



CITY OF ST. AUGUSTINE CORRIDOR REVIEW COMMITTEE
A G E N D A
THURSDAY, MARCH 3, 2022 - 2:00 PM
ALCAZAR ROOM - 75 KING STREET

1. Roll Call
2. General Public Comments for Items not on the Agenda
3. Approval of Minutes – November 10, 2021
4. Modification and Approval of Agenda
5. New Business
 - a. HP2022-0007 Argyle Forrest Blvd., LLC – Applicant & Owner
Design Approval **24 & 26 Palmetto Avenue**
To construct a new two-story mixed-use commercial and residential development on two vacant lots along the Anastasia Boulevard Entry Corridor to include any associated modifications to the Standards.
 - b. HP2022-0006 Lion Gate of St. Augustine, LLC – Applicant & Owner
Design Approval **West King Street (PID:1124300000 & 1124200000)**
To construct a new two-story residential development on two vacant lots along the King Street Entry Corridor, to include any associated modifications to the Standards.
6. Other Business
7. Adjournment

Notices:

In accordance with Florida Statute 286.0105: “If any person decides to appeal any decision made by the Corridor Review Committee with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.”

In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than three business days prior to the proceeding at the address given on the notice. Telephone 904-825-1007; 1-800-955-8771 (TDB) or 1-800-955-8770 (V) via Florida Relay Services.

Please note that one or more members of the City Commission or its appointed boards or committees may attend this meeting and participate, however they may not engage in a discussion or debate amongst themselves on any issue that will likely come before their respective elected or appointed body.

The materials prepared and presented are part of the City’s ongoing Florida Public Records and Government in the Sunshine compliance and are not intended to be relied upon or to reach investors or the trading markets.

CITY OF ST. AUGUSTINE

Corridor Review Committee Meeting
November 10, 2021

The Corridor Review Committee met in formal session at 2:00 P.M., Wednesday, November 10, 2021, in the Alcazar Room at City Hall, St. Augustine, Florida. Michael Dixon, Chair, called the regular meeting to order, and the following were present:

1. ROLL CALL: Michael Dixon, Chair
Lorna McDonald, Vice-Chair
Vaughn Cochran

City Staff: Julie Courtney, Historic Preservation Officer
Candice Seymour, Planning and Building Clerk
Richard Thibault, Assistant City Attorney
Laura Morse, Recording Secretary
Elyse Anderson, Recording Secretary

2. General Public Comments for Items not on the Agenda

(None)

3. Approval of Minutes

MOTION

Lorna MacDonald MOVED to APPROVE the October 14, 2021, meeting minutes as presented. The motion was SECONDED by Vaughn Cochran and APPROVED BY UNANIMOUS VOICE VOTE.

Mr. Dixon announced the next meeting was scheduled for December 9, 2021, at 2:00 p.m. in the Alcazar Room.

4. Modification and approval of Agenda

MOTION

Vaughn Cochran MOVED to APPROVE the modifications to the Agenda. The motion was SECONDED by Lorna MacDonald and APPROVED BY UNANIMOUS VOICE VOTE.

5. New Business

5. (a) F2021-0144 Preliminary Design and Modification to the Standards – Charles G. Cox, Seavin, Inc.– Applicant
Seavin, Inc– Owner
157 King Street

To construct a new two-story commercial building with to the including, but not limited to, orienting the entrance south toward the proposed parking area and away from King Street.

Charles Cox, Jeremy Marquis, Gavin Cain, and Tom Normandy were sworn to review the application.

Ms. Seymour read the staff report and said based on a review of the King Street Design Standards for Entry Corridors, and without evidence to the contrary, the CRC may approve the design if the CRC can make the following findings under the review criteria in section 3.3.2:

Criteria 1: The proposed project meets the intent of the King Street Design Standards as defined in Section 1.

Criteria 2: Approval of the proposal will not set an unintended precedent; Note: Unique

qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.

Criteria 3: Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

Based on a review of the King Street Design Standards for Entry Corridors and without evidence to the contrary the CRC may approve the modification(s) if the CRC can make the following findings under the review criteria in section 4.7.5:

Criteria 1: Strict application of the Standards is not warranted and granting a modification will fulfill the intent of the standards. Staff is not clear on the expectations for justifying this Criteria and seeks the direction of the CRC.

Criteria 2: The Modification is not a prohibited type of modification listed in Section 4.7.4.

Criteria 3: The Modification is consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and the Standards.

Criteria 4: The Modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.

All findings must be proven by the applicant and accepted by the CRC in order to grant a modification. In doing so, the CRC recognizes that the approval is unique to this property and its conditions and does not establish any precedent.

If these findings cannot be made based upon this application and any additional testimony the Modification can be denied

and the applicant may seek an appeal before the City Commission.

Alternatively, the CRC may CONTINUE the application to allow the applicant time to provide additional materials or modify their application per the Committee's recommendations.

