of developing historically appropriate structures.

City staff is asking the CRA Board to:

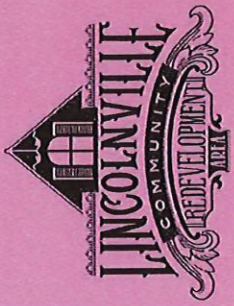
1. Make a motion to formally adopt the Lincolnville CRA Architectural Guidelines and Quick Reference Guide and authorize City staff to distribute the LCRA Architectural Guidelines through the City's Planning and Building Department, Neighborhood Services, and Community Redevelopment Agency Division in an effort to encourage historically appropriate development and rehabilitation of structures in the Lincolnville Community and CRA.



Jaime D. Perkins
Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: Lincolnville CRA Architectural Guidelines, Lincolnville CRA Guidelines Quick Reference Guide



Lincolnville Community Redevelopment Area

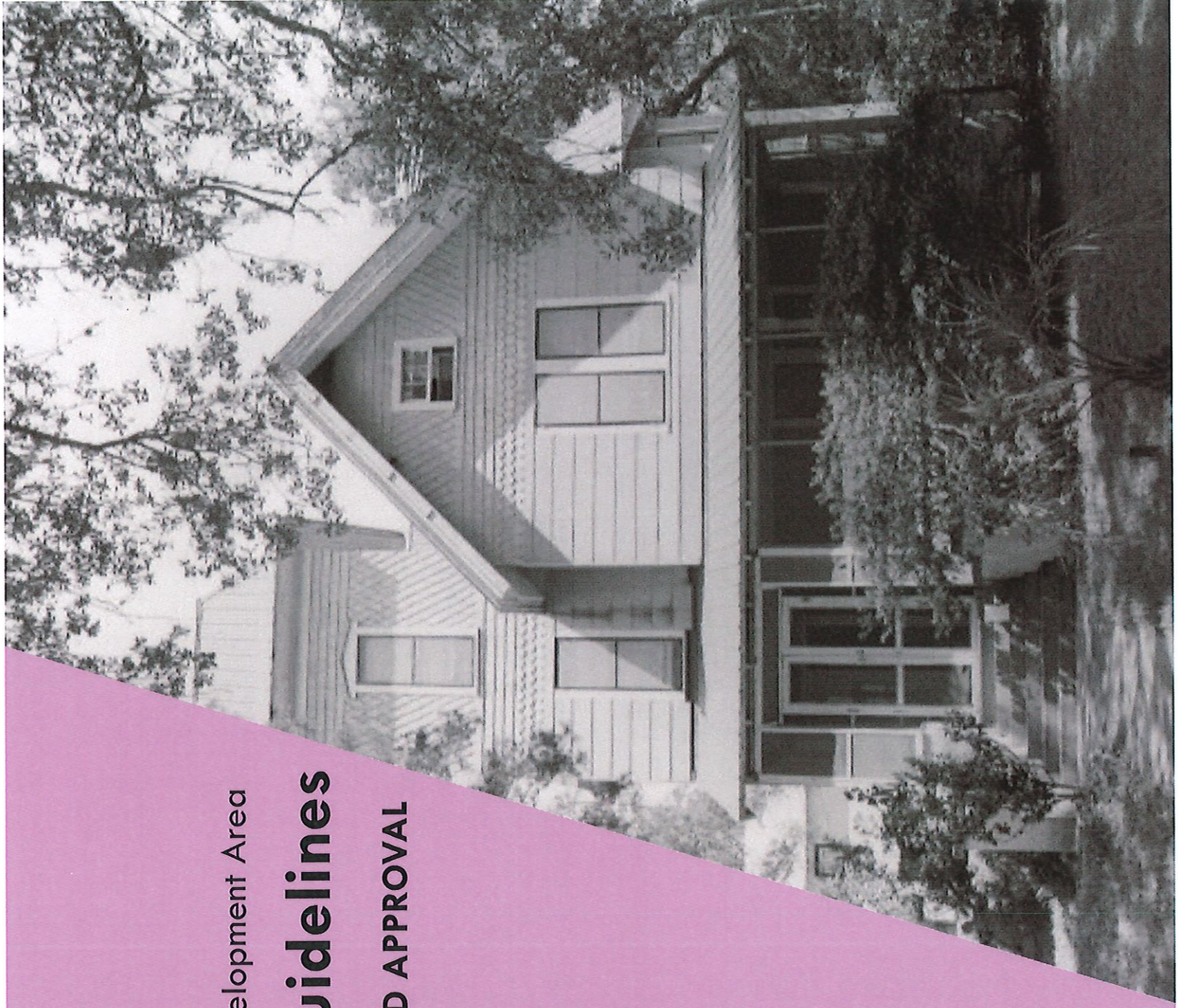
Architectural Guidelines

FINAL VERSION FOR BOARD APPROVAL

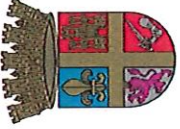
July 10, 2023



ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
CITY OF ST. AUGUSTINE FLORIDA







ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
CITY OF ST. AUGUSTINE, FLORIDA

Community Redevelopment Agency Board

Mayor Nancy Sikes-Kline

Vice Mayor Roxanne Horvath

Commissioner Barbara Blonder

Commissioner Cynthia Garris

Commissioner Jim Springfield

Lincolnville CRA Steering Committee

James St. George, Chair

Mari Hayes, Vice Chair

Madeline Wise

Kenneth "Ken" McClain, Sr.

Dalonja Duncan

City of St. Augustine

Community Redevelopment Agency

Jaime D. Perkins, MPA, PMP

Neighborhood Services and CRA Manager

City of St. Augustine City Manager Office

Reuben C. Franklin, P.E.

Assistant City Manager

Prepared by Marquis Latimer + Halback, Inc.

FINAL VERSION FOR BOARD APPROVAL | July 10, 2023



ML+H LES THOMAS
ARCHITECT



Open City
Architecture



GUIDELINES FOR INFORMATIONAL PURPOSES

These voluntary guidelines are intended for informational purposes only at this time.

We hope that you consider incorporating them in your renovations or new construction to honor the architectural history of Lincolnville.



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Section 1

PURPOSE & INTENT

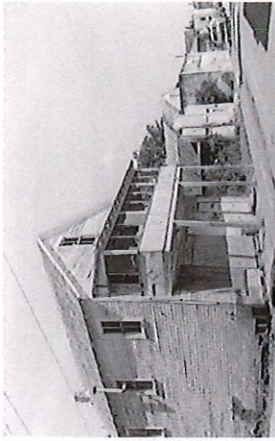
Twine, Richard Aloysius, 1896-1974. The Demps family outside of their home. 1922 (circa). State Archives of Florida, Florida Memory. <<https://www.floridamemory.com/items/show/132523>>, accessed 28 July 2022.



SECTION 1

PURPOSE & INTENT

1.1 Preserving Lincolnville + Maintaining a Vibrant Neighborhood



Images from the
1991 NRHD
Application.

Lincolnville is a neighborhood with rich history, especially regarding the African American settlements within the City of St. Augustine. In fact, Lincolnville and the City of St Augustine have the oldest record of continuous African American settlement in the United States dating from Pedro Menendez's founding of the city in 1565 to the present day.

In addition to Lincolnville's cultural legacy, Lincolnville has an incredible built history being, "... the densest concentration and most numerous examples of historic structures." (NRHD Application, page 48)

The buildings in Lincolnville range from Frame Vernacular, Masonry Vernacular, Frame/Masonry Vernacular, Bungalow, Gothic Revival, Mediterranean Revival, Italianate, Queen Anne, Tudor, Victorian Era, and potentially Pre-Colonial archaeological footprints. The cultural and built history of Lincolnville are protected by the National Register of Historic Places designation, but it is incumbent on all homeowners, property owners, and the community to care for these treasures.

These guidelines aim to identify, protect, and encourage the continued development of Lincolnville's built history, balancing preservation with maintaining a vibrant, livable residential district.

Commercial Property?

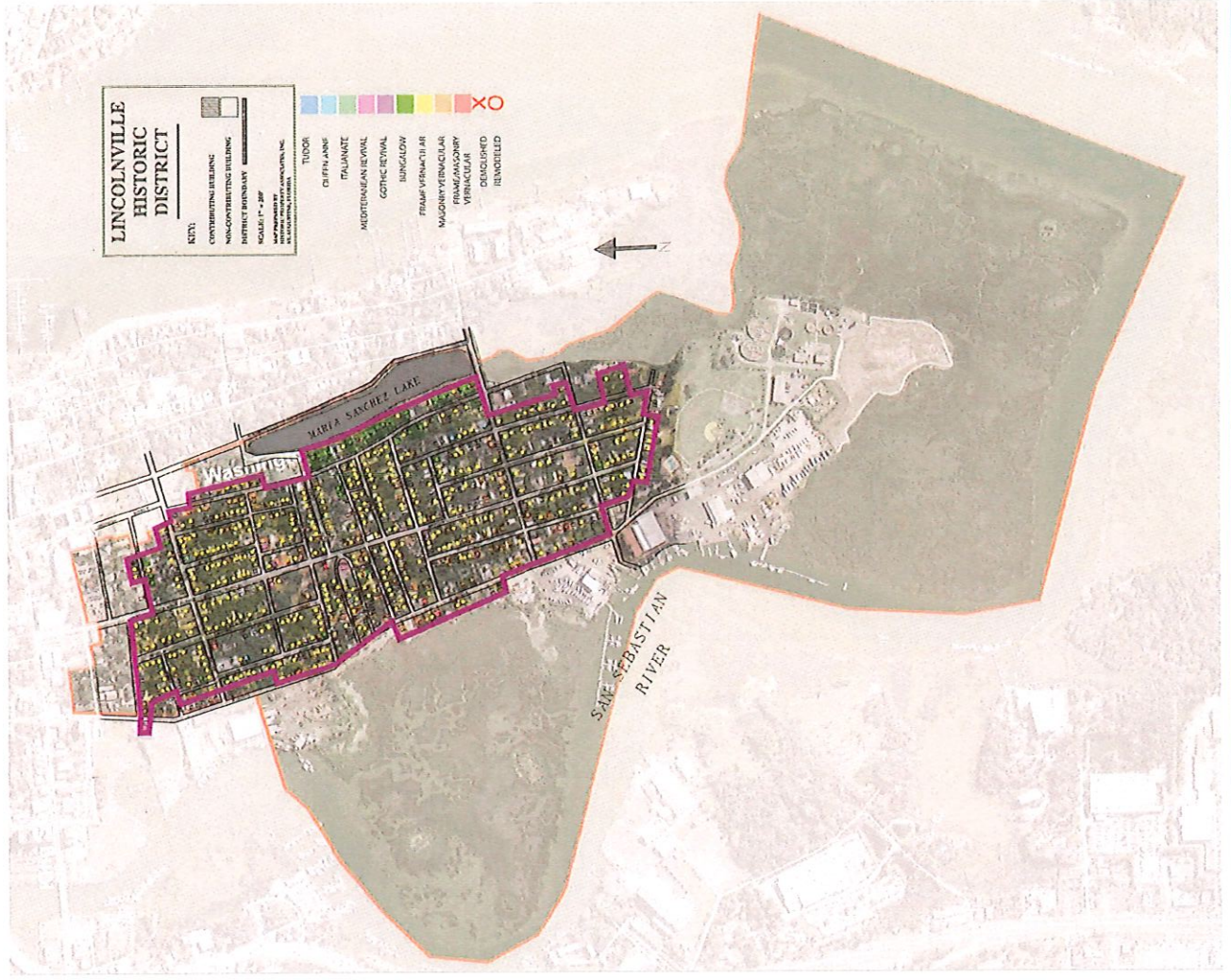
Please reference the *King Street Entrance Corridor Standards* for traditional commercial architecture. A brief summary is included in the **Appendix** of key aspects. Note that the Lincolnville Architectural Guidelines provide guidance for frame vernacular structures whether used for residential or commercial uses.



Blue Hen Café is one example of Traditional Commercial which can be found in Lincolnville.
Image from Google Street View.



City of St. Augustine Lincolnville CRA Architectural Guidelines



Overlay of the Lincolnville Register Historic District (in purple) with the Lincolnville CRA (in orange). These guidelines are applicable to properties throughout the Lincolnville CRA.

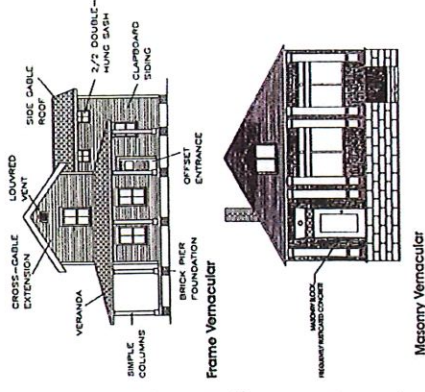
Image from ML+H.



1.2 Residential + Commercial Structures

While a majority of the structures and zoning within Lincolnville are residential and frame vernacular, there are also commercial zoning and traditional commercial structures, especially along Ribera Street, Dr. Martin Luther King, Jr. Avenue (formerly Central Avenue) and Washington Street. For rehabilitations / additions / new construction for traditional commercial structures in Lincolnville, the *King Street Entrance Corridor Standards* (City of St. Augustine) are recommended.

In particular, the East King Street district is applicable to the commercial structures of the Lincolnville era and provide helpful guidance for applicable properties throughout the neighborhood. *Note that properties within the Lincolnville neighborhood are outside of the Entrance Corridor properties required to present at the Corridor Review Committee.*



Style comparison of Frame and Masonry Vernacular. Graphic from City of St. Augustine Architectural Guidelines for Historic Preservation.

1.3 Key Architectural Features

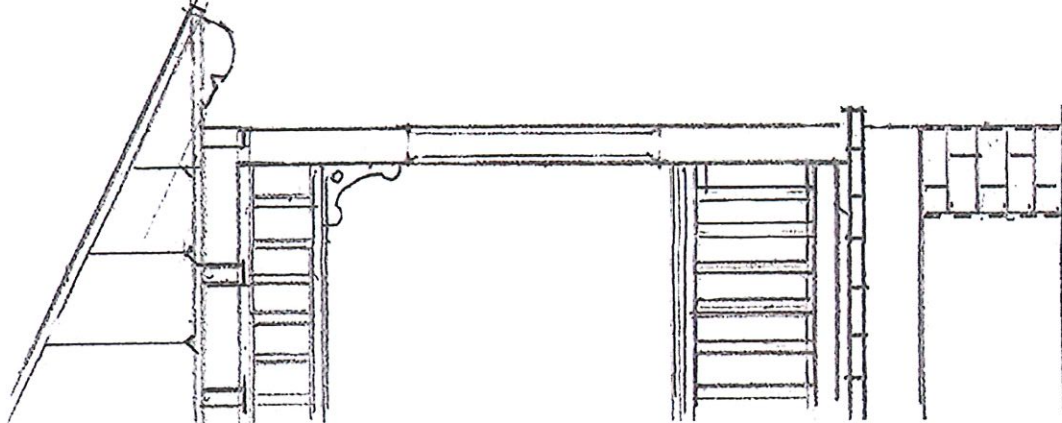
Note that two of the most important architectural features are the front porch and appropriate roof pitch (angle and shape of roof). See section 5 for more on these key items.

1.4 Historic Background

The summary below is extrapolated and condensed from the NRHD Application for Lincolnville. The full report is accessible here: <https://catalog.archives.gov/id/77844051>

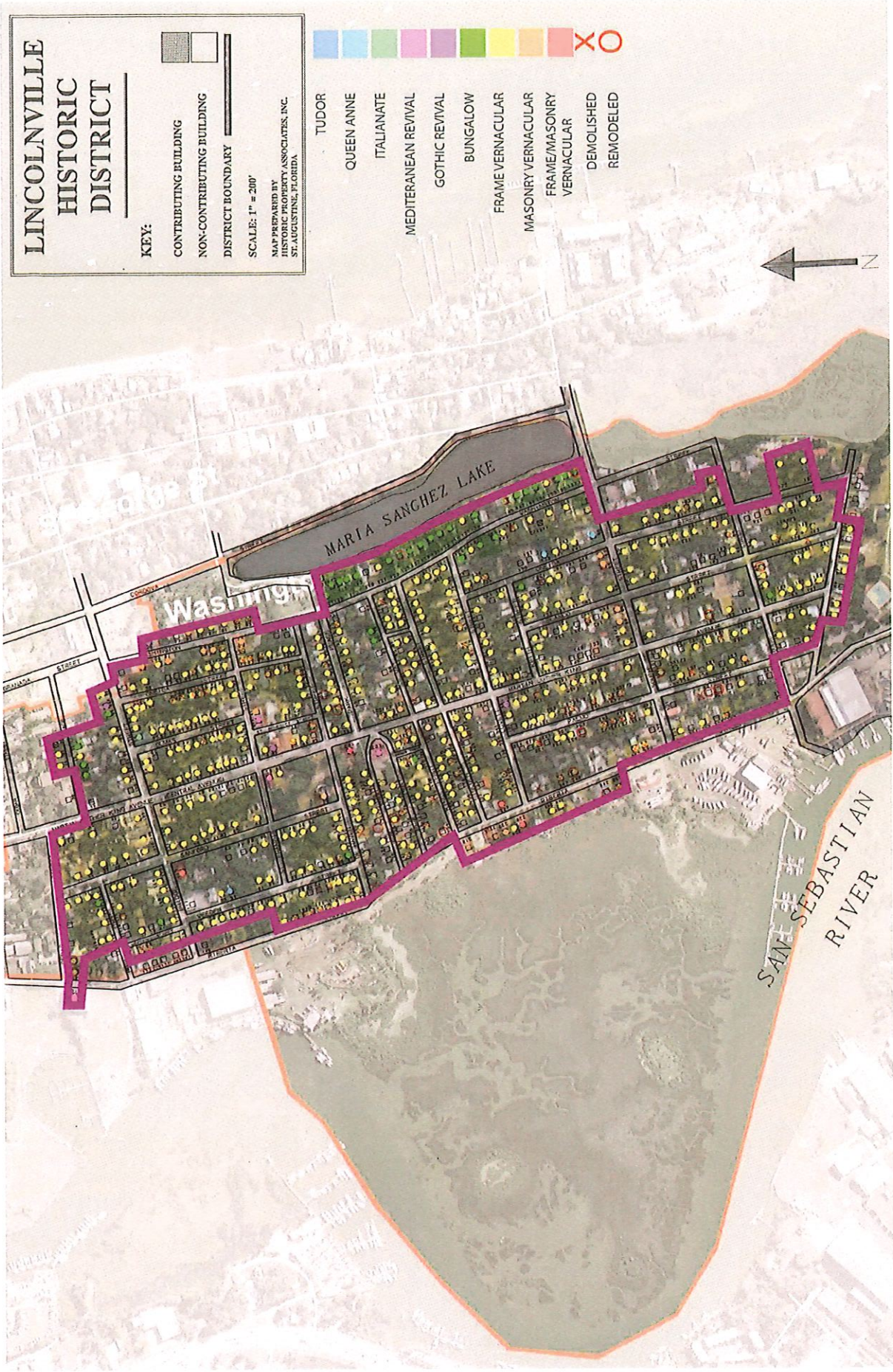
Lincolnville's built history can be traced back as early as the First Spanish Period (1700-1763) when it was recorded as the site of Native American villages of Palica and Pocotalaca.