Mr. Cox reviewed the plans of the building, including a coffee shop, European market and, he introduced the team to the Board: Tom Norman, architect, Jeremy Marquis and Gavin Cain, landscape and exterior work, and Doug Skiles, processed the Site Plan but was unable to attend.

Jeremy Marquis reviewed the following:

- Sidewalk connection with a primary door
- Able to incorporate a north entrance
- FDOT would be performing bridge work, had to work with this
- Create a sidewalk connection close to bridge
- Allowed connection to the Riverwalk
- Majority of parking area shielded to the rear of lot from King Street
- Building pushed up to the fifteen-foot setback as permitted by RGO
- Setbacks coincided with the FDOT easement
- Would work around the transmission lines, cognizant with landscape design and in compliance with King Street design standards

Mr. Cain reviewed the following:

- Added glazing on the north elevation
- Added King Street entrance on the northwest corner of the building
- Glazing was in line with requirements; the first floor was at 60% and second floor was at 36.6%
- Usage of spandrel glass was to screen the mechanical equipment
- King Street entry tried to make direct connection to the building

- Public asset would be a direct connection to the Riverwalk
- In compliance with the fifteen-foot setback
- Winery would be closer to King Street than the marketplace

Mr. Cain submitted for the record a highlighted document that showed a change to clear glass to meet the 30% minimum requirement for glazing.

Mr. Cain continued:

- Renderings showed gathering locations
- Materials palette inspired by the Ice Plant
- Materials being used would help tie into the winery by having a metal roof
- Reviewed the colors of the building and the spandrel glass color
- Signage conformed to the City code
- Material palette was unified throughout with the landscape, hardscape, and other details through the property
- Lighting would be pole lighting on the interior of the property and no exposed bulbs
- All landscape was Florida native or Florida friendly adhering to the standards
- Submitted to the record the Vehicular Use Area (VUA) requirements adhering to the 5% landscape in the VUA
- Adhering to the side yard near San Sebastian requirement with eight trees and forty shrubs

Ms. MacDonald asked about the size of the door on the King Street side.

Mr. Normandy stated the gateway was a ten-foot opening with a four-foot gate and beyond that was the clear glass storefront door, which was standard three foot by

seven foot. He said there would be wheelchair access on the other side.

Ms. MacDonald stated the King Street entrance would be an advantage for business.

Mr. Cain clarified the pedestrian entry from King Street and the handicap area and the accessible route.

Mr. Dixon commented on the north stair and fire entrance and asked what type of door would be there. He stated it was important to have an entrance off King Street and he hope there would be signage with flare on the sidewalk to encourage visitors to enter from there.

Mr. Normandy said the idea was to experience the waterfront and the building. He said they were trying to conform, but also be inviting and engaging as people came around the building.

Mr. Dixon recommended not closing the gate as that would be a good experience walking around the waterfront and thought it should be inviting.

Mr. Normandy said they would look at the door; however, the door had to be a sixty-minute fire rated and they were limited on the fenestration and glazing.

Ms. MacDonald stated walking should be welcomed and encouraged as a walkable City.

Mr. Cochran thought it was a good idea to hide the kitchen with the glazing.

Mr. Normandy pointed out that the spandrel glass was not painted in the field but was completed in the factory.

Mr. Dixon asked about the stairs between the two properties and wanted to know how that would work.

Mr. Marquis stated those were emergency stairs from the winery.

Public hearing was opened; however, there was no comment.

There were no letters received from the public.

Ex Parte Communication:

(None)

Mr. Dixon reviewed the issues presented and pointed out the setbacks had been resolved. He said the entry on King Street had a solution.

Mr. Cochran stated the entry off King Street was his major concern. He said as a commercial building, the question was should it be function over form. He said this was the entrance to the City and it was important for building to make a statement and be impressive.

Mr. Dixon was happy to see the modifications to the entrance and they took the 'wind out of his sails' with what they presented.

MOTION

Lorna MacDonald MOVED to APPROVE as is. The motion was SECONDED by Vaughn Cochran and APPROVED BY UNANIMOUS VOICE VOTE.

6. Other Business

Mr. Dixon announced the next CRC meeting was December 9th.

7. Adjournment

MOTION

Lorna MacDonald MOVED to adjourn. The motion was SECONDED by Vaughn Cochran and APPROVED BY UNANIMOUS VOICE VOTE.

There being no further business, the meeting was adjourned at 2:46 P.M.¹

¹ Transcribed by Elyse Anderson



CITY OF
ST AUGUSTINE[™]
EST. 1565

**CITY OF ST. AUGUSTINE CORRIDOR REVIEW COMMITTEE
STAFF REPORT AND RECOMMENDATION**
Prepared for the March 3, 2022 Meeting



Rendering provided by applicant

Application HP2022-0007

Address: 24 & 26 Palmetto Avenue

Argyle Forrest Blvd., LLC – Owner & Applicant

Project description: To construct a new two-story mixed-use commercial and residential development on two vacant lots along the Anastasia Boulevard Entry Corridor to include any associated modifications to the Standards.

Architectural Style:	Mid-Century Modern (proposed)	Florida Master Site File:	N/A
National Register:	N/A	Construction date:	N/A
Archaeology Zone:	IIIB	Zoning District:	CL-2
Parcel number:	1577100030; 1577100000	Typology:	Mixed-use Commercial/Residential
Agenda Item:	5(a)	Previous Action(s):	F2007-0244 (COD) F2008-0067 (COZ 2)

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a request for Design Approval of a new two-story mixed-use development consisting of two buildings with a central courtyard, commercial use on the ground floor and residential use above with rear parking area.

Staff identified the following potential modifications to the Standards for the CRC to consider in their final decision regarding this design approval:

- 4.3.1 Viewsheds:** If the applicant cannot confirm that the design meets this requirement, then redesign or modification approval may be required for the CRC to approve the application.
- 4.4.7 Building Entrances:** Only one entry door for the ground floor commercial space in building 2 faces Anastasia Boulevard offset towards the east end of the development close to Busam Street. For the Board to approve a modification, the applicant should provide clear justification for why the entry doors are not directly oriented towards Anastasia Boulevard as required in section 4.4.7.
- 4.3 Building Height:** Applicant should confirm that no portion of the buildings are taller than 25', measured from the design flood elevation, within 20' setback from the front property line along Anastasia Boulevard.
- 5.8 Mechanical Equipment:** Modification to allow appropriately screened mechanical equipment along Busam Street.

In the final plan submittal received February 22, 2022, the applicant indicated a glazing modification request for the south elevation glazing along Busam Street. The ground floor modification requested is within 10% of the required minimum and is staff-approvable if deemed appropriate; however, the second-floor modification request is less than the minimum threshold that the CRC could approve. The applicant could take the following actions for approval of this element of the design:

- Redesign the second-story windows to reach the minimum required square footage for CRC approval (44.8sf of glazing); or,
- Apply to the Planning and Zoning Board (PZB) for a Variance to approve the proposed 39sf of glazing.

Conditions Summary:

- The vacant through-lots at 24 and 26 Palmetto Avenue once featured two mid-20th century frame residential buildings, one single-story and one two-stories in height, which received Certificates of Demolition in 2007 and were subsequently demolished. A Conservation Overlay Zone Development 2 approval for the removal of trees on the site was received in 2008 and it is unclear whether the property owner at that time moved forward with removing the approved trees. The COZ-2 approval had a one-year expiration date and further removal of trees on the site will require additional review and could require another application to the Planning and Zoning Board for tree removal.
- The proposed mixed-use development features a Mid-Century Modern style with simple design elements and shed roofs. Proposed building placement towards the front of the property is consistent with the Standards. While its main courtyard entry and display windows are oriented towards Anastasia Boulevard, only one commercial entry, offset on the east side of building 2's front façade, faces the street.