This area would be rebuilt several times by both the Spanish and the British in attempts to bolster the City of St. Augustine's defense systems. Part of these defenses included transportation networks of streets, bridges, and ferries connecting to the current day locations of Bridge Street and King's Ferry Way. By 1748 the Spanish





City of St. Augustine
Lincolnville CRA Architectural Guidelines



Styles of homes and structures of contributing buildings to the
NRHD. Graphic by ML+H.

ARCHITECTURAL STYLES



City of St. Augustine
Lincolnville CRA Architectural Guidelines

government granted 4 land grants to local citizens created the early development of Lincolnville as the first commercial orange groves in Florida. These citizens became the pioneers of the Florida citrus industry.

By the 1830's St Augustine had a population of 4000 people of which 844 were free persons of color. In 1838 Peter Smith consolidated 3 of the Spanish grant lands to create the Dumas Homestead Tract.

This area transformed from orange groves into residential development by 1866. Emancipated slaves and long-standing African American residents of the city took a 20-year lease from the city to develop this tract into what was first called "Africa" and later "Lincolnville", as it's known today.

By 1870 the residents were officially purchasing lots and building homes first along Central Avenue (now Dr. Martin Luther King, Jr. Avenue) and Benedict Street then to Oneida and Bridge Street. Lincolnville continued to grow, merging African American and predominantly white areas into a single community reflective of the current extents of Lincolnville by 1930. The area also had a thriving commercial area focused on Washington Street, Ribera Street, and Central Avenue (now Dr. Martin Luther King, Jr. Avenue), but this began to transition to more residential uses following desegregation in the 1960s.

This wide range of built history has many architects, the majority of which are anonymous. Most of the residential structure were designed and constructed by African American builders. Their legacy can be seen in the local use of materials, such as wood and coquina, and the detailed craftsmanship of the local architecture. George Dickerson and James Jones, two prominent African American artisans in Lincolnville, have documented work on residences as well as the St. Paul's A.M.E. Church in Lincolnville. The guidelines will expand upon the material and details further to assist those interested in continuing the legacy of the built history.



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Section 2

LINCOLNVILLE GUIDELINES OVERVIEW

Twine, Richard Aloysius, 1896-1974. Mattie Smith Forrester outside her clapboard and shingle house. 1922 (circa). State Archives of Florida, Florida Memory. <<https://www.floridamemory.com/items/show/132552>>, accessed 28 July 2022.



SECTION 2

LINCOLNVILLE GUIDELINES OVERVIEW

2.1 Building in Lincolnville

2.1.1 Overview

A majority of Lincolnville is defined by the Lincolnville National Register Historic District (NRHD). This district references the large number of frame vernacular structures, many of which have unique “Victorian-esque” features and ornamentation. This document is designed to assist homeowners, property owners, builders, architects, and others to renovate, restore, and build in a context-sensitive manner within this unique area of St. Augustine.

2.1.2 Requirements

There are a number of building requirements that apply to development within Lincolnville. These are **state building codes** as well as **city-wide ordinances, zoning code, archaeological code, tree removal code, and demolition ordinances**. While not exhaustive, some pointers for building in the City include:

- a. **Zoning codes** require specific yard/setbacks. A brief overview is included below.
- b. The City’s **Archaeological Preservation Ordinance** addresses any building construction that impacts a depth over 3” and more than 100 square feet. An Archaeological permit will be required. Most of Lincolnville sits in zones II and III.
- c. Any tree with a **trunk 3” in diameter or greater when measured 4’-6” from the ground requires a tree removal permit**. Large trees of certain species are considered “significant” and require the approval of the Planning and Zoning Board.
- d. **Demolition of any structure over 50 years in age** requires review and approval by the Historic Architectural Review Board (HARB). Applications may be made through the Planning & Building Department. HARB meets monthly (3rd Thursday of each month) with applications due approximately 30 days before.



City of St. Augustine
Lincolnville CRA Architectural Guidelines

- e. For contributing buildings within the National Register Historic District, special care should be given. There are five (5) primary elements of note that are reviewed by City staff and potentially HARB when they are modified or impacted, including:
- i. Roof
 - ii. Windows
 - iii. Exterior Finishes
 - iv. Appurtenances (porches, balconies, chimney, etc.)
 - v. Foundations



2.1.3 Guidelines

The enclosed *Lincolnville Architectural Guidelines* are recommendations and suggestions. While not “requirements” such as the zoning and demolition elements, these are “recommendations” to help guide the continued vibrancy of the Lincolnville architectural character.

2.2 Zoning

2.2.1 Overview

While there is a mixture of zoning categories within the Lincolnville neighborhood, a majority of the residential structures reside within RS-2 (“Residential Single-Family 2”). Property owners, homeowners, and their team should reference City Code and Zoning map (available via citystaug.com). The following overview is provided for easy reference. Many lots are non-conforming lots; applicable code language is also available on the following pages.

2.2.2 RS-2 Yard Requirements

a. Yard requirements (sometimes referred to as setbacks) refer to the location the primary structure can sit on a site. They are measured from the property line. Within RS-2, yard requirements include:

- i. **Front yard: fifteen (15) feet.**
- ii. **Side yard: ten (10) feet.** Note that if there is a non-conforming lot (less than 50’ in width in RS-2), the side yard must be ten percent (10%) of the lot width. As an example, a forty (40) foot lot width would require a minimum of four (4) feet on each side yard.
- iii. **Rear yard: ten (10) feet.**
- b. Within these yard requirements, it is permissible per City Code to build features such as fences, screening walls, pools (not closer than 5’), landscape, and secondary structures such as garages. Note that secondary structures must be separated from the primary structure. Such non-habitable structures may be within three (3) feet of a property line.

2.1.3 RS-2 Lot Coverage

- a. Lot coverage within RS-2 can be a maximum of thirty percent (30%) for all buildings.





NON-CONFORMING LOTS

Code for Reference

Sec. 28-119. Nonconforming lots of record.

Notwithstanding limitations imposed by the provisions of this chapter, any single lot or lots of record which were so recorded on or before the effective date of adoption of this chapter [April 29, 1975] may be used in accordance with the following:

- (1) A single-family dwelling may be constructed on any such lot, lots or portion of a lot or lots which are located in a district where such use is permitted or permitted by exception.
- (2) A multiple-family dwelling containing not more than two (2) dwelling units may be constructed on any lot or lots which are not less than fifty (50) feet in width, not less than five thousand (5,000) square feet in area, and located in a district where such use is permitted or permitted by exception.
- (3) A multiple-family dwelling containing not more than four (4) dwelling units may be constructed on any such lot or lots which are not less than fifty (50) feet in width, not less than seventy-five hundred (7500) square feet in area, and located in a district where such use is permitted or permitted by exception.
- (4) An existing single-family dwelling constructed prior to the effective date of this chapter on a nonconforming lot of record may be converted to a duplex or to accessory apartments on any such lot or lots which are not less than fifty (50) feet in width, not less than five thousand (5,000) square feet in area, and located in a district where such use is permitted or permitted by exception.
- (5) The minimum lot width requirement shall be waived by the planning and building department if the overall square footage of the nonconforming lot of record is above the minimum required for each multiple-family dwelling within the project. The in-



tent of this section is to give the developer some flexibility in the total site plan. This section shall not apply to conforming lots of record, as described in section 28-2.

(6) The above uses are also subject to the following:

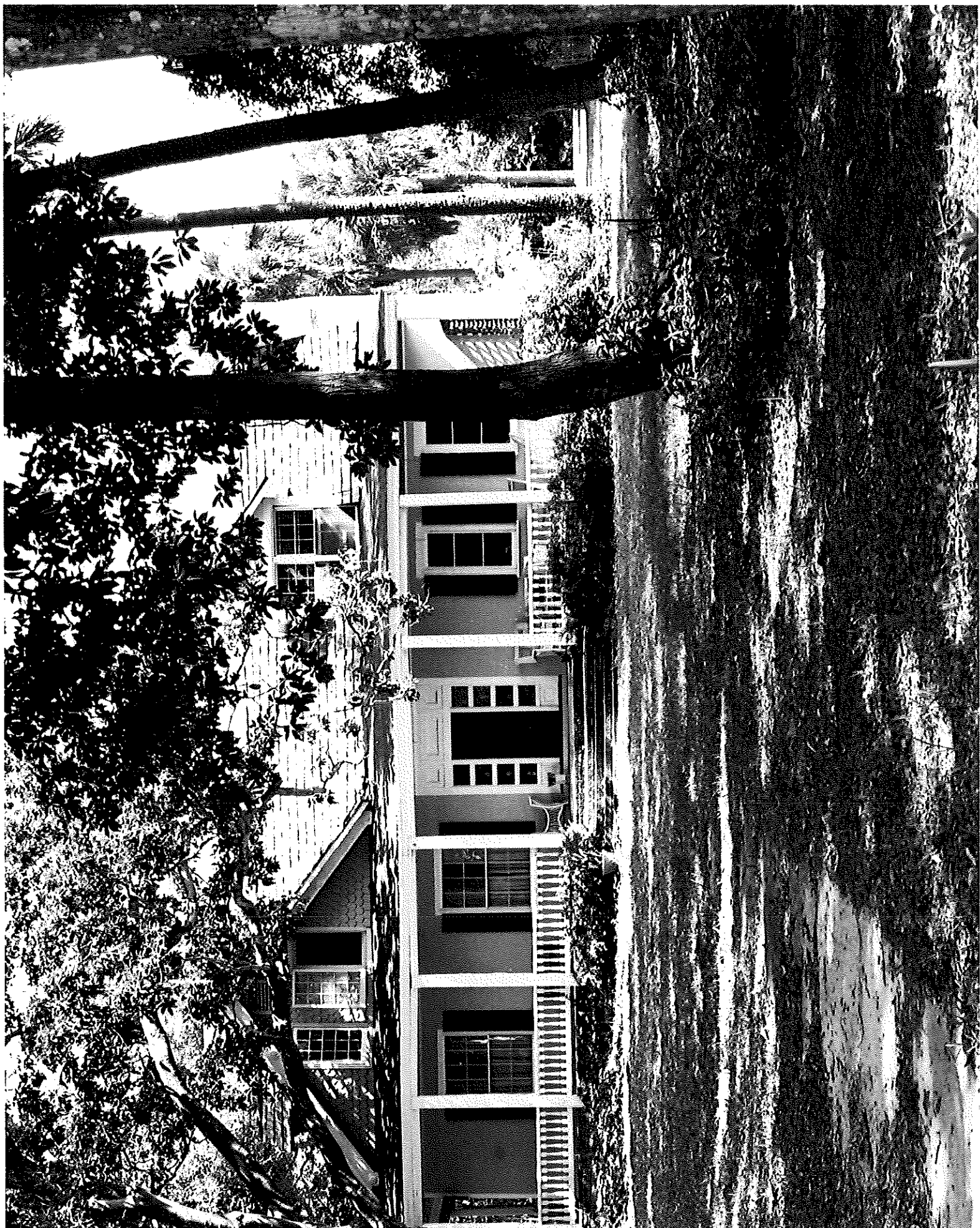
- a. No side yard shall be less than ten (10) percent of the width of the lot, provided such side yard is not less than four (4) feet.
- b. On a corner lot, the exterior yard adjoining the secondary street shall be considered a side yard but the width of the side yard shall not be less than eight (8) feet.
- c. The front yard shall meet the requirements of the district where such use is permitted or permitted by exception unless the lot is subject to one (1) of the conditions as specifically modified elsewhere herein (see "yard, front," section 28-2).

(Code 1964, § 33-138; Ord. No. 03-20, § 1, 9-8-03)

Sec. 28-159. Height restrictions and maximum lot coverage on non-conforming lots of record in single-family residential districts (RS-1 and RS-2).

Notwithstanding any other provisions of this division 3, the allowable maximum height of structures of more than one story proposed for construction within single-family residential districts (RS-1 and RS-2) on a non-conforming lot of record shall be thirty (30) feet, and such structures shall have a minimum roof pitch of 5/12, with dormers limited to twenty (20) percent of the eave length per side. For the proposed structures subject to this provision, the maximum lot coverage shall be twenty-nine (29) percent in RS-1 and thirty-five (35) percent in RS-2.

(Ord. No. 05-28, § 1, 9-12-05; Ord. No. 21-26, § 2, 10-11-21)





Section 3

SITE & LANDSCAPE GUIDELINES



SECTION 4

SITE & LANDSCAPE GUIDELINES

4.1 Site Access

4.1.1 Pedestrian Access

Pedestrian walkways, ramps or steps (or a combination of these) should link the public sidewalk to the front door entry.

- It is recommended that there be a change in materials between the public sidewalk and the private home's walkway. For example, brick banding may help differentiate the private walkway.

4.1.2 Driveway + Parking Access

a. Parking Location

- Parking should be located along the side or rear of the building.
- Avoid placing parking between the front of the house and the sidewalk. Parking in front yard is discouraged and should only be used as a last option. Landscape areas within the front yard should still be included in such as scenario. Landscape screening to soften the parking area while



Separate front walks from driveways are typical throughout Lincolnville.

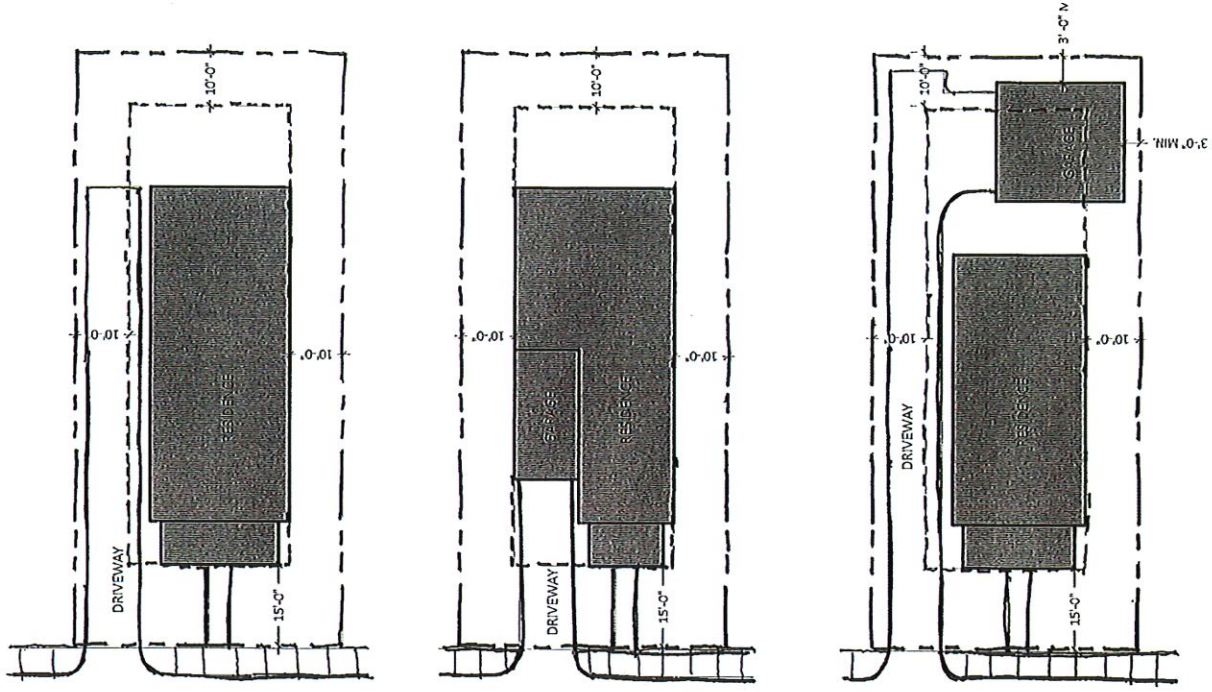
Image from ML+H.

ADDING PARKING FOR SHORT TERM RENTAL?

Per City Ordinance Sec 28-151: Stabilized parking for vacation rentals may not consist of unimproved dirt, sand, or grass. For the purposes of this division, stabilized parking shall be defined as a space that is covered and graded by semi-permeable or impervious materials such as asphalt, concrete, pavers, gravel, or a similar material.

REMINER: 70% IMPERVIOUS SURFACE RATIO (only 70% of the lot can be covered with impervious surface)

Example site layouts showing pedestrian and driveway / parking / garage locations. Graphic from ML+H Team.





still allowing views of the front porch and dwelling should be considered.

Iii. The garage should be behind (detached) or setback from the primary plane. Also see Section 5 "Garage Location."

b. Parking area materials are recommended to primarily use pervious materials such as pervious concrete, pervious pavers, and tire strips with aggregate (shell, gravel, etc.) placed between. Coquina concrete, poured concrete, and brick are also options.

4.2 Landscape

Specific landscape requirements are per City Code (see Section 25-53 of the Code), but the following guidance is recommended:

4.2.1 Plant Materials

In general, site landscaping should use **native or Florida-Friendly plants** that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

4.2.2 Protection of Existing Landscape

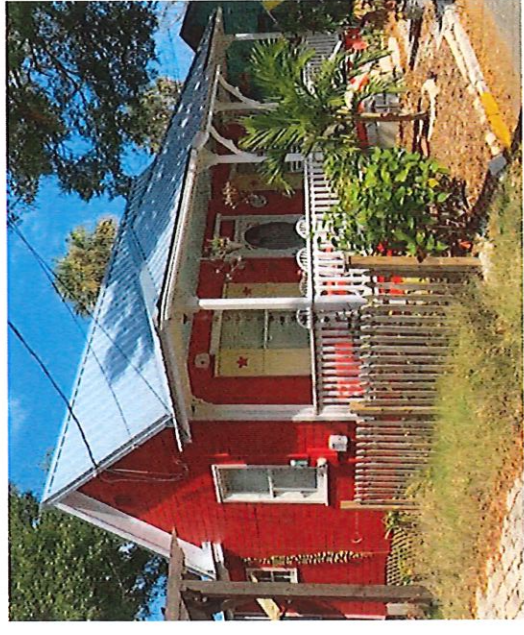
Effort should be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Any tree with a trunk 3" in diameter or greater when measured 4'-6" from the ground requires a tree removal permit. Large trees of certain species are considered "significant" and require the approval of the Planning and Zoning Board.

4.2.3 New Canopy Trees

Adding new canopy trees such as Live Oaks (*Quercus virginiana*) is recommended. Varieties are noted in Appendix C. Note that there are periodically City funding efforts for homeowners to add trees within their yards.



*Garage set back from front porch. Also see Section 5.
Image from ML+H.*



*Canopy trees are form giving to Lincolnville.
Image from ML+H.*



4.3 Stormwater Recommendations

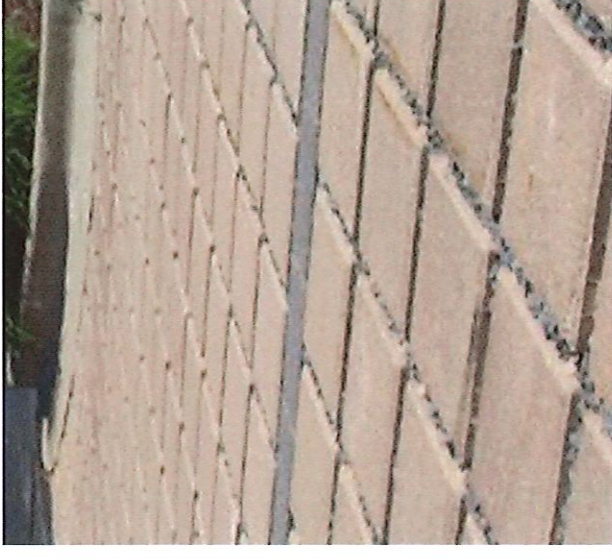
4.3.1 Stormwater Design Overview

Stormwater is recommended to be incorporated into the overall design of the project as amenities. The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities.

4.3.2 Low Impact Development (LID) Stormwater Techniques

It is recommended that projects include at least two of the following low impact design concepts, which may be located anywhere on the project (including the front setback):

- **Raised pier construction for homes** (allowing for movement of stormwater and additional infiltration area)
- **Rain water harvesting** (rain barrels, underground cisterns, and similar)
- **Green roofs**
- **Bio-swales**
- **Rain gardens**
- **Pervious pavement** (pervious concrete, pervious pavers, and/or other pervious pavements)



*Examples of Stormwater Facility Design
Sources: The Urban Report; Green and Sustainable
Services, LLC.*



4.4 Fences and Walls

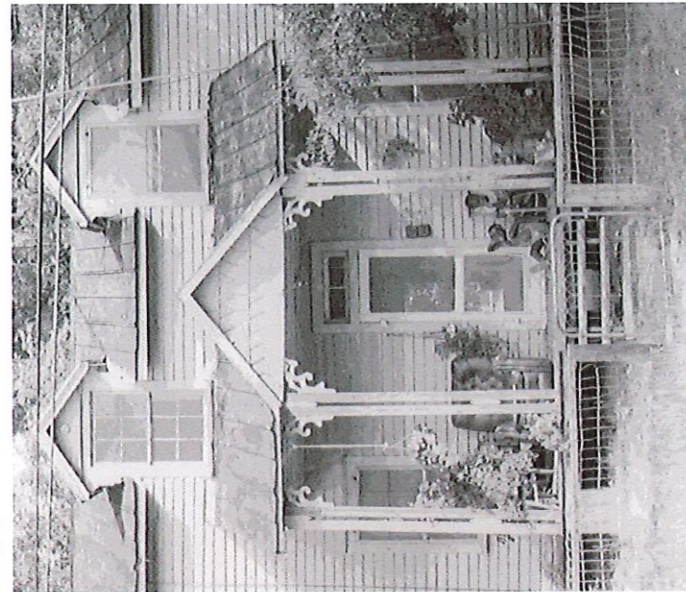
Low fences and site walls can be found along the front property lines in Lincolnville. Fences and walls within the front setback zone should be relatively low, allowing views between the street and front door. Recommendations for fences and street walls include:

4.4.1 Fences

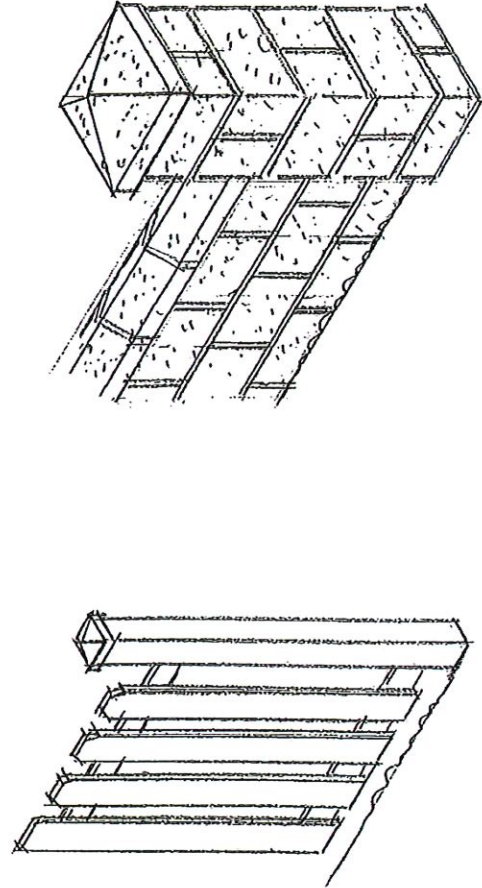
1. Along the front property line and within the front setback, appropriate fencing materials may include stained wood, painted wood, powder-coated aluminum, or wrought iron.
2. Chain link, wire, and PVC fencing are not recommended in the front setback but may be appropriate along side or rear areas.



Wooden and metal fencing in Lincolnville.
Image from ML+H.



Metal and wood fencing. Image from Florida SP
Lincolnville Historic District document.



Fencing Styles in Axonometric. Graphic by
Les Thomas Architect and ML+H Team.

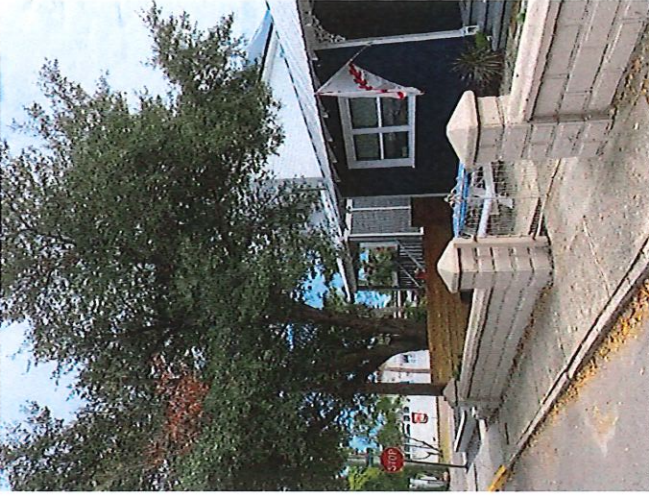


4.4.2 Street Walls

1. Low block / masonry walls may be appropriate. Street walls are recommended to not exceed 36", but four (4) feet is the maximum per Code. Wall height should be measured from the lower elevation of the public sidewalk or final elevation of adjacent interior development.
2. Portions of the wall above 3 feet should not be more than 50% solid.
3. Street walls shall be constructed of brick or masonry. Fencing may be included.
4. When landscaping is provided between the wall and the sidewalk, the landscaping strip is recommended to be a minimum of two (2) feet wide.

4.4.3 Street Wall as Flood Protection

1. It is recommended that the street wall be considered as part of flood protection to the site. When used in conjunction with neighboring walls and earthen berms, it is possible to create an initial barrier to storm surge and flooding.
2. Openings in the wall for pedestrian walkways and driveways can be closed during storm events by using temporary barriers.



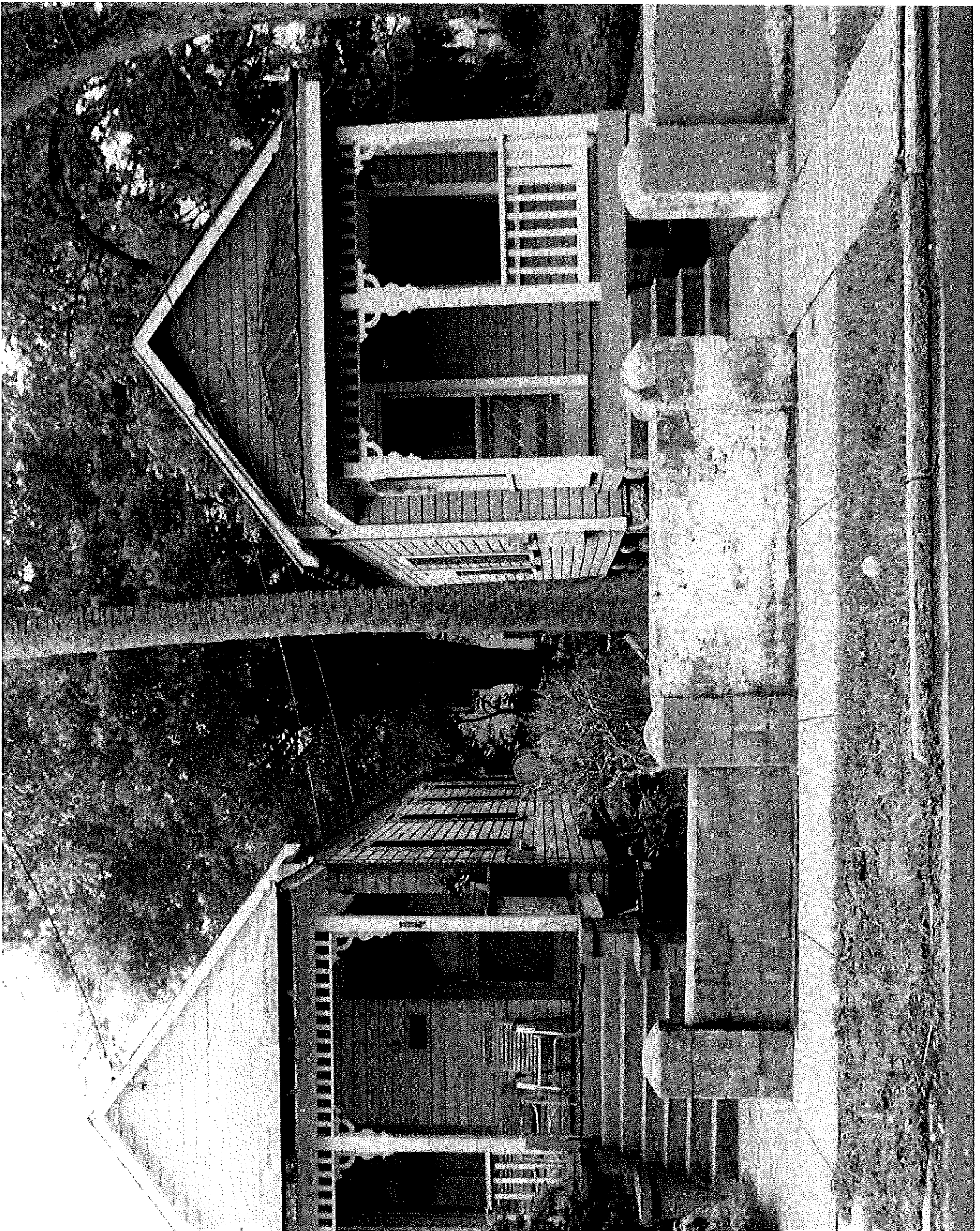
*Masonry site walls are found throughout Lincolnville.
Image from ML+H.*

*A low site wall can help to provide flood protection.
Also shown is an open "pier system" for the front porch.*

Image from ML+H.



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Section 4

BUILDING DESIGN GUIDELINES: FRAME VERNACULAR



SECTION 5

BUILDING DESIGN GUIDELINES

5.1 PORCHES (Note: Item of Primary Importance)

Street-facing porches are one of the primary identifying features of homes within Lincolnville and should be considered on all homes within the neighborhood. Restoration of porches that have been previously enclosed is encouraged.

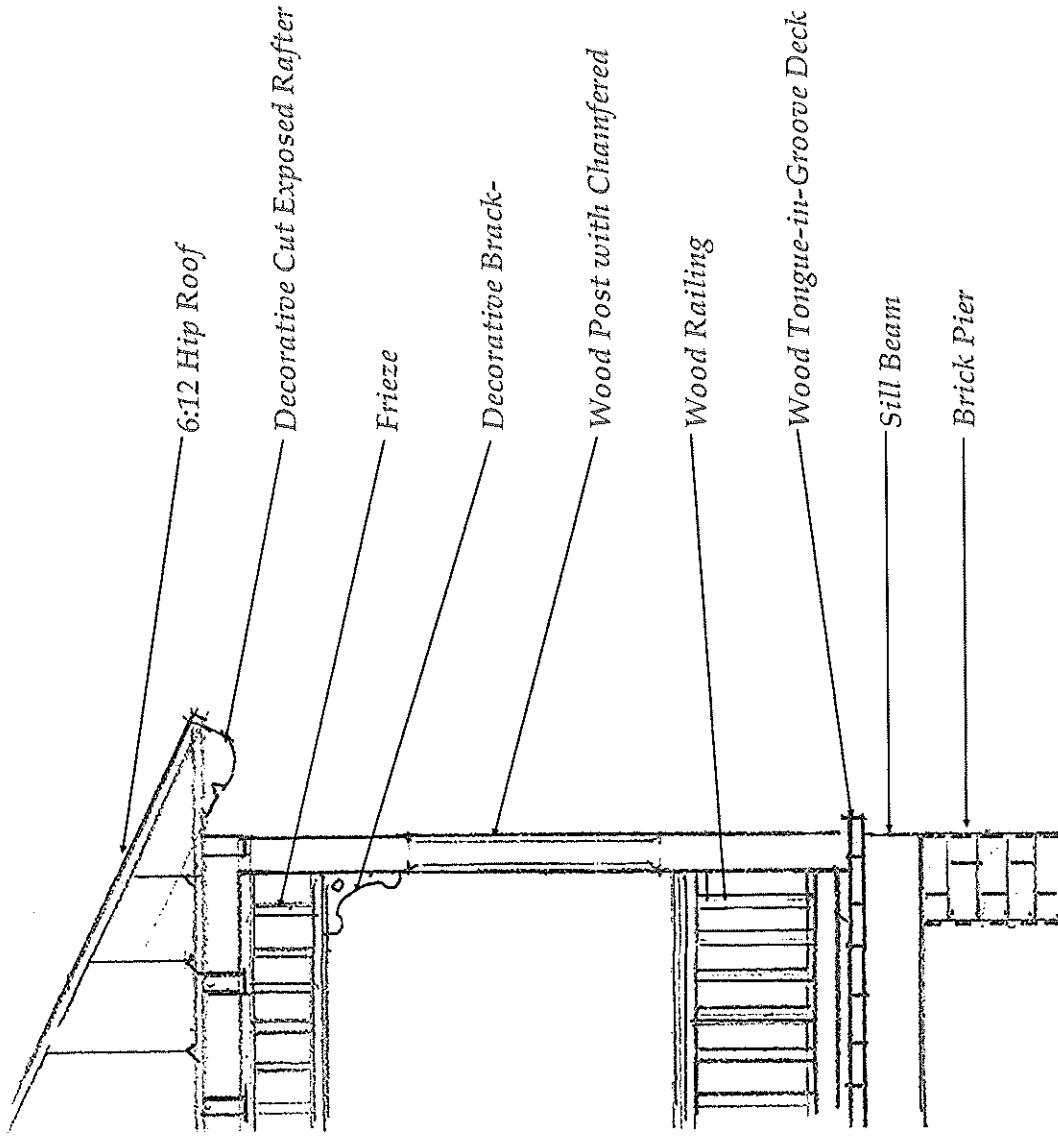
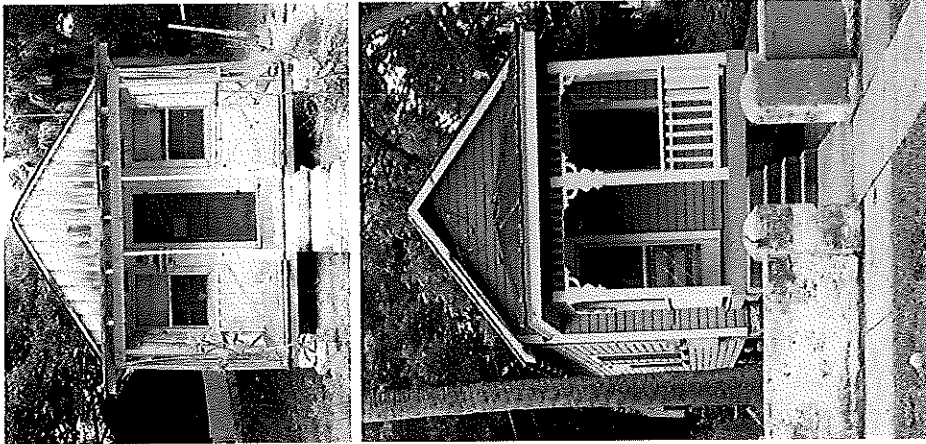
Design aspects to be considered for the front porches may include:

1. **Deep front porches.** Specifically, the porch should be deep enough for chairs to comfortably sit under the covering.
 - a. Recommended depth is between 6' to 8'.
 - b. Minimum depth of porch to be 5'-6" measured from exterior wall of home to inside edge of railing or column.
2. **Front porch locations** may include full width, wrap around, or fill in between the "L". Full width porches are most typical.
3. Commonly elevated 2'-6" to 3'-6" above grade. Also refer to Site Design Guidelines regarding stormwater.
4. **Decking** is recommended to be wood (versus a composite). Many homes would have used tongue-and-groove (T&G).
5. **Columns** are typically narrow and made of wood with few details; usually spaced evenly across the façade.
 - a. Details may include chamfered corners (square) or a turned (round) column.
 - b. **Brackets** would have traditionally been included at the top of the column (under the frieze board).
 - c. **Bracket** should be the same material (typically wood) as the home.
6. Railings would have typically been wood. Options may have included:
 - a. 1 ¼ inch square pickets.
 - b. Custom balustrade panel with cutouts.
7. **Screening.** Open air porches are traditional to Lincolnville and allow for the most unobstructed views of the architecture. Where screening is included, the following factors should be considered:
 - a. Screen should be placed behind (interior face) of the porch columns, railings, and other ornamental detailing.
 - b. Gray (versus charcoal) screening material is preferred as it allows the details to become more visible.
 - c. Wood framed screen systems are preferred.