3. Setbacks along the Corridor are a minimum of 10' and a maximum of 20'; however, up to 50% of the façade facing the street may be at 0' from the property line and the proposed design meets this requirement with 43.25% of the building façades on the property line. Total building frontage comprises 62% along Anastasia Boulevard which meets the minimum frontage requirement of 50%
4. The subject property is comprised of two viewshed parcels which require the building height not exceed 20' above base flood elevation (BFE) for more than 25' of the building frontage (within the 10-20' setback range) to preserve the public view of the lighthouse from Anastasia Boulevard. Building height can be no more than 25' within the first 20' from the front property line. The maximum height allowed per code is 35'. The applicant should confirm that these requirements are met or modifications may need to be included in any approval.
5. Colors proposed include Lite Grey (similar to pre-approved color SW0077 Classic French Gray), and black and natural wood accents which meet the 3-color requirement. Proposed materials are appropriate in the Corridor.
6. Glazing along Anastasia Boulevard is within required parameters. Along Busam Street, the ground floor requires a modification within the parameters to be approved by staff; however, as proposed, the second-story glazing percentage would require a variance application and approval from the PZB because it is less than the 30% modification threshold required for CRC approval. The applicant may agree to alter the design of this elevation to meet the glazing minimum that the CRC could approve as detailed above.
7. Proposed awnings are of appropriate design and material for the Corridor.
8. The Standards require the main entrance to all buildings be oriented toward Anastasia Boulevard. There is a single entry on the east end of the south façade of building 2, with other proposed commercial units accessed from the central courtyard reached from both Anastasia Boulevard or the rear parking area. The CRC should consider requesting that the design meet the Standards more fully; or, approve a modification if the applicant can provide clear justification for the proposed design.
9. Parking placement and pedestrian access meet the Standards. Bicycle parking was not indicated on the plans provided; however, the applicant may consider adding bicycle parking within their site per section 4.5.5.
10. Stormwater retention is recommended to be considered in the overall design of the project and the applicant should demonstrate that minimum criteria listed in section 4.7 of the Standards are met.
11. The applicant should demonstrate the proposed 6" cylindrical lighting fixture, as well as any additional site lighting, meets the lighting requirements detailed in section 4.6 of the Standards.
12. The applicant should demonstrate that they meet all landscape bufferyard and screening elements required by the Standard as well as zoning development regulations prior to issuance of a permit to develop the site.
13. Plant materials proposed are found on the list of Florida Friendly Plants and any additional plant materials must meet this criterion or be listed on the pre-approved plants list in the DSEC. Efforts to minimize ground disturbance on the site are encouraged to protect existing landscape features and archeological resources.
14. Applicant indicates that proposed mechanical equipment is screened in accordance with the Standards. They should confirm that this equipment is not located within any required setbacks per section 5.8(1). A modification for the proposed mechanical units is required to allow the units to be placed along the secondary street frontage with appropriate screening as proposed.
15. Proposed dumpster enclosure MUST meet City Solid Waste requirements:
 - a. Width of 10-12 feet minimum.
 - b. Depth of 10-12 feet minimum.
 - c. Height of 7 feet minimum.
 - d. Overhead clearance over and in front of dumpster shall be clear of obstructions 20' in height.
 - e. Bumper posts: two (2) steel, 4" diameter set in concrete. Placement 12" from back wall of enclosure.
16. Applicant should be aware of the visibility triangle requirements at the corner of Busam Street and Anastasia Boulevard. Final zoning review during the permitting process will confirm that the plans meet this requirement.
17. The proposed sign does not appear to exceed the maximum 120sf allowed for a single sign in zone C2. All signage requires issuance of a sign permit prior to installation and all signs for the property are subject to review by city staff for compliance with the Sign Code and DSEC.
18. This property falls within Archaeological Zone IIIB. Any proposed ground disturbance, such as grease traps, plumbing, foundation work, etc., requires archaeological review and testing prior to the initiation of construction activities. The archaeological review can be initiated with the submittal of an A-14 Application for

Archaeological Review to the Planning and Building Department. The archaeological fee for projects in Zone III is 1% of the estimated construction cost. The City Archaeologist can provide more information about the process.

STAFF RECOMMENDATION:

Based on a review of the Anastasia Boulevard Design Standards for Entry Corridors and without evidence to the contrary the CRC may APPROVE the modifications requested by the applicant and identified by staff if the CRC can make the following finding for each modification under the review criteria in section 3.7.5:

Strict application of the Standards is not warranted and granting a modification will fulfill the intent of the standards. Staff is not clear on the expectations for justifying this Criteria and seeks the direction of the CRC.

Staff has found the following criteria to be justified with the above finding by the CRC:

- a. The Modifications are not prohibited types of modification listed in Section 3.7.4.
- b. The Modifications are consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and the Standards.
- c. The Modifications will not have a material negative impact on adjacent uses, or the can applicant propose to mitigate the negative impact to be created by the modification.

Based on a review of the Anastasia Boulevard Design Standards for Entry Corridors and without evidence to the contrary the CRC may APPROVE the proposed design if the CRC finds the design is consistent with the review criteria in section 3.3.2:

- a. The proposed project meets the intent of the Anastasia Boulevard Design Standards as defined in Section 1;
- b. Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.
- c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

and with the following conditions:

- a. Modifications as requested by the applicant or detailed by staff are approved by the CRC
- b. The variance for the window along Busam Street is moving forward to the PZB or the applicant has adjusted the plans for approval of a modification at this hearing.
- c. Alterations are made to the proposed solid waste screening wall to meet requirements.
- d. All other DSEC and zoning requirements are met and any changes to the design that do not meet the Standards or zoning requirements will trigger additional hearings by the CRC and/or PZB prior to the issuance of a permit for development.

All findings must be proven by the applicant and accepted by the CRC in order to grant modifications and design approval. In doing so, the CRC recognizes that the approval is unique to this property and its conditions and does not establish any precedent.

*If these findings cannot be made based upon this application and any additional testimony the application can be **continued** to allow the applicant time to provide the necessary details for approval or **denied** in which case the applicant may seek an appeal before the City Commission.*

Candice Seymour
Candice Seymour
Historic Preservation Planner

SUMMARY SCOPE OF WORK:

1. New construction of two 2-story mixed use buildings with a central courtyard, commercial ground floor, residential second floor and approximately 128 feet of frontage along Anastasia Boulevard to be constructed in a simple Mid-Century style with the following details:
 - a. Wood decking in courtyard area
 - b. Sand-textured stucco finish in lite natural grey
 - c. Wood accents above doors and windows and
 - d. Black powder-coated aluminum awnings over some ground-floor windows
 - e. Balcony rails with black powder-coated upright posts, stainless steel cables, and natural ipe top rail
 - f. Black aluminum fascia
 - g. Lite Grey TPO roofing material
2. Construction of a parking lot with access along Busam Street and Palmetto Avenue with associated landscaping and 6' wood fence for screening.