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Lincolnville CRA Architectural Guidelines

Front porches. Images from Florida SP
Lincolnville Historic District document.



Typical porch components. Graphic from
Les Thomas Architect and ML+H Team.



5.2 ROOF (Note: Item of Primary Importance)

Preferred roof styles within Lincolnville include gable and hip.

1. Roof styles:

- Gable:** Front, side, dutch, and cross gables are appropriate.
- Hip:** Hip roofs, especially for more Bungalow style homes, are appropriate.
- Flat:** Typically not used.

2. Pitch:

- Main roofs are traditionally steeply pitched (8:12 to 12:12). Minimum pitch of 6:12 recommended (5:12 with 20% dormer maximum when allowed per City code for non-conforming lots).
- Porch roofs have a low pitch (2:12 to 4:12).
- Dormers sometimes used on 2 ½ or 1 ½ story homes.

3. Rafter tails/ ends:

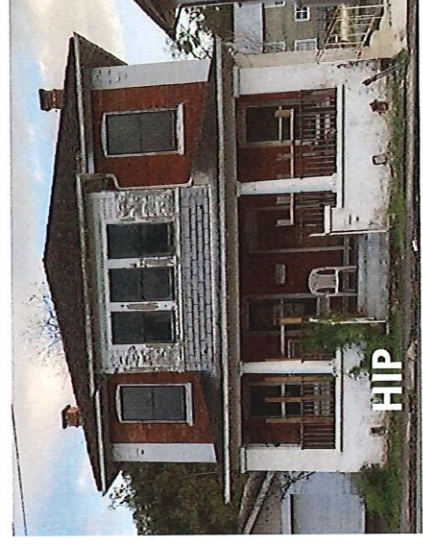
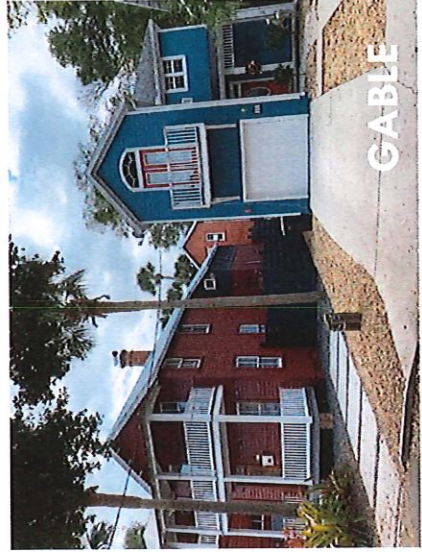
- Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
- Vinyl soffits are discouraged.

4. Materials:

- Asbestos (existing historic), composition or metal shingles, V-crimp metal.
- Brick or stucco chimneys, typically on the gable end walls.

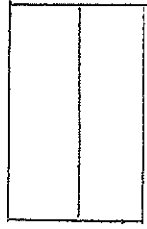
Examples of Roof Types.

Images by ML+H.

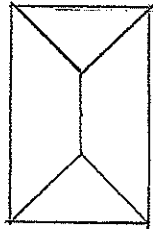




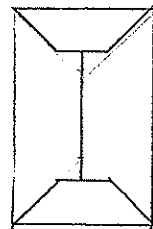
City of St. Augustine
Lincolnville CRA Architectural Guidelines



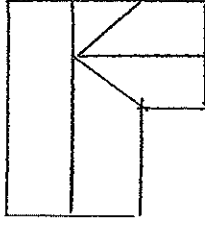
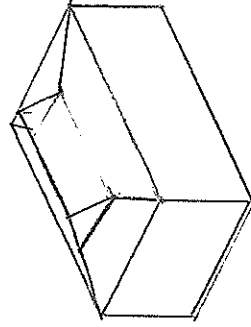
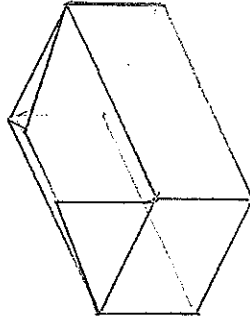
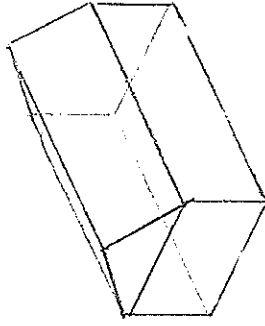
Gable Roof



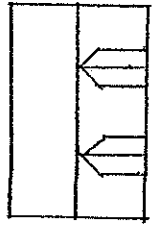
Hip Roof



Dutch Gable Roof



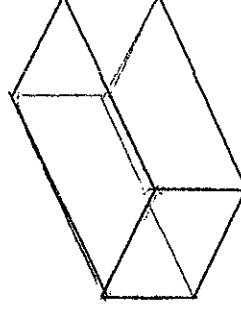
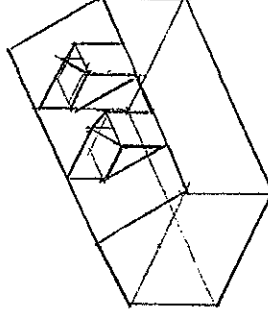
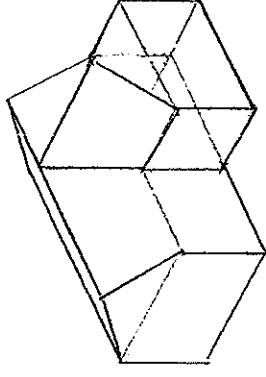
Cross Gable Roof



Gable Roof with Dormers



Flat Roof



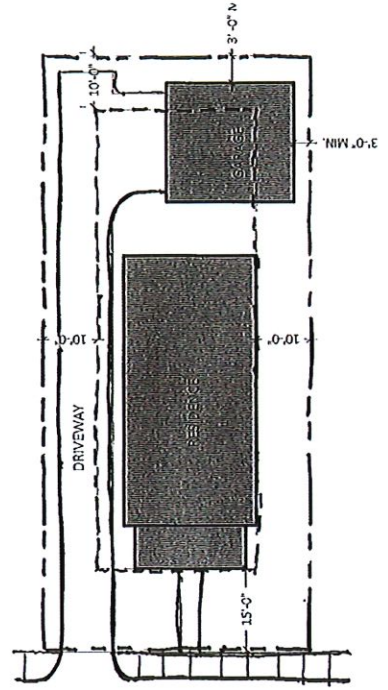
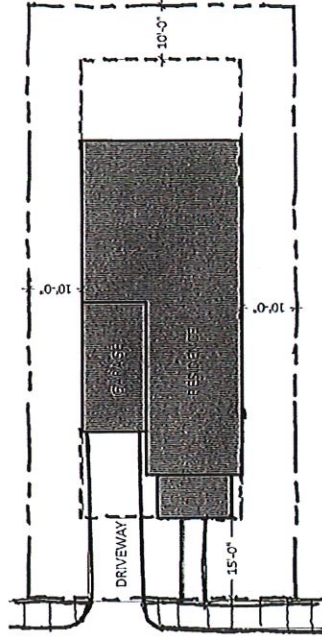
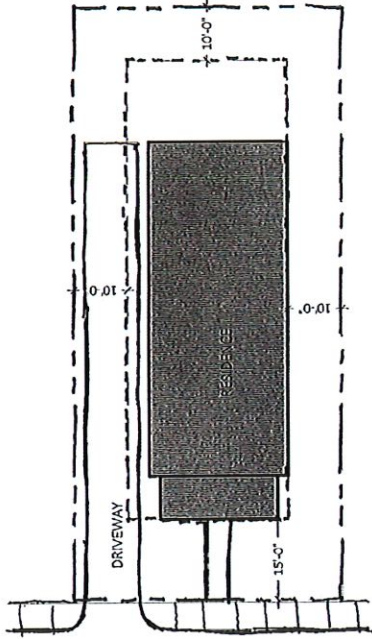
Examples of Roof Types in Plan
and Axonometric. Graphic by
Les Thomas Architect and ML+H Team.



5.3 GARAGE LOCATION

The primary façade of the home should be presented towards the street. Garages and carports should be secondary to the main building/façade. Design recommendations may include:

1. Garages should be either recessed from main façade or detached and placed in the rear.
2. Generally, there should be sufficient parking room (18' -20') on the property /in front of the garage.
3. Typical minimum for recessing the garage from the front primary façade (excluding porch) is 4'-0" , but additional offset is recommended.
4. Garages are recommended to be generally on grade (lower than finished grade of home) with a 2% to 5% driveway. Waterproofing of the garage space should be considered when applicable.



Example site layouts showing pedestrian and driveway / parking / garage locations. Graphic from ML+H Team.

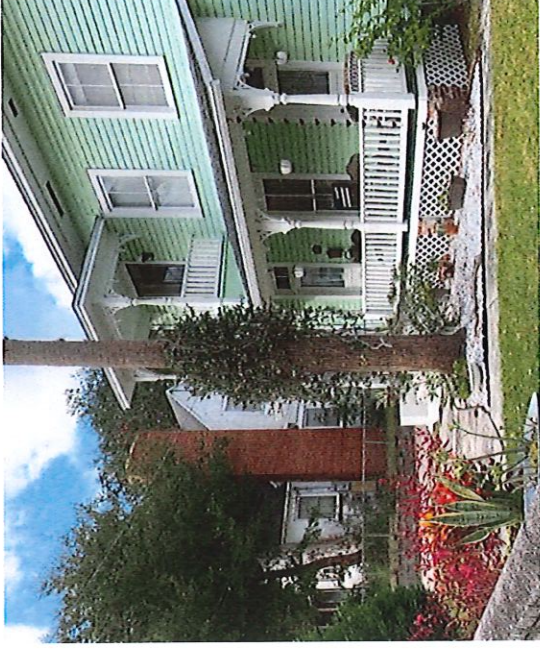
FOUNDATION

The relationship of the building floor height to the surrounding context of the neighborhood is important to consider.

Raised Pier Foundations: Within the Lincolnville neighborhood, raised pier foundations are typical. There are multiple advantages to raising the foundation, including (a) opportunities for stormwater infiltration, (b) movement of storm surge through a site in hurricane events, and (c) cross ventilation.

Design recommendations should consider:

1. Brick, tabby or concrete block (with texture) piers.
2. Spaces between piers left open.
3. Lattice infill between piers is common.



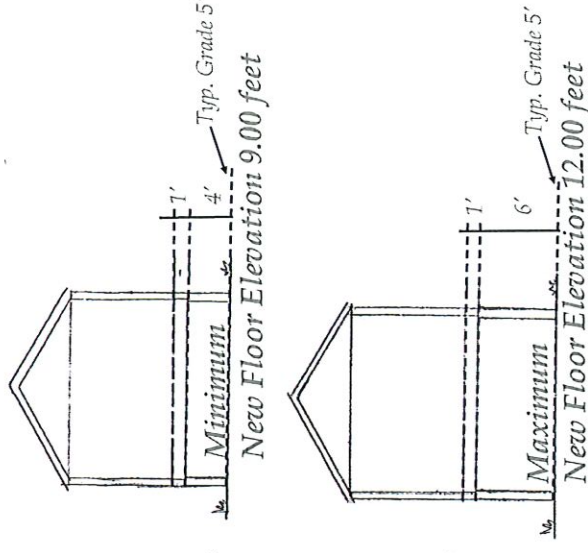
Piers with latticework. Image by ML+H.

Stemwalls: Stemwalls may be an appropriate solution where a poured slab is needed. However, it is recommended that grades adjacent to stemwalls largely remain consistent with existing grades. This helps reduce the visual impact of adding extensive fill to a site and keeps new buildings within the existing character of the neighborhood.

RECOMMENDED FIRST FLOOR ELEVATIONS

Homes may consider further elevating the first floor. General recommendations to keep the architectural context of the homes within Lincolnville include:

- Do not raise the home more than 2' from FEMA and City required minimum elevations.
- Do not raise the home more than 4' from existing grade.
- When raising the home more than 4' from existing grade, consider bringing it up one floor by building a non-occupied space such as garages, storage, and similar under the structure. The inclusion of an exterior porch and first floor entry should be considered in lieu of open "stilt house" base.



First Floor Elevation diagram. Graphic by Les Thomas Architect and ML+H Team.

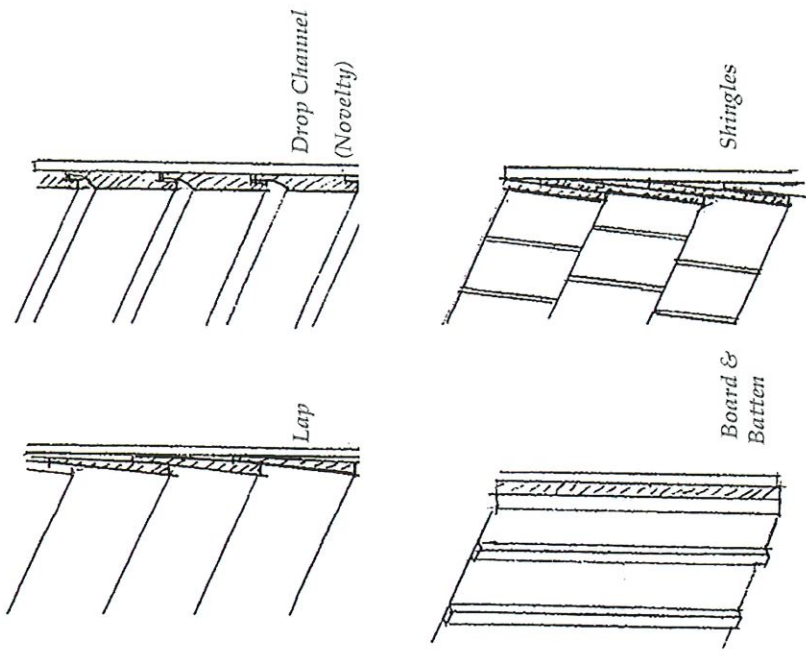
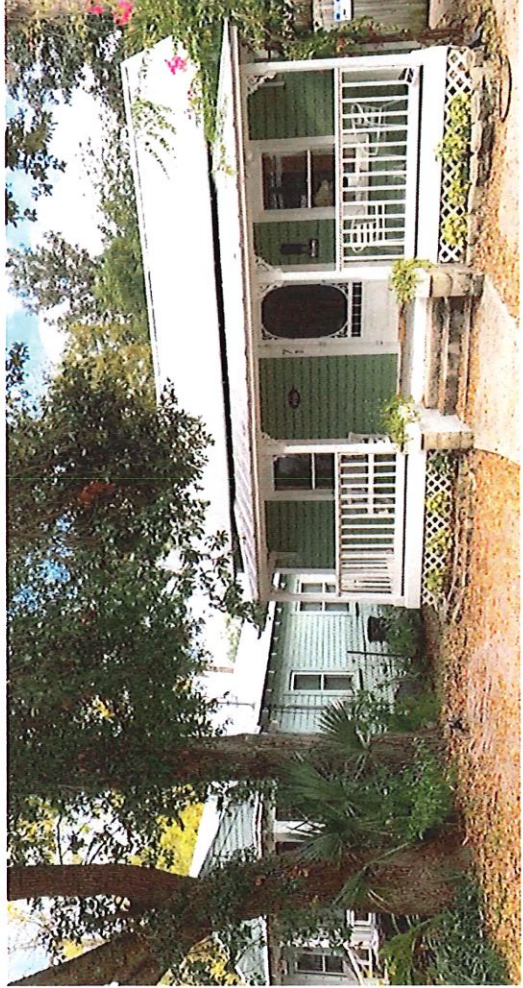


SIDING

Horizontal siding is common throughout Lincolnville. Less common are wood shingles and board and batten. Consider the following:

1. Materials may be wood or cementitious panels. Vinyl is not appropriate for Lincolnville.
2. Smaller profiles are preferred, such as 6" exposure for horizontal siding.
3. Smooth finish is preferred.

Horizontal siding is present throughout Lincolnville.
Image from ML+H.



*Siding examples. Graphic by
Les Thomas Architect and ML+H Team.*



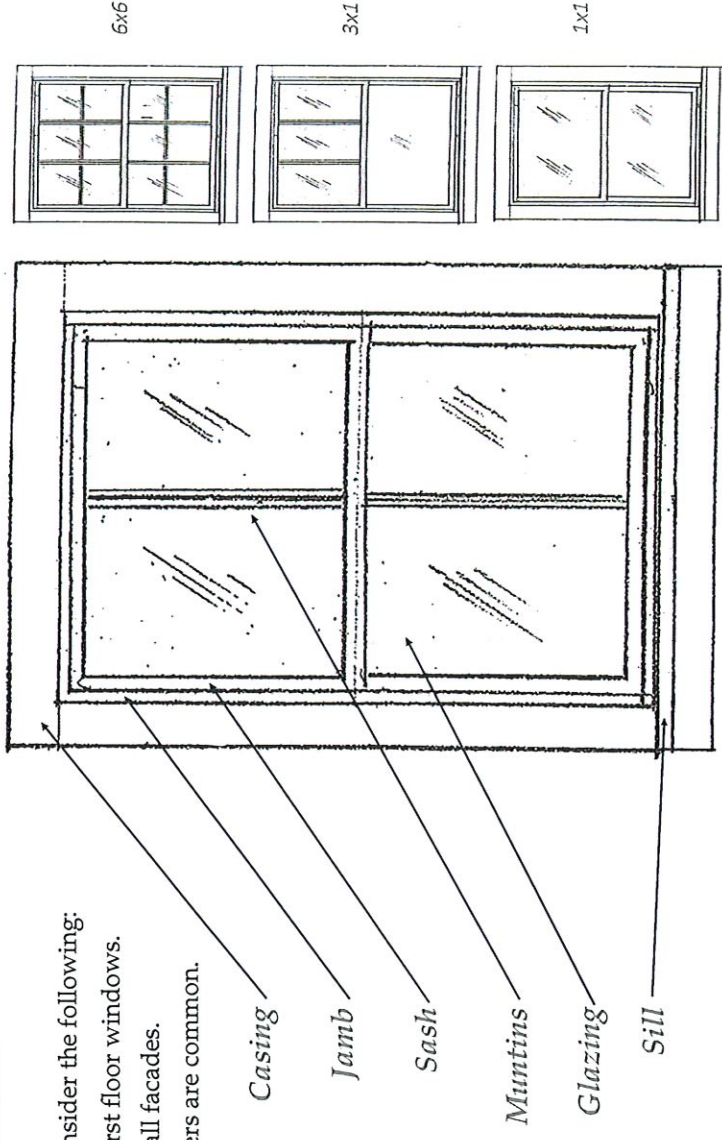
FENESTRATION & GLAZING (WINDOWS)

Design aspects of fenestration include:

1. Windows generally are double-hung, rectangular windows.
2. Windows can be single or multi-pane (6/6, 3/1, 2/2 or 1/1).
3. Trim projects out from wall cladding, approximately $\frac{3}{4}$ inch. Jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
4. Shutters are not typically used. If used, they should be paneled and should be either operable or proportioned to look operable.
5. Windows to be wood, fiberglass, vinyl, or vinyl clad. Aluminum is not recommended.
6. Mirrored glass or film is not recommended.

Window and fenestration layout should consider the following:

1. Second floor windows align with first floor windows.
2. Windows are spaced evenly along all facades.
3. Transoms, fanlights, and attic louvers are common.



Glazing diagram and example panel layouts.
Graphic by Les Thomas Architect and ML+H Team.





Appendix

EXISTING STYLES

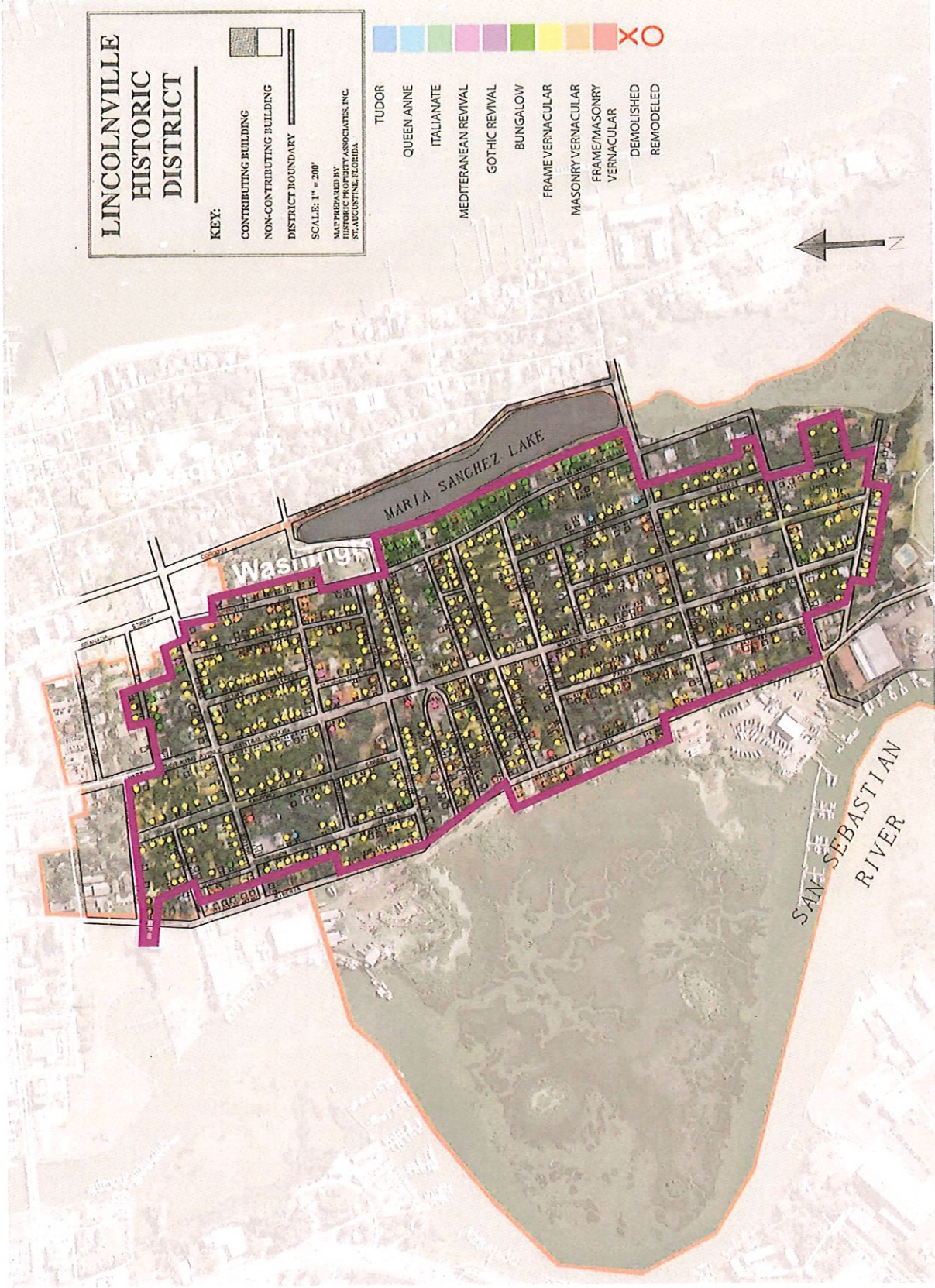


APPENDIX A: EXTENTS





City of St. Augustine
Lincolnville CRA Architectural Guidelines





APPENDIX B: DEFINITIONS

Accessory: a supplementary material object or feature that enhances the main focus

Adjacent: next to or adjoining something else.

Ancillary: a subsidiary area that supplements and is integral to the functions of the primary area, but is in no way the foremost purpose of the building

Appurtenances: spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, elevator shafts or other appurtenances required to be placed above the roof level

Arcade: series of arches supported by a colonnade of vertical supports, such as columns or piers

Awning: a rectangular or curved shelter extending from a building and supported entirely from the exterior wall of a building and composed of non-rigid materials except for supporting framework.

Canopy: a structure constructed of rigid materials including, but not limited to metal, wood, concrete, plastic or glass, which is attached to and supported by a building or by columns, poles or braces extended to the ground.

Corridor Review Committee: development review board as designated by the City Commission

Development Site: a parcel or lot of land that that has been designated and initiated work for any development projects

Dimensional Requirement: the code guidelines for numerical measurement conditions for which development has to abide by, such as setbacks, structure widths & heights, lot coverage area, etc.

Facility: a structure, amenity, or place that houses and supports a specific function



City of St. Augustine
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Frontage: the facade of a building, specifically abutting King Street.

Full Cut Off: a lighting fixture from which none of its lamp's intensity is emitted at or above a horizontal plane drawn through the bottom of the fixture and no more than ten percent of the lamp's intensity is emitted between eighty (80) degrees and that horizontal plane.

Land Development Regulations: the land development and zoning codes contained in The Code of the City of St. Augustine.

Licensed Professional: a person who has been granted legal authority by their governing body to practice within the designated scope of their profession

King Street: including "West King" and "King Street," this is the main vehicular connector that front setbacks relate to.

Malaga Street: as an extension of the Corridor, applicable sites shall reference Standards for King and Malaga interchangeably.

One-Story: having one floor or level

Parking Structure: a building, generally enclosed, of which the principle function is for vehicular parking

Parapet: a low wall or protective barrier projecting from the edge of a building roof, balcony, terrace, or similar structure

Permanent Accent Lighting: light fixtures such as uplights, downlights, and strip lighting designed to accentuate architectural or landscape features (holiday / Christmas lighting not included)

Photometric: a plan showing the simulated lighting coverage of a proposed development, helping designers assess if a plan will be sufficient in lighting a space while not creating a lighting disturbance to the surrounding properties

Porte-Cochere: a covered entrance large enough for vehicles to pass through

Rendering: a graphic (developed by a licensed professional) depicting a proposed structure in an existing context



Redevelopment: construction, policies, or programs with the overall process of improving upon existing sites or structures

Right of Way (R.O.W.): publicly owned lands, typically with roadway, sidewalks, etc., which is often immediately adjacent to a property line.

Setback: means the mean horizontal distance between the front line of the building (excluding steps and unenclosed porches of not more than sixteen (16) square feet) and the front line of the lot.

Sign, Awning: a sign that is painted, silk-screened, stitched on, imprinted on, or otherwise applied directly onto the fabric of the awning.

Sign, Canopy: a sign which is suspended from, attached to, supported from or forms a part of a canopy.

Sign, Freestanding: a sign supported by a sign structure secured in the ground and which is wholly independent of any building, fence, vehicle or object other than the sign structure for support. This sign type is prohibited on King Street (see Pedestrian Pole Sign for residential typology).

Sign, Hanging: a sign that is placed under a canopy, awning or arcade, perpendicular to the building façade, and not intended to be seen by motorists.

Sign, Pedestrian Pole Sign: a sign supported by one or two poles in the ground fully independent of any building, fence, vehicle, or object, not to exceed the dimensions included in the King Street Design Standards. This is only for the residential typology.

Sign, Projecting: a sign which is affixed and displayed perpendicular to any building wall or structure with a bracket

Sign, Wall – a sign that is attached flat to a building wall.

Sign, Window – a permanent sign affixed to, or painted on either face of a window or glass door that leads to the exterior of the building. Signs suspended within three (3) feet behind the glass are also deemed window signs.

Two-Story: having two floors or levels



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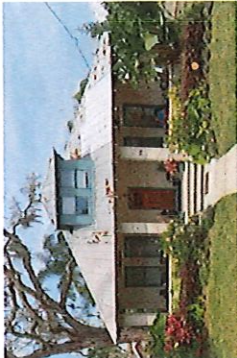
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APPENDIX C: STYLE OVERVIEW



81 ST FRANCIS STREET



96 SOUTH STREET



84 SOUTH STREET



82 SOUTH STREET

MASONRY VERNACULAR - RESIDENTIAL

BACKGROUND

Masonry Vernacular is the most dominant architectural style in the King Street district. The Masonry Vernacular buildings, like the Frame Vernacular buildings, do not follow a particular style. For residential structures, Frame and Masonry Vernacular are very similar in terms of massing and proportions. The main difference between the two is that the Masonry Vernacular uses masonry material (formed work or brick/block) as the main structural support and may have a stucco façade for the exterior fabric. In the early decades of the century, wood frame houses were sometimes disguised as masonry by applying stucco cladding over the wooden studs. Conversely, some masonry vernacular homes have recently been covered with wood or vinyl siding. The following are the characteristics seen mostly on residential examples of the Masonry Vernacular. While new Masonry Vernacular residential buildings are not expected or encouraged in the area, the following characteristics are provided to aid in the preservation of the existing vernacular homes.

BUILDING PLAN

1. Rectangular or L-shaped.
2. Garages and carports are secondary to the main building/facade. They are either recessed from main facade or detached and placed in the rear.
3. Normally one-car space only. Very few examples have a double car garage, and in those cases, there are two doors, instead of a double-wide door.

FOUNDATION

1. Brick or concrete footings.

FACADE

1. Vertically oriented.
2. Simple entrance.
3. Three-bay or five-bay pattern.



PORCHES

1. Wide front porches.
2. Full width, wrap around, or fill in between the "L".
3. Commonly elevated 2'-6" to 3'-6" above grade.
4. Columns are typically narrow and made of wood with few details; usually spaced evenly across the façade.
5. If railings used, they were wooden with 1 ¼ inch square balustrades.

MATERIALS

1. Painted block; sometimes has a rough stucco finish.
2. Brick chimneys sometimes finished with stucco.

ROOF

1. Front, side and cross gable. Sometimes hip roof is used.
2. Main roofs are steeply pitched (8:12 to 12:12).
3. Porch roofs have a low pitch (2:12 to 4:12).
4. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
5. Composition or metal shingles, V-crimp metal roof materials.
6. Brick or stucco chimneys, typically on the gable end walls.
7. Dormers were sometimes used on 1 ½ story homes.

DOORS

1. Transoms, fanlights are common.
2. French doors and simple balconies are used occasionally.
3. Door trim projects out from wall cladding, approximately ¾ inch. Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide.
4. Doors contain recessed wood panels.



WINDOWS

1. Windows are typically single, tall and narrow.
2. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1). Awning and jalousie/louvered windows used in later construction (mid-century).
3. Transoms, fanlights and attic louvers are common.
4. Second floor windows align with first floor windows.
5. Windows are spaced evenly along all facades.
6. Window trim projects out from wall cladding, approximately $\frac{3}{4}$ inch. Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide.
7. Shutters are not typically used. When used, they should be paneled and should be either operable or proportioned to look operable.

COLORS

1. Colors range in the pastel family from light yellow and green to gray and brown.

ORNAMENTATION

1. Detailing is simple, usually consisting of cast concrete.

FENCES

1. Wooden fences are most common.
2. Picket fences with various level of ornamentation, consistent with the main building.



APPENDIX C: STYLE OVERVIEW

FRAME VERNACULAR

BACKGROUND

Frame Vernacular is one of the most dominant architectural styles in the Lincolnville neighborhood. Vernacular architecture refers to a regional or “folk” architecture, built with local materials and local labor, without formal plans, and for the most economical price at the time. Vernacular, while considered a style, does not belong to any particular formal architectural style, rather its design reflects a trend toward simplicity. Some Frame Vernacular buildings have one story, others have two; while some have front gable roofs, others may have side-gable or cross gable roofs. Most Frame Vernacular buildings in the district are residential homes; however, the style is often used on non-residential buildings as well.

BUILDING PLAN

1. Rectangular or L-shaped.
2. Garages and carports are secondary to the main building/facade. They are either recessed from main facade or detached and placed in the rear. Sites that have been converted to commercial or office use have demolished the garage (if one was present in the rear) and replaced it with surface parking.

FOUNDATION

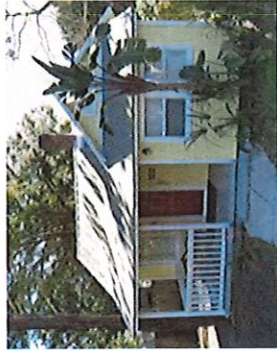
1. Brick, tabby or concrete block piers.
2. Spaces between piers left open.
3. Lattice infill between piers is common.

FACADES

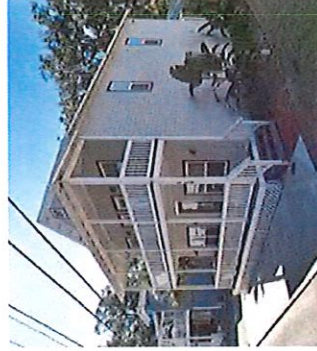
1. Vertically oriented.
2. Three-bay or five-bay pattern.
3. Simple entrance.



79 LINCOLN STREET



93 LINCOLN STREET



114 MARTIN LUTHER KING
AVENUE



COLORS

1. Colors range in the pastel family from light yellows and grays to light pastel colors.

PORCHES

1. Wide front porches.
2. Full width, wrap around, or fill in between the "L".
3. Commonly elevated 2'-6" to 3'-6" above grade.
4. Columns are typically narrow and made of wood with few details; usually spaced evenly across the façade.
5. If railings used, they were wooden with 1 ¼ inch square balustrades.

ROOF

1. Front, side and cross gable.
2. Main roofs are steeply pitched (8:12 to 12:12).
3. Porch roofs have a low pitch (2:12 to 4:12).
4. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
5. Asbestos, composition or metal shingles, V-crimp metal.
6. Brick or stucco chimneys, typically on the gable end walls.
7. Dormers sometimes used on 1 ½ story homes.

DOORS

1. Transoms, fanlights are common.
2. Door trim projects out from wall cladding, approximately ¾ inch. Jamb trim min. 4" wide, and headers (lintel) are normally 6" wide.
3. Doors contain recessed wood panels.

WINDOWS

1. Windows are single, tall and narrow.
2. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1). Jalousie used in later construction (mid-century).
3. Transoms, fanlights and attic louvers are common.



City of St. Augustine
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4. Second floor windows align with first floor windows.
5. Houses built in the early 1900s had wood windows. Aluminum and vinyl windows have been used more recently.
6. Windows are spaced evenly along all facades.
7. Window trim projects out from wall cladding, approximately $\frac{3}{4}$ inch. Jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
8. Shutters are not typically used. If used, they should be paneled and should be either operable or proportioned to look operable.

MATERIALS

1. Horizontal wood siding; less common are wood shingles and board and batten. Vinyl and fiber cement siding used more recently.

ORNAMENTATION

1. Sparse, limited to ornamental woodwork.

FENCES

1. Wooden fences are most common.
2. Picket fences with various level of ornamentation, consistent with the main building.



APPENDIX C: STYLE OVERVIEW



111 MARTIN LUTHER KING AVENUE



97 MARTIN LUTHER KING AVENUE

TRADITIONAL COMMERCIAL BACKGROUND

Non-residential Masonry Vernacular buildings outnumber all other styles in the King Street district. As noted above, Masonry Vernacular buildings do not follow a particular style, but rather reflect local conditions and trends. The non-residential Masonry vernacular buildings in the district can be classified based on the type of use they serve.

The **one and two-story commercial masonry vernacular buildings** are encouraged in the King Street district. See style characteristics below. There are two examples of **multi-story masonry vernacular buildings** in the district. Neither one, however, has commercial use on the ground floor.

In more recent years, a different type of commercial vernacular has emerged – buildings housing auto-oriented uses. The **auto-oriented masonry vernacular buildings** typically have the customer parking area in front of the building. And even when the building is located close to the street, the entrance to the building faces the parking lot on the side of the building. The windows on this type of building are much smaller than the commercial buildings discussed above. There is one example in the district of a masonry vernacular building, with a large setback and porte cochere, that used to be a service station but today serves as a kart, scooter and bike rental. This type of building is not appropriate in the King Street Entry Corridor District.

The **institutional masonry vernacular buildings** in the King Street district date from different very periods of time, and do not represent a particular trend. The older examples do project a more monumental presence with their architectural detail and vertical orientation and are oriented to the street.

Masonry vernacular buildings sometimes adopt architectural elements from other styles but not in such a strong manner as to classify it under that style. While it is acceptable to infuse a stylistic flare to the commercial buildings, the main character or typology of such buildings shall follow closely the description provided above for the one, two or multi-story masonry vernacular buildings.



BUILDING PLAN

1. The building is typically oriented to the street, placed close to the sidewalk;
2. The ground floor is used for retail or restaurant use and the second floor may house apartment units or office space;
3. Parking is located in the rear of the site or, in some cases, to the side of the building.

FOUNDATION

1. Slab or continuous wall (concrete or masonry units)

FAÇADE/FRONTAGE ELEMENTS

1. The ground floor façade includes one or several store-fronts with glass display windows and doors and low bulkhead;
2. Awnings and canopies are commonly used in the one-story examples. Galleries and canopies (sometimes projecting over the sidewalk) are seen in the two-story examples.

COLORS

1. Colors range from pastels to earth colors;
2. Contrasting base and trim colors.

ROOF

1. Flat, hip, or gable pitched roof;
2. Parapets are used to hide the main roof;

DOORS

1. Recessed storefront glass doors are common;
2. Wood or metal door frames.



WINDOWS

1. Fixed plate glass display windows and doors on the first floor.
2. Upper floor windows are typically single, tall and narrow; some may include arches or decorative brick work trim.
3. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1).
4. Windows are spaced evenly along all facades.
5. Upper story window trim projects out from wall cladding, approximately $\frac{3}{4}$ inch. Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide.
6. Shutters are not typically used. When used, they should be paneled and should be either operable or proportioned to look operable.