Interior layout, changes of use, zoning requirements such as parking standards, stormwater maintenance, and other such city requirements are not in the purview of the CRC unless such requirements alter or conflict with the design requirements addressed in the Standards.

CITY CODES/DESIGN GUIDELINES: RELEVANT EXCERPTED SECTIONS ONLY

CITY OF ST. AUGUSTINE CODE OF ORDINANCES

Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, as originally prepared by Herbert-Halback, Inc., dated January 24, 2000, and subsequently amended by resolution from time to time ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible.

Sec. 3-66(b) – Sign Code: Commercial Zone 2

(see attachment)

Anastasia Boulevard Design Standards for Entry Corridors

Section 1. Purpose and Intent

The purpose of the standards contained in this document is to:

- a. Promote the unique characteristics of the Anastasia Boulevard overlay area, which features many of the characteristic of mid-century American architecture;
- b. To facilitate the development of vacant land and the reimagination and repurposing of underutilized properties in this area into a high-quality, multi-modal, mixed-use environment.
- c. To provide standards and criteria by which proposed development in the area will be reviewed.

3.3.2 Review Criteria

The CRC shall use the following criteria (in addition to the standards contained herein) when reviewing an application:

- a. The proposed project meets the intent of the Anastasia Boulevard Design Standards as defined in Section 1;
- b. Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.

c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

3.7 Modification of Standards

Due to the individual unique characteristics or circumstances of any given development along Anastasia Boulevard, flexibility in the application of design standards may be warranted in certain situations. Modifications from the standards may be requested by an applicant as part of the development review process. If an applicant requests multiple modifications, each modification shall be evaluated independently.

3.7.3 CRC Modifications

Modifications of more than ten (10) percent but no more than thirty (30) percent of a dimensional requirement, Modifications of ten (10) percent or less previously denied or referred to the Corridor Review Committee by staff, and Modifications to the non-dimensional requirements contained in this document.

3.7.4 Prohibited Modifications

- a. Use of property as defined in Land Development Regulations.
- b. Maximum levels of density or intensity allowed in comprehensive plan.
- c. Encroachments into the public right-of-way.
- d. A reduction of a setback to less than 5 feet adjacent to a single-family residential district

3.7.5 Review Criteria

A modification of standards may be granted by the approving authority if it finds that strict application of the standards is not warranted and that granting a modification will fulfill the intent of the standards. The approving authority shall apply all the following criteria, when applicable, to determine if the applicant has justified a request for a modification:

- a. The request is within the parameters listed above.
- b. The request is consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and this document.
- c. The proposed modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.
- d. Compliance with the requirement is technically infeasible based on-site conditions.

3.7.6 Additional Requirements

- a. The burden of presenting evidence sufficient to satisfy the applicable criteria remains with the applicant seeking the modification.
- b. The applicant may propose conditions to ensure that the use of the property to which the modification applies will be reasonably compatible with the surrounding properties, including visual screening.

4.1 Building Placement

The placement of a building on a site is critical to creating a vital and coherent public realm that is both welcoming and functional. Elements and uses of the "public realm" may include expanded sidewalks, outdoor café areas, bicycle parking, art/sculpture, and outdoor retail spaces, among others. The rhythm/pattern of buildings, combined with their relationship to the street expressed through setbacks and architecture, define the character of the public space. The intent of the following building setback standards is to shape the public realm, and strengthen the physical and functional character of the area. All new buildings within the redevelopment site shall be required to meet the building setback provisions where legally applicable.

1. For those corner lots abutting a R.O.W. intersection, the visibility triangle must be kept free of visual obstacles. Visibility triangle regulations shall always prevail. See Section 5.10.
2. The building setbacks, which shall be measured from the property line to the building wall excluding eaves and overhangs.
3. The minimum front and side street setbacks (as defined in Table 1) may be reduced to 0 feet for a maximum of 50% of the building façade facing the street. Note: Eaves and overhangs may not project over the property line.

4. The maximum front and side street building setback shall only apply to the portion of the building meeting the building frontage requirement. This provision will allow for L-shape buildings, where a portion of the building is recessed more than 20 feet from the front property line
5. The front and side street- setbacks may be used to expand the public sidewalk, for outdoor dining, or for landscaping.
6. Balconies, bay windows, awnings, canopies, and roof overhangs may encroach into the front and side street setback zones, but not into the right-of-way.
7. New developments or additions abutting or across the street from a single-family residential zoning district shall provide a fifteen (15) foot setback along the portion of the site abutting or across the street from the single-family zoned property. Landscaped buffers shall be provided as required in Section 5 of this document
8. Building facades facing a right-of-way shall be built parallel to the property line along that street.