MATERIALS

1. Exposed brick, painted block; sometimes has a rough stucco finish.

ORNAMENTATION

1. Detailing is simple, usually consisting of cast concrete.

SIGNS

1. Business signs typically include wall or projecting signs complementing the design of the façade;



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APPENDIX D: LANDSCAPE PLANT LIST

Botanical Name	Common Name	Botanical Name	Common Name
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Street Trees

<i>Quercus laurifolia</i>	Laurel Oak
<i>Quercus virginiana</i>	Live Oak
<i>Quercus shumardii</i>	Shumard Oak
<i>Plantanus occidentalis</i>	Sycamore
<i>Taxodium distichum</i>	Bald Cypress
<i>Ulmus parrifolia</i>	Drake Elm

Street Palms

<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Phoenix sylvestris</i>	Sylvestris Date Palm
<i>Sabal palmetto</i>	Sabal Palm
<i>Washingtonia robusta</i>	Washington Palm

Accent Trees and Palms

<i>Acer rubrum</i>	Red Maple
<i>Bambusa spp.</i>	Bamboo (clumping)
<i>Butia capitata</i>	Pindo Palm
<i>Cercis cananadensis</i>	Redbud
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex opaca</i>	American Holly
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Juniperus silicicola</i>	Southern Red Cedar
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Ligustrum spp.</i>	Ligustrum
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Livistonia chinensis</i>	Chinese Fan Palm
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Myrica cerifera</i>	Wax Myrtle
<i>Phoenix reclinata</i>	Senegal Date Palm
<i>Prunus agustifolia</i>	Chickasaw Plum
<i>Prunus calleryana</i>	Bradford Pear
<i>Prunus caroliniana</i>	Cherry Laurel
<i>Trachycarpus fortunei</i>	Windmill Plum



Botanical Name

Common Name

Botanical Name

Common Name

Hedges*, Shrubs*, Cycads and Palms

(*To be used as a screen for parking lots.)

<i>Abelia grandiflora</i> *	Abelia
<i>Camellia japonica</i>	Camellia
<i>Camellia sasanqua</i>	Sasanqua Camellia
<i>Cassia spp.</i>	Cassia
<i>Cortaderia selloana</i>	Pampas Grass
<i>Crinum spp.</i>	Crinum Lily
<i>Eleagnus pungens</i> *	Silverthorn
<i>Eragrostis spectabilis</i>	Purple Lovegrass
<i>Feijoa sellowiana</i> *	Feijoa
<i>Galphimia glauca</i>	Thryallis
<i>Gardenia jasminoides</i>	Gardenia
<i>Hibiscus spp.</i>	Hibiscus
<i>Ilex cassine</i>	Dahoon Holly
<i>Ilex cornuta</i> *	Chinese Holly
<i>Ilex cornuta</i> * "Burfordi"	Burford Holly
<i>Ilex crenata</i>	Japanese Holly
<i>Ilex vomitoria</i> "nana"	Dwarf Yaupon Holly
<i>Illicium anisatum</i> *	Star Anise
<i>Illicium parviflorum</i> *	Yellow Anise
<i>Juniperus chinensis</i> *	Chinese Juniper
<i>Juniperus spp.</i>	Juniper
<i>Lantana camara</i>	Lantana
<i>Ligustrum japonicum</i> *	Japanese Privet
<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia
<i>Muhlenbergia capillaris</i>	Muhly Grass
<i>Nandina domestica</i>	Heavenly Bamboo

Hedges*, Shrubs*, Cycads and Palms

<i>Nerium oleander</i>	Oleander
<i>Philodendron selloum</i>	Split Leaf Philodendron
<i>Photinia fraseri</i>	Fraser's Photinia
<i>Pittosporum tobira</i> *	Pittosporum
<i>Plumbago auriculata</i>	Plumbago
<i>Podocarpus macrophyllus</i> *	Podocarpus
<i>Pyracantha coccinea</i>	Firethorn Pyracantha
<i>Raphiolepis indica</i>	Indian Hawthorn
<i>Rhapidothamnium hystrix</i>	Needle Palm
<i>Rhododendron indica</i> *	Indica Azaleas
<i>Rhododendron obtusum</i>	Dwarf Azaleas
<i>Rhododendron kurume</i>	Kurume Azaleas
<i>Serenoa repens</i>	Saw Palmetto
<i>Spartina spp.</i>	Cordgrass
<i>Thuja occidentalis</i>	American Arborvitae
<i>Viburnum odoratissimum</i> *	Sweet Viburnum
<i>Viburnum suspensum</i> *	Sandankwa Viburnum
<i>Viburnum Tinus</i>	Laurustikus Viburnum
<i>Yucca elephantipes</i>	Spineless Yucca
<i>Yucca smalliana</i>	Bear Grass
<i>Zamia floridana</i>	Coontie
<i>Zamia furfuracea</i>	Cardboard Plant



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Botanical Name	Common Name	Botanical Name	Common Name
Groundcovers		Vines	
<i>Aspidistra elatior</i>	Cast Iron Plant	<i>Clematis dioscoreifolia</i>	Japanese Clematis
<i>Catharanthus roseus</i>	Periwinkle, Vinca	<i>Clematis virginiana</i>	Sweet Autumn Clematis
<i>Cyrtanthium falcatum</i>	Holly Fern	<i>Glesmium sempervirens</i>	Carolina Jasmine
<i>Dietes iridioides</i>	African Iris	<i>Hedera canariensis</i>	Algerian Ivy
<i>Ficus pumila</i>	Creeping Fig	<i>Hedera helix</i>	English Ivy
<i>Gaillardia pulchella</i>	Gaillardia	<i>Ipomoea stolonifera</i>	Beach Morning Glory
<i>Gelsemi sempervirens</i>	Carolina Jessamine	<i>Jasminum multiflorum</i>	Downy Jasmine
<i>Gerbera jamesonii</i>	Gerbera Daisy	<i>Jasminum sambac</i>	Arabian Jasmine
<i>Hedera canariensis</i>	Algerian Ivy	<i>Lonicera japonica "halliana"</i>	Hall's Honeysuckle
<i>Hedera helix</i>	English Ivy	<i>Lonicera sempervirens</i>	Coral Honeysuckle
<i>Hemerocallis spp.</i>	Day Lilly	<i>Parthenocissus quinquefolia</i>	Virginia Creeper
<i>Helianthus debilis</i>	Beach Sunflower	<i>Trachelospermum asiaticum</i>	Confederate Jasmine
<i>Ipomoea stolonifera</i>	Beach Morning Glory	<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Iris virginica</i>	Blue Flag	<i>Wisteria sinensis</i>	Chinese Wisteria
<i>Lantana depressa</i>	Yellow Pineland Lantana	Turfgrass	
<i>Lantana montevidensis</i>	Weeping Lantana	<i>Bahia Grass</i>	
<i>Liriope spp.</i>	Lilly Turf	<i>Bermuda Grass</i>	
<i>Lonicera japonica "Halliana"</i>	Hall's Honeysuckle	<i>Centipede Grass</i>	
<i>Nandina domestica "nana"</i>	Dwarf Heavenly	<i>St. Augustine Grass</i>	
<i>Nephrolepis exaltata</i>	Sword or Boston Fern	<i>Zoysia Grass</i>	
<i>Ophiopogon japonicus</i>	Mondo Grass	PLANTS NOT LISTED	
<i>Pittosporum tobira "nana"</i>	Dwarf Pittosporum	<p>All native plants as defined by UF/IFAS or USDA to northeast Florida may be used in addition to this list. All plantings defined as "Florida Friendly" and suited to northeast Florida's climate by UF/IFAS may also be used. Refer to the Florida-Friendly Landscape website for more assistance: http://fyn.ifas.ufl.edu/</p>	
<i>Rudbeckia hirta</i>	Black Eyed Susan		
<i>Trachelospermum asiaticum</i>	Confederate Jasmine		
<i>Trachelospermum jasminoides</i>	Star Jasmine		
<i>Tulbaghia violacea</i>	Society Garlic		
<i>Vinca major</i>	Bigleaf Periwinkle		
<i>Zamia floridana</i>	Coontie		




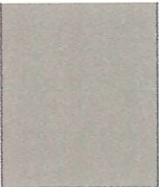


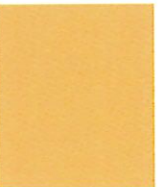
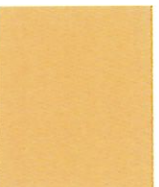
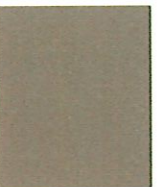
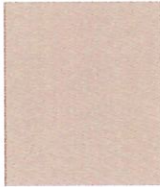
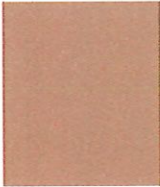
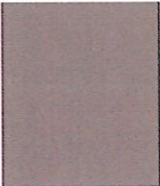
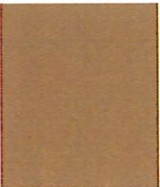
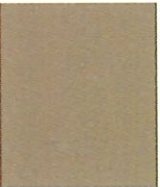
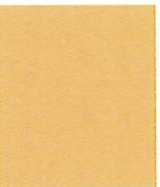
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APPENDIX E: RECOMMENDED PAINT COLORS

Paint colors are arranged by Architectural Style and Years. Paint names and manufacturer numbers are listed to ensure correct paints are purchased. Manufacturers referenced are Sherwin-Williams (SW ####) and Benjamin Moore (BM ###). Additional information can be found in the City of St Augustine AGHP's Guide to Paint Colors and Placement.

EARLY VICTORIAN, CA. 1840-1870

						
Downing Sand SW 2822	Downing Stone SW 2821	Downing Yellow SW 6696	Downing Cream SW 6127	Renwick Yellow SW 6381	Renwick Gold SW 6388	Downing Earth SW 2820
						
Renwick Beige SW 2805	Renwick Rose Beige SW 2821	Renwick Heather SW 2818	Renwick Golden Oak SW 2824	Renwick Olive SW 2815	Downing Slate SW 2819	

LATE VICTORIAN, CA. 1870-1890

						
Rookwood Clay SW 2823	Rookwood Antique Gold SW 2814	Tiffany Bronze SW 2806	Rookwood Brown SW 2806	Rookwood Medium Brown SW 2807	Rookwood Dark Brown SW 2808	Rookwood Dark Green SW 2816



APPENDIX D: RECOMMENDED PAINT COLORS

LATE VICTORIAN, CA. 1870-1890

				
Tiffany Palm Green SW 6397	Tiffany Moss Green SW 6417	Rookwood Olive SW 2843	Rookwood Dark Olive SW 2846	Tiffany Olive SW 2815

BOTH EARLY AND LATE VICTORIAN, CA. 1840-1900

						
Light Gray Stone SW 7016	Medium Gray Stone SW 7017	Dark Gray Stone SW 7046	Light Slate SW 7072	Medium Slate SW 7074	Dark Slate SW 7075	Light Brownstone SW 6094
						
Medium Brownstone SW 6095	Dark Brownstone SW 6089	Rookwood Dark Red SW 2801	Rookwood Red SW 2802	Rookwood Terra Cotta SW 2803	Roycroft Bronze Green SW 2846	Buff SW 6135



APPENDIX D: RECOMMENDED PAINT COLORS

BOTH EARLY AND LATE VICTORIAN, CA. 1840-1900

	Light Drab SW 6149		Medium Drab SW 6150		Dark Drab SW 6151		Rookwood Shutter Green SW 2809		Rookwood Sash Green SW 2810		Rookwood Blue Green SW 2811		Rookwood Jade SW 2812
	Dark Blue Green SW 6474		Rookwood Antique Gold SW 2814		Downing Straw SW 2813		Rookwood Amber SW 2817		Old Gold SW 6384		Light Olive SW 2842		Medium Olive SW 2815
	Dark Olive SW 2843		Olive Yellow SW 6410		Powder Blue SW 2863		Colonial Revival Gray SW 2832		Colonial Revival Ivory SW 2833		Colonial Revival Yellow SW 2865		

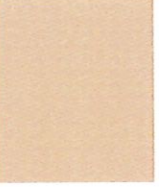
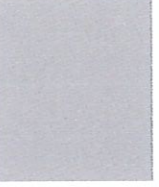


APPENDIX D: RECOMMENDED PAINT COLORS

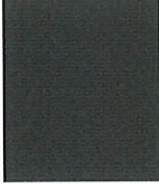
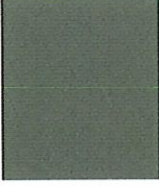
COLONIAL AND CLASSICAL REVIVAL, CA. 1890-1930

BODY AND TRIM

						
Classical White SW 2829	Colonial Revival Ivory SW 2833	Colonial Revival Yellow SW 2865	Classical Gold SW 2831	Colonial Revival Blue SW 6227	Colonial Revival Sea Green SW 2825	Colonial Revival Green Stone SW 2826

		
Colonial Revival Stone SW 2827	Colonial Revival Tan	Colonial Revival Gray SW 2813

TRIM ONLY

	
Rookwood Shutter Green SW 2809	Renwick Fence Green SW 6194



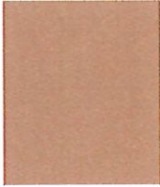
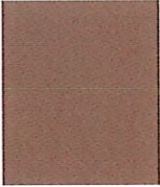
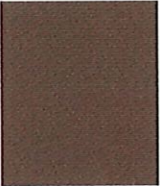
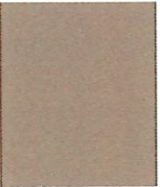
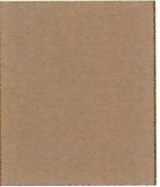
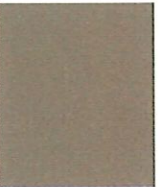
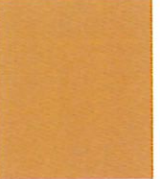
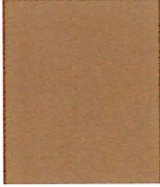
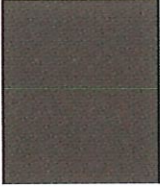

APPENDIX D: RECOMMENDED PAINT COLORS

MEDITERRANEAN INFLUENCE, CA. 1890-1940

BODY (STUCCO)

			
Bagel SW 6114	Interactive Cream	Beige SW 2859	Universal Khaki SW 6150

TRIM ONLY

						
Renwick Rose Beige SW 2804	Quartersawn Oak SW 2836	Rookwood Dark Brown SW 2808	Sycamore Tan SW 2855	Rookwood Clay SW 2823	Downing Earth SW 2820	Rookwood Amber SW 2817
						
Renwick Golden Oak SW 2824	Roycroft Bronze Green SW 2846	Rookwood Shutter Green SW 2809				



APPENDIX D: RECOMMENDED PAINT COLORS

BUNGALOW, CA. 1890-1940

PAINT SELECTION INSTRUCTIONS:

In the paint selection process usually two to five (2 to 5) colors total consisting of a “family” of colors and an accent color (complementary or contrasting) color that may or may not be trim color are selected:

Body Color(s): one main color, can have second compatible color for gable or second floor body.

Major Trim: contrasting to main body, for corner boards, porch railings, steps, window trim (not sash), and door trim boards.

Minor Trim: Doors, porch parts (posts, spindles) and decorative trim next to major trim

Sash (moveable parts of window): white, light/dark body or accent color

Accent: highlighting architectural features, brackets, doors, posts, accent boards, etc.

Note:

White can be used for body, major or minor trim, window sashes or as an accent.

Black can be used for minor trim, window sashes, or as an accent ONLY.

Colors may be selected based on compatible family pairings. See color guide below and on following pages.

FAMILY 1 (compatible with Family 2)

						
Hunt Club SW 6468	Dried Thyme SW 6186	Plymouth Green SW 2852	Roycroft Vellum SW 2833	Birdseye Maple SW 2834	Downing Straw SW 2813	Rookwood Terracotta SW 2803



APPENDIX D: RECOMMENDED PAINT COLORS

BUNGALOW, CA. 1890-1940

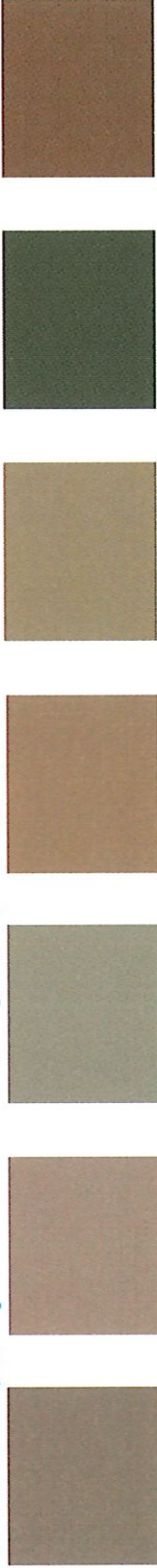
FAMILY 1 (compatible with Family 2)



Rookwood
Amber
SW 2817

New Colonial
Yellow
SW 2853

FAMILY 2 (compatible with Family 1, 3, or 4)



Downing Earth
SW 2820

Sycamore Tan
SW 2855

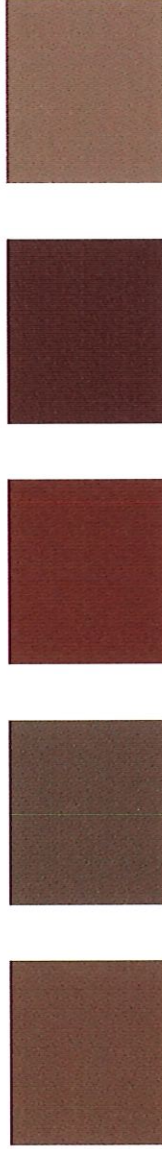
Bunglehouse
Gray
SW 2845

Rookwood Clay
SW 2823

Renwick Olive
SW 2815

Rookwood
Dark Green
SW 2816

Rookwood
Brown
SW 2806



Rookwood
Medium Brown
SW 2807

Rookwood
Dark Brown
SW 2808

Rookwood Red
SW 2802

Rookwood
Dark Red
SW 2801

Quartersawn
Oak
SW 2836



APPENDIX D: RECOMMENDED PAINT COLORS

BUNGALOW, CA. 1890-1940

PAINT SELECTION INSTRUCTIONS:

In the paint selection process usually two to five (2 to 5) colors total consisting of a “family” of colors and an accent color (complementary or contrasting) color that may or may not be trim color are selected:

Body Color(s): one main color, can have second compatible color for gable or second floor body.

Major Trim: contrasting to main body, for corner boards, porch railings, steps, window trim (not sash), and door trim boards.

Minor Trim: Doors, porch parts (posts, spindles) and decorative trim next to major trim

Sash (moveable parts of window): white, light/ dark body or accent color

Accent: highlighting architectural features, brackets, doors, posts, accent boards, etc.

Note:

White can be used for body, major or minor trim, window sashes or as an accent.

Black can be used for minor trim, window sashes, or as an accent ONLY.

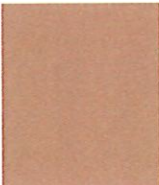



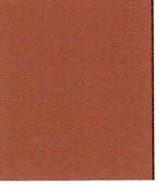
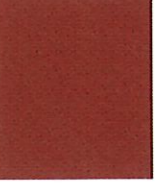
Colors may be selected based on compatible family pairings. See color guide below and on following pages.



APPENDIX D: RECOMMENDED PAINT COLORS

BUNGALOW, CA. 1890-1940

FAMILY 3 (compatible with Family 2 or 4)

					
Renwick Rose Beige SW 284	Beige SW 2859	Soft Apricot SW 6352	Kings Bakery Coral BM 040	Rookwood Terracotta SW 2803	Fireweed SW 6328

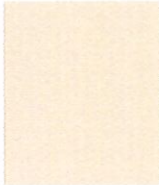
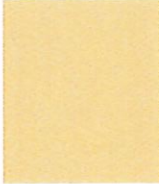
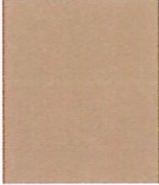
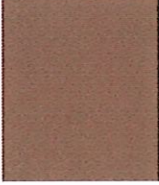
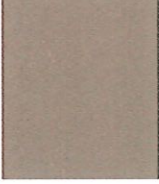
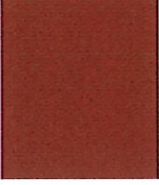
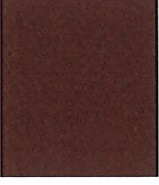
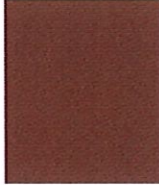
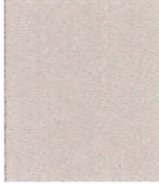
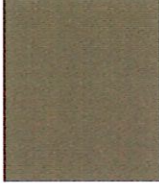
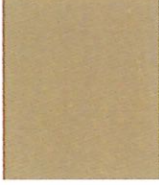
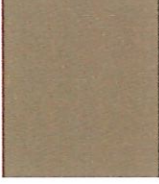
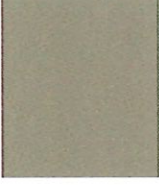
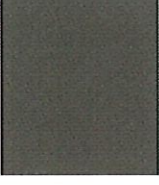


FAMILY 4 (compatible with Family 2 or 3)

						
Downing Stone SW 2821	Oyster Bay SW 6206	Downing Slate SW 2819	Glamour SW 6031	Vaguely Mauve SW 6015	River Rouge SW 6026	De Mesa Pink BM 038
						
Renwick Beige SW 2805	Rainstorm SW 6230					



APPENDIX D: RECOMMENDED PAINT COLORS

CRAFTSMAN, CA. 1910-1940

						
Roycroft Vellum SW 2833	Birdseye Maple SW 2834	Craftsman Brown SW 2835	Quartersawn Oak SW 2836	Hammered Silver SW 2840	Roycroft Copper Red SW 2839	Polished Mahogany SW 2838
						
Aurora Brown SW 2837	Roycroft Mist Gray SW 2844	Roycroft Brass SW 2843	Roycroft Suede SW 2842	Weathered Shingle SW 2841	Bunglehouse Gray SW 2845	Roycroft Bronze Green SW 2846
						
Roycroft Bottle Green SW 2847	Roycroft Pewter SW 2848					

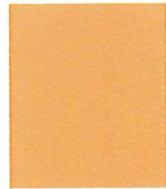


APPENDIX D: RECOMMENDED PAINT COLORS

POST WAR ROMANTICISM, CA. 1945-1970



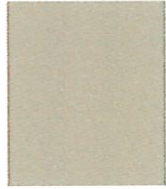
Peace Yellow
SW 2857



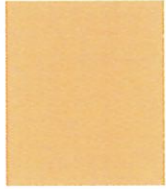
Harvest Gold
SW 2858



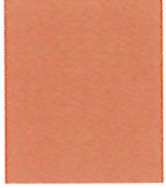
Beige
SW 2859



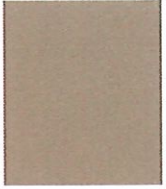
Sage
SW 2860



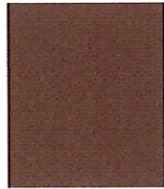
**New Colonial
Yellow**
SW 2853



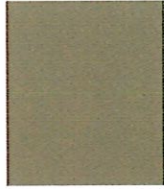
**Caribbean
Coral**
SW 2854



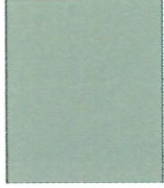
Sycamore Tan
SW 2855



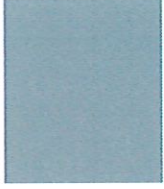
Fairfax Brown
SW 2856



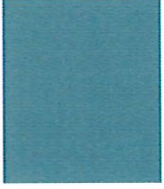
Avocado
SW 2861



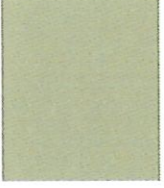
Burma Jade
SW 2862



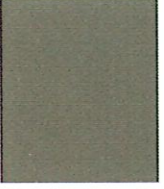
Powder Blue
SW 2863



Statford Blue
SW 2864



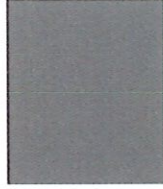
**Plymouth
Green**
SW 2852



**Sage Green
Light**
SW 2851



Chelsea Gray
SW 2850



**Westchester
Gray**
SW 2849



GUIDELINES FOR INFORMATIONAL PURPOSES

These voluntary guidelines are intended for informational purposes only at this time.

We hope that you consider incorporating them in your renovations or new construction to honor the architectural history of Lincolnville.



City of St. Augustine
Lincolnville CRA Architectural Guidelines

FINAL DRAFT FOR BOARD REVIEW
JULY 10, 2023

Prepared by



Marquis Latimer + Halback
LANDSCAPE ARCHITECTURE · PLANNING

Marquis Latimer + Halback, Inc.

34 Cordova Street, Suite A
St. Augustine, FL 32084
Jeremy Marquis, RLA, ASLA, LEED AP BD+C, Project Manager
jeremy@halback.com

LES THOMAS
ARCHITECT

Les Thomas Architect, Inc.

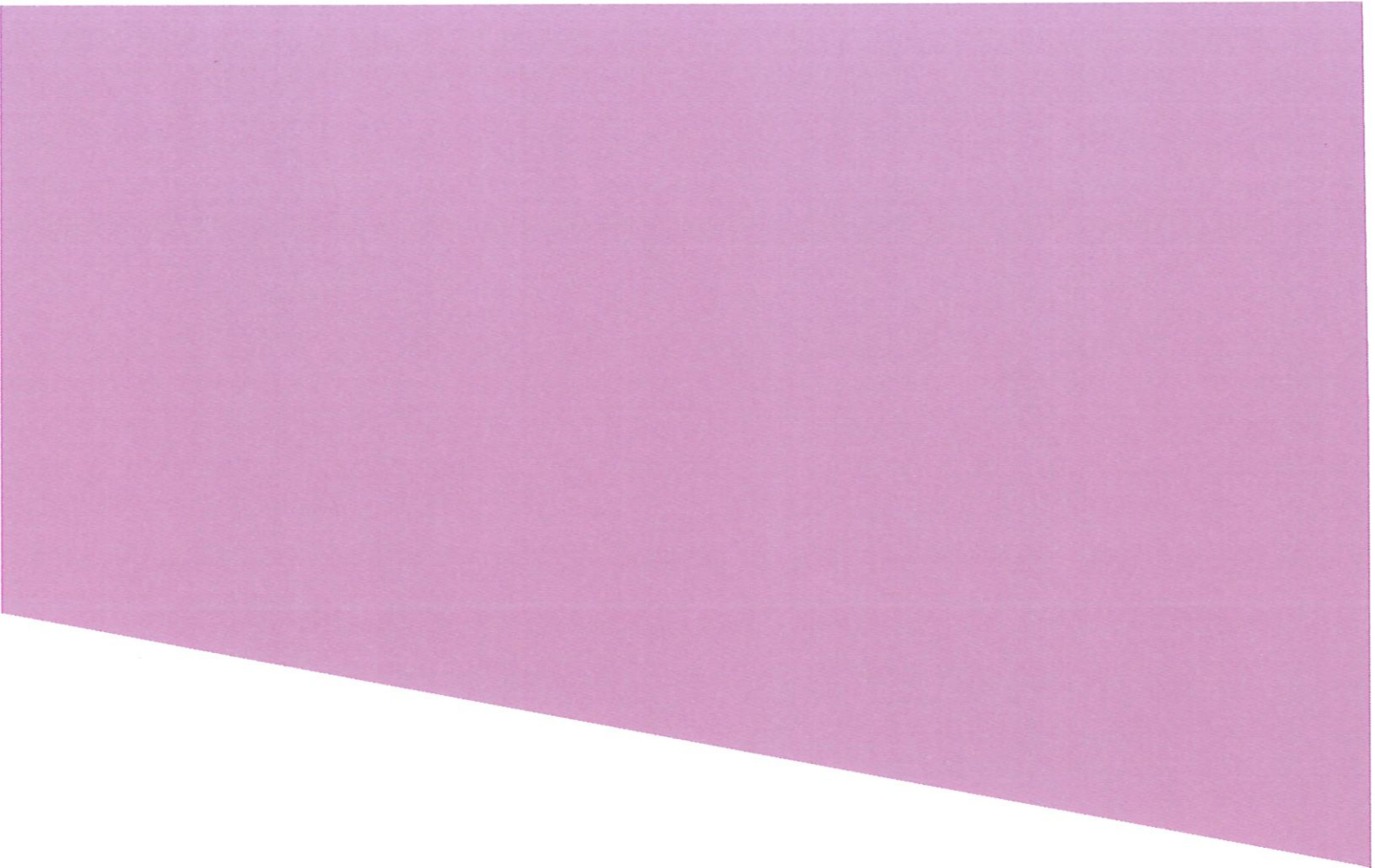
32 Cordova Street
St. Augustine, FL 32084
Les Thomas, R.A., AIA
lesthomasarchitect@gmail.com

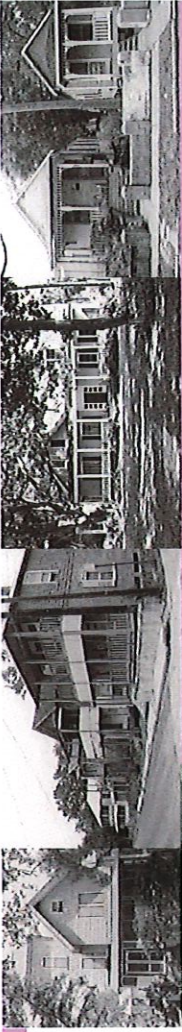


Open City
Architecture

Open City Architecture, Inc.

695 16th Street
Saint Augustine, Florida 32080
R Conner Dowling, R.A., AIA
conner@opencityarchitecture.com





Lincolnville Community Redevelopment Area Architectural Guidelines QUICK REFERENCE Preserving Lincolnville + Maintaining a Vibrant Neighborhood

Lincolnville is a neighborhood with rich history, especially regarding the African American settlements within the City of St. Augustine. In fact, Lincolnville and the City of St. Augustine have the oldest record of continuous African American settlement in the United States dating from Pedro Menendez's founding of the city in 1565 to the present day.

In addition to Lincolnville's cultural legacy, Lincolnville has an incredible built history being, "... the densest concentration and most numerous examples of historic structures." (NRHD Application, page 48)

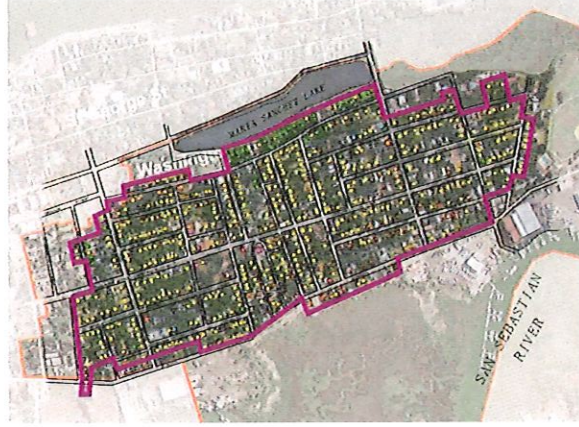
The buildings in Lincolnville range from Frame Vernacular, Masonry Vernacular, Frame/Masonry Vernacular, Bungalow, Gothic Revival, Mediterranean Revival, Italianate, Queen Anne, Tudor, Victorian Era, and potentially Pre-Colonial archaeological footprints. The cultural and built history of Lincolnville are protected by the National Register of Historic Places designation, but it is incumbent on all homeowners, property owners, and the community to care for these treasures.

These voluntary guidelines are intended for informational purposes only at this time. We hope that you consider incorporating them in your renovations or new construction to honor the architectural history of Lincolnville.

Quick Reference: Focal Features

Note that two of the most important architectural features are the front porch and appropriate roof pitch (angle and shape of roof). The materials of the siding and window / fenestration appearance are both of note. This quick reference guide is designed to provide an easy overview. Also reference the full Lincolnville CRA Architectural Guidelines to learn more.

Full Guidelines: Please visit www.CityStAugCRA.com



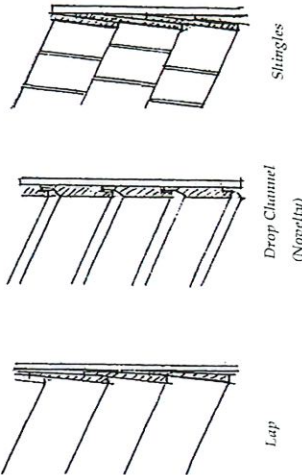
QUICK REFERENCE "BIG FOUR"

- Front Porch
- Roof Pitch
- Siding
- Windows

SIDING

Horizontal siding is common throughout Lincolnville. Less common are wood shingles and board and batten. Consider the following:

1. Materials may be wood or cementitious panels. Vinyl is not appropriate for Lincolnville.
2. Smaller profiles are preferred, such as 6" exposure for horizontal siding.
3. Smooth finish is preferred.



Siding examples. Graphic by Les Thomas Architect and ML+H Team.

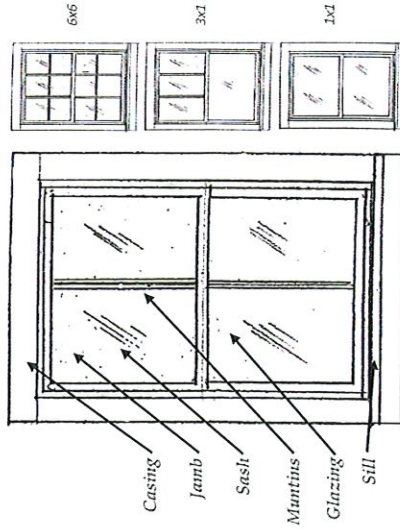
FENESTRATION & GLAZING (WINDOWS)

Design aspects of fenestration include:

1. Windows generally are double-hung, rectangular windows.
2. Windows can be single or multi-pane (6/6, 3/1, 2/2 or 1/1).
3. Trim projects out from wall cladding, approximately 3/4 inch. Jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
4. Shutters are not typically used. If used, they should be paneled and should be either operable or proportioned to look operable.
5. Windows to be wood, fiberglass, vinyl, or vinyl clad. Aluminum is not recommended.
6. Mirrored glass or film is not recommended.

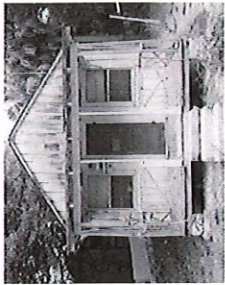
Window and fenestration layout should consider the following:

1. Second floor windows align with first floor windows.
2. Windows are spaced evenly along all facades.
3. Transoms, fanlights, and attic louvers are common.



Please contact Neighborhood Services / CRA for questions and assistance.
904.209.4254 / CRA@CityStAug.com

NEIGHBORHOOD SERVICES



THE PORCH

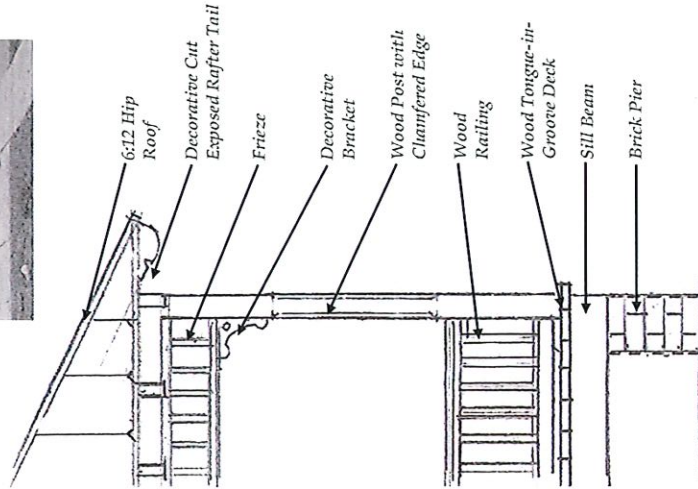
Street-facing porches are one of the primary identifying features of homes within Lincolnville and should be considered on all homes within the neighborhood. Restoration of porches that have been previously enclosed is encouraged.

Design aspects to be considered for the front porches may include:

- 1. Deep front porches.** Specifically, the porch should be deep enough for chairs to comfortably sit under the covering.
 - a. Recommended depth is between 6' to 8'.
 - b. Minimum depth of porch to be 5'-6" measured from exterior wall of home to inside edge of railing or column.
- 2. Front porch locations** may include full width, wrap around, or fill in between the "L". Full width porches are most typical.
- 3.** Commonly elevated 2'-6" to 3'-6" above grade. Also refer to Site Design Guidelines regarding stormwater.
- 4.** Decking is recommended to be wood (versus a composite). Many homes would have used tongue-and-groove (T&G).
- 5.** Columns are typically narrow and made of wood with few details; usually spaced evenly across the façade.
 - a. Details may include chamfered corners (square) or a turned (round) column.
 - b. Brackets would have traditionally been included at the top of the column (under the frieze board).
 - c. Bracket should be the same material (typically wood) as the home.
- 6.** Railings would have typically been wood. Options may have included:
 - a. 1 1/4 inch square pickets.
 - b. Custom balustrade panel with cutouts.
- 7. Screening.** Open air porches are traditional to Lincolnville and allow for the most unobstructed views of the architecture. Where screening is included, the following factors should be considered:
 - a. Screen should be placed behind (interior face) of the porch columns, railings, and other ornamental detailing.
 - b. Gray (versus charcoal) screening material is preferred as it allows the details to become more visible.
 - c. Wood framed screen systems are preferred.