4.2 Building Frontage

The purpose of the following building frontage requirements is to ensure façade continuity along Anastasia Boulevard and to avoid large voids between buildings. The building frontage standards are stated as a proportion of the building width within the required building setback relative to the width of the development site measured at the site frontage line. Portions of the building façade outside the required front/street building setback do not count as building frontage. A Protected Tree along the site frontage can be included in the frontage calculation.

1. The building frontage $((a+b)/c)$ shall be a minimum of 50% of the site frontage.
2. Sites with frontages on multiple streets shall be required to meet the minimum primary frontage along Anastasia Boulevard.
4. The canopy width of a Significant Tree along the site frontage may be counted towards the building frontage requirement as “building frontage” if tree canopy is not significantly altered.

4.3 Building Height

The maximum building height shall be per zoning.

1. Within the first 20', measured from the front property line, the maximum height shall be 25 feet measured from design flood elevation. This portion may be utilized for a roof top deck, but any awnings or coverings shall be a minimum of 10' from the front façade. Note that a rooftop deck shall not be placed above 27 feet anywhere on the building, and an 8-foot minimum solid sound barrier shall be placed on the rear side of the deck. See Section 5.8, Mechanical Equipment for height restrictions on rooftop equipment.

4.3.1 Viewshed

In order to protect the view of the lighthouse from Anastasia Boulevard, the maximum building height for properties located on the north/east side of A1A between Ingram Street and the southern boundary of RB Hunt Elementary School shall not exceed 20' above base flood elevation for 25% of the site frontage. Applicant shall demonstrate clear view of the Lighthouse from the Anastasia Boulevard public right of way in submittals for review.

When a property fronts multiple streets, the applicable site frontage to comply with the viewshed requirement shall be the portion along Anastasia Boulevard, measured with a perpendicular line from the center of the right-of-way intersections.

4.4 Architecture

New construction and renovations should focus on the predominant styles currently found in the corridor or on the subject building for redevelopment. Specifically, architectural styles shall be representative of Art Moderne (1940's), Mid-Century Modern (1950's-1970's), or Contemporary (not to be confused with prefabricated/mass produced architecture). The following are some of the elements characteristic of the mid-century architecture and art moderne styles, which should be preserved or used as inspiration when designing new buildings or renovations (see Appendix A for information on mid-century development):

- Horizontal emphasis.
- Simple design with little ornament and expression, except as noted below.
- Geometrical shapes contrasting with the simple design.
- Asymmetrical façades;
- Flat roof with small ledge (coping) at roofline;

- Porte cocheres; cantilever canopies and awnings;
- Covered walkways/breezeways;
- Smooth, rounded wall surfaces, often stucco;
- Horizontal grooves or lines in walls (sometimes fluted or pressed metal);
- Reinforced concrete, steel, glass, storefront.
- Decorative concrete block screens;
- Open indoor spaces with large plate windows;
- Casement, corner, picture or ribbon windows arranged horizontally;
- Expressive building structure (exposed steel frame, architectural block).
- Metal balustrades; angled supports and railings;
- Glass-block windows, often curved and built into the curved wall;
- Sometimes nautical elements such as porthole windows;
- Bright or subdued colors; typically with darker trim colors or bright metals to offset
- Signs that are integral to the architecture of the building.

4.4.1 New Construction

The following section contains additional building design standards that are applicable to all development regardless of the architectural style selected.

- a. All structures on a site shall be of the same architectural character.
- b. Architectural details and materials shall remain consistent on all elevations but may be simplified on the interior side and rear facades.
- c. Upper floor windows shall have a vertical orientation and may be single or double hung. Paned windows are encouraged but not required.
- d. Frosted or patterned glass is not permitted on windows facing the street. Stained glass is permitted.
- e. Shutters, if used, shall be one half the width of the window and shall be (or appear to be) operable.
- f. Extensive building facades shall be subdivided to appear as smaller volumes grouped together. Volume breaks may be achieved by building wall projections and recesses, and varying heights and roof lines. Therefore, building facades shall not exceed fifty (50) feet along a street frontage without providing a substantial volume break such as a recess, or an architecturally prominent public entrance. The recesses and projections shall have a minimum depth of two (2) feet.
- g. Façades shall not exceed twenty (20) horizontal feet and ten (10) vertical feet without including at least one (1) of the following elements:
 - i. A window or door
 - ii. Awning, canopy or marquee.
 - iii. An offset, column, reveal, void, projecting rib, band, cornice, or similar element with a minimum depth of six (6) inches.
 - iv. Arcade, gallery or stoop.
 - v. Complementary changes in materials or texture.
- h. Architectural treatments on the façade, such as parapets, cornices or expression lines, shall be continued around the sides of the building.