TOP PHOTOS Front porches. Images from Florida SP Lincolnville Historic District document.

LEFT Typical porch components. Graphic from Los Thomas Architect and ML+H Team.



ROOF

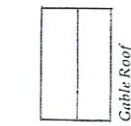
Preferred roof styles within Lincolnville include gable and hip.

- 1. Roof styles:**
 - a. Gable: Front, side, dutch, and cross gables are appropriate.
 - b. Hip: Hip roofs, especially for more Bungalow style homes, are appropriate.
- 2. Pitch:**
 - a. Main roofs are traditionally steeply pitched (8:12 to 12:12). Minimum pitch of 6:12 recommended (5:12 with 20% dormer maximum when allowed per City code for non-conforming lots).
 - b. Porch roofs have a low pitch (2:12 to 4:12).
 - c. Dormers sometimes used on 2 1/2 or 1 1/2 story homes.
- 3. Rafter tails / ends:**
 - a. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
 - b. Vinyl soffits are discouraged.
- 4. Materials:**
 - a. Asbestos (existing historic), composition or metal shingles, V-crimp metal.
 - b. Brick or stucco chimneys, typically on the gable end walls.



BELOW Examples of Roof Types in Plain and Axonometric. Graphic by Los Thomas Architect and ML+H Team.

ABOVE Examples of Roof Types. Images by ML+H.



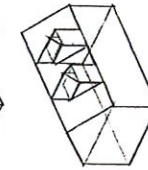
Gable Roof



Cross Gable Roof



Hip Roof



Gable Roof with Dormers



Dutch Gable Roof



ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
CITY OF ST. AUGUSTINE, FLORIDA

CITY OF ST. AUGUSTINE

MEMORANDUM

TO: The Honorable Chair and Board Members
City of St. Augustine Community Redevelopment Agency

DATE: July 10, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;
Dr. Martin Luther King Jr. Ave. Streetscape Project Boundary Extension
Recommendation

Attached please find the notice from engineering professional, Earl Wills, project manager from the selected firm, Kimley-Horn. The attached notice outlines the benefits of extending the project boundary and including the additional roadway within the streetscape project scope.

As staff continues to work with the engineers at Kimley-Horn and Associates, information continues to evolve, and our findings help us to continue to develop the project scope in a way that would benefit residents and users of the improved streetscape for many years to come.

Recommendation:

The MLK Streetscape Project is slated to be an overall improvement to the useability and visual aesthetics of Dr. Martin Luther King Jr. Avenue. The scope specifically calls to enhance pedestrian connectivity and safety by improving lighting, adding pedestrian bump outs, and high visibility crosswalks. The project will also incorporate traffic calming elements, undergrounding utilities, and introduce a street banner program. The original project scope includes the MLK corridor starting at Bridge Street and ending at the cross-section of Dr. Martin Luther King Jr. Avenue and South Street.

Internal staff conversations, conversations with individual Lincolnville Community Redevelopment Steering Committee Members, and the engineering professionals at the selected firm, Kimley Horn, continue to express the need to expand the project boundary past South Street, to the corridors end at Cerro Street. The attached professional engineering statement highlights cost-saving benefits and limited disruption to residents. Avoiding the need to return to the same project area and perform similar project tasks post the completion of the original phase. Expanding

the project boundary and incorporating the additional roadway also allows for the street to embody the complete street approach, where the street is planned, designed, operated, and maintained to enable safe, convenient, and comfortable travel access for all users, regardless of age, abilities, and mode of transportation.

City staff is asking the CRA Board to:

1. Make a motion to formally authorize the expansion of the MLK Streetscape Project boundary to include the additional roadway from South to Cerro Street. This is to say that streetscape improvements will include Dr. Martin Luther King Jr. Ave, beginning at Bridge Street and continuing to Cerro Street.



Jaime D. Perkins

Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: Engineer Statement.



July 11, 2023

Ms. Jaime Perkins, MPA, PMP
City of St Augustine
P.O. Box 210
St Augustine, FL 32085

RE: *Dr Martin Luther King Jr. Avenue Streetscape.*

Dear Ms. Perkins

Kimley-Horn and Associates, Inc. has been working with the City of St Augustine and the Lincolnville Community Redevelopment Area Steering Committee to develop a conceptual streetscape design for Dr Martin Luther King Jr. Avenue through the Lincolnville community. As part of that conceptual streetscape design, we developed an improvement plan for the corridor based on input received from the community through public information meetings as well as from guidance provided by the Lincolnville Steering Committee. Through these community engagement efforts, a concept plan was approved by the steering committee which included the reconstruction of MLK Ave to provide the following general improvements:

- 1.) Two - 9ft wide travel lanes with an 8ft wide parking lane on one side of the roadway
- 2.) 6ft wide sidewalks along both sides of the roadway w/ ADA compliant ramps
- 3.) Decorative street lighting
- 4.) Landscape and Hardscape improvements (*historical signs, Lincolnville entry monument signs, aesthetic sidewalk treatments, etc.*)
- 5.) Undergrounding of overhead utility lines (FPL)
- 6.) Replacement of aging City of St Augustine Water and Sewer facilities

For reference a copy of the approved typical roadway section is attached to this letter which illustrates the vision for the community.

The project limits for MLK Ave during the conceptual design development phase was from South Street to Bridge Street (approx. 2500LF) with an estimated construction cost of \$2.6 million dollars which included the undergrounding of FPL's overhead electric lines.

The original plan was for the CRA to redevelop the MLK corridor in two separate phases however it has been suggested that the original project limits be extended further south to Cerro Street (additional 1000LF). The extension of the project south to Cerro Street would provide the City with two primary benefits. The first benefit is that the entire MLK Ave corridor could be constructed in a single phase, limiting disruption to residents by providing for a shorter overall construction duration. The second benefit is that there is some economy of scale that could be realized which would reduce overall project costs. At this conceptual stage of development it is estimated that extending the project to Cerro street would require approximately an additional \$1.0 million of funding.

If you should have any questions or need any additional information regarding the final design phase development for this project please let us know.

Sincerely,

A handwritten signature in black ink, appearing to read "Earl Wills", written over a horizontal line.

Earl Wills, PE
Project Manager





ST. AUGUSTINE
COMMUNITY REDEVELOPMENT AGENCY
CITY OF ST. AUGUSTINE, FLORIDA

CITY OF ST. AUGUSTINE

MEMORANDUM

TO: The Honorable Chair and Board Members
City of St. Augustine Community Redevelopment Agency

DATE: July 12, 2023

RE: Agenda Item for July 24, 2023, Community Redevelopment Agency Meeting;
Lincolnville Community Redevelopment Area Timeframe Extension

Attached please find April 17, 2023, Lincolnville Community Redevelopment Area (LCRA) Steering Committee meeting minutes (item 4d), where the Steering Committee voted unanimously in favor of moving forward with steps to extend the LCRA operational timeframe as well as adding language to the Community Redevelopment Plan (CRP) that would address the commercial development element within the Community Redevelopment Area (CRA).

Staff continues to address conditions of blight, and community inadequacies consistent with the current LCRA Community Redevelopment Plan Amendment. The LCRA has approximately 10 projects ongoing and at least 3 major projects, that in consideration of planning efforts and funding opportunities could span over a ten-year period. The current sunset date of the Lincolnville Community Redevelopment Area is April 8, 2033.

Recommendation:

The Community Redevelopment Plan is a living document that can and should be updated to meet the ever-changing needs of the Community Redevelopment Area. Projects and programs should align and be consistent with the evolution of the community. Goals must be identified within the Community Redevelopment Plan (CRP), or they cannot be addressed by the Agency.

Anticipating the current timeline of ongoing projects and future projects, staff and stakeholders are concerned that the remaining ten-year operating period of the LCRA may not provide adequate time to accomplish all of the goals addressed in the CRP. Furthermore, the implementation of new projects and programs aimed to foster and support a thriving community could span past the CRA sunset date of April 8, 2033. The inability to complete these projects prior to the sunset date could stifle the ongoing success of the CRA.

Extending the operation period allows for ongoing and future projects to be planned, conceptualized, implemented, and completed. The CRA operating period may have a timeframe of up to sixty (60) years dependent upon the completion and adoption of the Community Redevelopment Plan.

City staff is asking the CRA Board to:

1. Make a motion to formally authorize staff to move forward with selecting a consultant to assist in amending the LCRA Plan, focusing on extending the operation timeframe and addressing goals related to commercial and business development.



Jaime D. Perkins
Neighborhood Services and CRA Manager

cc: City Manager, Assistant City Managers, City Attorney, & Department Directors

Attachments: April 17, 2023, LCRA Steering Committee Meeting Minutes

CITY OF ST. AUGUSTINE, FLORIDA

Lincolnvill Community Redevelopment Area Steering Committee
April 17, 2023

The Lincolnvill Community Redevelopment Area Steering Committee met for its regularly scheduled meeting at 5:03 P.M., Monday, April 17, 2023, at the Willie Galimore Community Center. The meeting was called to order by James St. George -Chairperson. The following Steering Committee members were present:

1. ROLL CALL

James St. George, Chairperson
Mari Hayes, Co-Chairperson
Madeline Wise
Dee Thomas

Dalonja Duncan (**excused absence**)

Staff Present:

Jaime D. Perkins, CRA Manager; Isabelle Lopez, City Attorney
Kelly Traynor, Assistant City Attorney

2. Approval of Minutes

On a motion made by Mari Hayes and seconded by Madeline Wise the January 17, 2023, meeting minutes were approved with any necessary corrections.

3. GENERAL PUBLIC COMMENT

No General Public

4. GENERAL DISCUSSION

a) Hayling/Vickers Park Survey Results

Alexis Ridgell- CRA Intern presented survey data related to the Hayling/Vickers Park Resident Input Survey. She advised that the survey was a two-part 20 question survey. Staff collected 158 total responses. There were no questions or discussion regarding the presentation. Ms. Perkins used this opportunity to acknowledge the efforts of

Ms. Ridgell and the work that she has been doing with the Community Redevelopment Agency.

b) Hayling/Vickers Park Masterplan Presentation and Recommendation

Jeremy Marquis of Maquis, Latimer, and Halback and Jeremy Calloway of Maverick Engineering presented the conceptual and schematic design of both recreational spaces.

Mr. Marquis advised that the updated concepts were based off of feedback and input received from the input survey.

Mr. St. George inquired about the walking path from Eddie Vickers Park to Dr. Robert B. Hayling Freedom Park. He requested a more integrated path. He also asked about parking. Mr. Marquis suggested that the parking would be primarily at Vickers Park with the exception of 5 or 6 ADA spaces.

Ms. Wise inquired as to why there was no indication of African American historic/interpretive signage and markers along the walking pathway. She stated that in the last meeting it was discussed that this would be added. She asked Ms. Perkins to clarify. Ms. Perkins advised that Ms. Wise was correct and that the concepts being presented was foundational. Ms. Perkins stated that historic context was being proposed primarily in Hayling Plaza. Mr. Marquis stated that he could show additional context on the concepts to represent historic marker placement.

Mari Hayes inquired about the greenspace-citing safety issues correlating with the homeless population challenges presenting in the Hayling Park space. Mr. Marquis noted that the design would incorporate elevation that could help to mitigate the safety challenges.

Mr. St. George inquired about the utilities at the parks and if water supply would be well or city water. Mr. Marquis stated that it would likely be a city water connection.

Ms. Thomas asked about the community garden and any proposed improvements. Ms. Lopez stated that the community garden was under a private license. There are some legal restrictions to utilizing CRA funds for the improvements of the community garden.

Mr. Calloway stated that Maverick Engineering is working with the City's Utility Department to tap into existing lines on nearby Riberia Street. The idea is to connect water and sewer. Mr. St. George inquired about the cost. Mr. Calloway stated that cost estimates would be determined once

the final design is completed. There is an irrigation plan being proposed.

Public Comment

Kevin Lang- State that she liked the design. She stated that parks often fail because of underutilization. She asked that staff and consultants consider shade, seating, and landscaping. She also indicated the need for a dog park, kayak launch and additional amenities.

Babbara Franz- Stated that the park concept is exciting and inviting but asked about additional parking at Hayling Park. She also asked about the use of permeable materials.

Anne Galloway- Inquired about cost. She also stated that the parks seemed to be being improved as a destination area and the draw of tourists to the park space. She stated she would prefer to leave the park as is. Ms. Perkins answered the cost question by advising that cost cannot be determined until the final design is complete. Ms. Perkins also stated that approximately \$500k is currently allocated toward this park project.

Rick Spence- Mr. Spence stated that he liked the idea of implementing a chess table. He also asked about tennis and stated his approval of the pickleball courts. He asked about kayak vending machines and places to store kayaks when the launch is completed.

Lauren Giber- Stated that there is a need for dog waste containers. She also stated that the greenspace near the baseball field could be converted to a soccer field. She also suggested wider sidewalks.

Gail Eubanks- Ms. Eubank indicated her disdain for the parks being named for prominent African American figures but not placing historic contextualization. She asked for the preservation of the history of the community.

Tom Gilboy- Stated that there is water access at Freedom Park.

Ken McClain- Mr. McClain stated that the covered pavilion near the horse stables at Freedom Park needs to be removed and converted to accessible parking. He also stated that there needs to be a restroom in the park.

Nico Stearling- Ms. Stearling stated that the plans seemed to show the Cerro access as a smaller pedestrian access point. She stated that the park should have water, electricity, and emergency vehicle access.

Ms. Thomas stated that she appreciated all of the public comments. She reiterated the need for electrical and water access for future events. She asked that any historical markers placed need to be permanent and durable.

Ms. Wise stated her concern for the city and county park management responsibilities. Ms. Lopez stated that the city does not have a Parks and Recreation Department so the agreement with St. Johns County is for the County to manage the active athletic elements of the recreational spaces. She states that any items of importance- the steering committee should include in their motion to have it considered by the CRA Board Members.

Ms. Hayes commended the efforts of the forward progress of the concepts and designs. She stated the need to reinforce the idea that the park is being improved for the community. She asked about the efforts related to the marketing of the utilization of the park once it is improved.

Ms. Lopez offered insight into developing a motion with necessary updates to the plan.

A conversation ensued regarding the use of the park space as it related to events. Ms. Thomas talked about the difference in having a farmers' market versus a music festival.

Ms. Perkins stated that Eddie Vickers Park was once the event space for the Lincolnvile Festival. Ms. Perkins also stated that the park's use as it relates to events is a futuristic concept and can be addressed later with policy. She stated that the recommendation right now is based on the improvement and programming of elements.

Ms. Hayes made a motion that the Hayling Vickers Park Masterplan move forward as presented with consideration to ensuring that the history of Lincolnvile is incorporated, that parks are designed for smaller scaled community-based activities, shading and permeable parking, the addition of dog waste, water electrical and restrooms be implemented. The motion was seconded by Dee Thomas. The motion was passed with a unanimous voice vote.

c) CRA FTE (full-time employee)
Recommendation

Ms. Perkins stated that she has been working on the justification of the need for additional staff in the CRA division. She has tracked time spent on

tasks and the workload of her intern. Ms. Perkins stated that if approved, a portion of the funding to hire staff would come from the LCRA.

Mr. St. George stated that he was shocked that Ms. Perkins was doing the majority of work alone.

Ms. Wise asked why Ms. Perkins needed additional help.

Ms. Hayes stated she was in full support of additional staff and inquired how quickly someone could be hired.

Ms. Thomas stated that she definitely understands the need and asked for a job description.

Mr. St. George motioned that the board approved the recommendation for Ms. Perkins to take next steps to acquire a new hire. Ms. Hayes seconded the motion. The motion passed with a unanimous voice vote.

d) Lincolnvill Community Redevelopment Timeframe Extension Recommendation

Ms. Perking offered a recommendation to hire a consultant to investigate the opportunity to amend the Community Redevelopment Plan to extend the timeframe of the LCRA as well as add additional language to address commercial development.

Ms. Thomas stated she is favorable of extending to LCRA thirty years.

Mr. St. George stated that he would be in favor of the timeframe extension being thirty years.

Public Comment

Kevin Lang- stated that she is in favor of the LCRA extension.

Rick Spence- Inquired about the need for hiring a consultant.

Ken McClain- Stated that he is in favor of the recommendation of extending the timeframe for thirty years.

Mr. St George made a motion recommending that the CRA explore the timeframe extension and commercial improvements within the LCRA. Ms. Thomas seconded the motion. The recommendation was passed with a unanimous voice vote.

e) Annual Report Presentation

Ms. Perkins stated the annual report has been submitted to the appropriate parties and agencies. She gave a brief overview of the report's contents.

5. Steering Committee Items/Discussion

Ms. Hayes requested an update on the Architectural Guidelines. Ms. Perkins stated that the appendix of the LCRA guidelines has been added to the AGHP guidelines. Ms. Perkins also stated that she is working to have the guidelines available in the City's Planning and Building Department for those requesting permits for development within the Lincolnvill CRA boundaries.

Ms. Wise asked why the workbook was noted as a draft. Ms. Perkins stated that it is a draft because it has not been formally adopted. Ms. Lopez clarified that the AGHP if adopted will be requirements and the appendix of the LCRA document is included. Ms. Lopez stated that this is for partial demolition and partial construction.

6. City Staff Items

Ms. Perkins thanked Dee Thomas for her tenure on the board and presented her with a City Crest.

Ms. Perkins introduced newly appointed Ken McClain.

Ms. Perkins Recognized Madeline Wise on her reappointment.

Ms. Perkins stated she invited Floyd and Gayle Philips in an effort to get community buy-in from the community regarding a future proposed trolley stop at the Lincolnton Museum and Cultural Center.

Ms. Perkins stated that this is not a CRA or LCRA program or project and that it is not in the CRA's purview to recommend or approve. Ms. Perkins did state that she is favorable of the stop if it helps to keep the LMCC in Lincolnton. Ms. Perkins deferred

to the Committee Chair. Mr. St. George yielded the floor to Ms. Phillips to offer a brief presentation.

Ms. Phillips gave a presentation of the LMCC; its organization hierarchy, establishment, funding source(s), and the need for the trolley.

7. NEXT MEETING DATE

August 21, 2023

8. ADJORNMENT

The meeting was adjourned by Chairman, James St. George at 7:41 PM. with a motion made by Dee Thomas.