4.4.3 Building Color

- a. A minimum combination of three (3) colors shall be required per building: one for the main body, another for the trim and the third one for doors or other architectural features. Natural materials such as brick, aluminum, stone, and hardwoods count towards the minimum of three (3) colors. See Appendix C for color palette. A maximum of four (4) colors are permitted including the use of natural materials.
- b. Bands of color around the building are not allowed, unless they are consistent with the pre-approved colors and highlight an architectural feature. See Figure 13.
- c. An applicant that meets the statutory criteria of Section 553.79(20)(a), Florida Statutes, must clearly identify in the application materials the specific elements of the proposed project that apply to the statute. Once identified, these statutory design elements will be approved administratively.

- d. If an applicant wishes to use a non-pre-approved building color, the applicant may submit the color(s) for review and approval by the CRC. If noted as such, approved colors shall apply to all future projects and shall amend the approved colors noted in Appendix C.
- e. Building elevations (secondary/interior side façades) shall have the same color and materials as the façade facing the street.
- f. Corporate colors not consistent with the pre-approved colors are not allowed. Bands of color around the building are not allowed, unless they are consistent with the pre-approved colors and highlight an architectural feature.

4.4.4 Building Materials

Allowable exterior finishes shall be selected based on the architectural style (see Appendix A). Exposed pre-engineered metal buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, and other veneers are not allowed, unless a Modification of Standard is approved by the CRC. Unpainted wood siding is not allowed; however, natural siding (cedar, cypress, ipe, and natural hardwoods) may be left unpainted.

- a. Building materials shall be primarily painted concrete block or stucco. Accent detailing may include brick or stone bulkheads.
- b. Stretch awnings on curved aluminum frames are not allowed.

4.4.5 Fenestration and Glazing

Fenestration is the arrangement of windows and doors on a façade while glazing is the proportion of glass to the solid surface of a façade. Fenestration shall be calculated as the total area of glass (windows and glass doors), or openings in the case of open porches, divided by the façade area measured from design flood elevation to eight (8) feet above ground in the case of the first story, and from the floor of the upper story to eight (8) feet above that line for upper stories (see Figure 19). If the façade includes several planes, they all count toward the calculation if the façade planes are within the required building setback.

- a. The percent of glazing at ground floors abutting rights-of-way shall be 30% minimum and 65% maximum of the ground floor facade area (not including parapet). The percent of glazing on upper floors abutting city rights-of-way shall be 30% minimum and 40% max.
- b. The size and orientation of windows shall reflect the architectural style of the building (see Appendix A).
- c. Glass shall be clear float (thin, smooth, clear glass surface), gray light, or solar glazing with 80% minimum transmittance. Reflective glass or film is not allowed.
- d. Glass panes shall not exceed a maximum size of 6 feet by 8 feet.
- e. Windows shall not be obscured or visually blocked by paint, shelves or attachments, but blinds and curtains are allowed to achieve privacy.
- f. Bulkheads shall extend a minimum of 12 inches and a maximum of 30 inches above the finished floor (see Figure 19). Existing garage and bay doors reused as windows are exempt from meeting this requirement. Buildings that are required to be elevated due to floodplain regulations may measure these distances from the interior finished floor.

4.4.6 Awnings and Canopies

- a. Awnings or canopies (see Figures 15, 16 & 17), if installed, shall be placed between the first and second stories to provide protection from the weather and to delineate the transition between ground and upper floors.
- b. Awnings and canopies shall not obscure prominent architectural features, such as cornice lines, parapets, decorative window trim, etc. Stretched awnings on curved aluminum frames are not allowed.
- c. Awnings shall be placed in a way to accentuate the architectural features of the building. Therefore, awnings shall not be installed to extend over multiple windows and doors. Figure 17 shows two examples, one where the awning was placed entirely across the façade (prohibited), while the other example shows the awnings used to accentuate the windows (allowed).

4.4.7 Building Entrances

- a. The main entrance of all buildings shall be oriented toward Anastasia Blvd. The design of the façade shall reinforce the presence of the main entrance.

b. The front entrance (facing Anastasia Blvd) shall be operable, clearly-defined and highly-visible. In order to emphasize entrances, they shall be accented by a change in materials around the door, recessed into the façade (alcove), or accented by an overhang, awning, canopy or similar feature.

c. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.

d. Pedestrian connections from the public sidewalk and parking areas to the building entrance shall be provided. Buildings with entrances at a higher elevation than the public sidewalk shall create a transition within the setback (see Figure 18).

e. Entries shall be recessed from the main façade or under a canopy or awning to provide for a cover. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.

4.4.8 Building Roof

a. Buildings with flat roofs shall have a cornice treatment or a parapet. The cornice shall be at least eighteen (18) inches in height. Parapet shall be a minimum of two (2) feet in height measured from the exterior horizontal roof surface.

b. Sloping roofs shall not exceed the height of the supporting walls.

c. In the case of flat roofs, roof materials shall be light-colored or a planted surface (green roof).

d. New mansard roofs shall be prohibited.

4.5.1 Pedestrian Access and Circulation

Pedestrian walkways, ramps or steps (or a combination of these) shall link the public sidewalk to the front door entry.

4.5.2 Vehicular Access

Parking areas shall be accessed from a rear alley, secondary street, or from an adjacent property (shared use agreement necessary), if any of these are available or proposed as part of the development. Where the only option for vehicular access is from Anastasia Boulevard, the following standards shall apply:

a. Only one driveway (ingress/egress) shall be allowed per site.

b. One-way drives shall not exceed 13 feet in width.

c. Two-way driveways shall not exceed 24 feet in width.

d. Turning radii of driveways along Anastasia Boulevard shall be determined by the applicable authority in the right of way.

e. Turning radii of driveways along all other streets shall not exceed 20 feet.

4.5.3 Parking Placement

Surface parking lots shall be located behind the building. However, the following parking placement alternatives are also allowed:

a. Where a site is too shallow to provide parking behind the building, the placement of parking facilities is permitted on the side of the proposed building. This is allowed only if the building setback and building frontage requirements are met. A street wall, in addition to landscaping, will be required to screen the parking facility. See Figure 23.

b. The placement of parking facilities in front of a building is only permitted for the portion of the building that is not used to meet the building setback and building frontage requirements. A street wall, in addition to landscaping, will be required to screen the parking facility.

4.5.5 Bicycle Parking

In conjunction with new construction and substantial redevelopment (as defined in Section 3), the applicant may provide bicycle parking facilities on the site at a suggested minimum rate of one bike rack space per 20 required vehicle spaces. The rack may be placed within the street setback area, but not within the public right-of-way, and it shall count towards the required front or side yard buffer (2' of width per bicycle space, not to exceed 6') or as an offset to required trees at a rate of one tree per three spaces (not to exceed two (2) trees).

4.6 Site and Building Lighting

Acceptable lighting on the site may include lights on the exterior of a building, up or down lighting shining on buildings or trees, and parking lot pole lighting. Only product information sheets shall be required for submittal.

4.6.1 Architectural Lighting

- a. Lighting fixtures on the building shall be compatible with the architecture of the building and measure between 2700-3000K.
- b. Permanent accent lighting, distinct from seasonal or holiday lighting, designed to accentuate building details is encouraged.
- c. Holiday lighting, such as for Nights of Lights, may be additionally regulated by the City Commission.
- d. Color and/or neon may be used as architectural lighting to accentuate building frame, profiles or details, with Corridor Review Committee approval.

4.6.2 Site + Parking Lighting

- a. For basic site lighting applications (such as parking lot, pathway, and area lighting), full cut-off lighting fixtures shall be used for all exterior lighting. Such lights shall not point directly at the right-of-way nor the sky. (see Figure 25) Source of illumination shall not be visible from a residential district.
- b. Exposed interior and exterior fluorescent or incandescent bulbs that are visible from the public right-of-way are not allowed.
- c. Lighting poles may not surpass 20' in height as measured to the point of light output (see Figure 25b).
- d. LED dimming technology shall be incorporated in all exterior lighting mounted higher than 10'-0" to reduce lighting level to minimum safe illumination after business closing hours, if possible. Refer to Illuminating Engineering Society guidelines. Minimum for a private parking lot is 0.13 foot-candles. A Lighting professional shall confirm minimum lighting level.

4.7 Stormwater Facilities

Traditional stormwater retention facilities (such as ponds), where required, shall not be located within the front setback. Stormwater is recommended to be incorporated into the overall design of the project as amenities (The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities). Minimum criteria are below.

Projects shall include at least two of the following low impact design concepts, which may be located anywhere on the project (including the front setback):

- Rain water harvesting (rain barrels, underground cisterns, and similar)
- Bioswales a long, channeled depression or trench that receives rainwater runoff (as from a parking lot) and has vegetation (such as grasses, flowering herbs, and shrubs) and organic matter (such as mulch) to slow water infiltration and filter out pollutant
- Rain gardens
- Green roof (layer of vegetation planted over a waterproofing system that is installed on top of a flat or slightly-sloped roof)
- Pervious pavement (pervious concrete, pervious pavers, and/or other pervious pavements recognized by the United States Green Building Council). To be used for 10% minimum non-vehicular and vehicular parking for credit.

5.5.1 Plant Materials

In general, site landscaping shall consist of native or naturalized plants that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

5.1.2 Protection of Existing Landscape

Effort shall be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Construction plans shall indicate areas of protection and shall have applicable notes regarding minimal disturbance of landscape elements to be preserved.

Along the corridor, existing oaks in good health shall be protected when possible. Oaks over 12" dbh to be removed shall have an additional 25% deficit applied to current tree mitigation calculations. Note: A Protected Tree along the site frontage can be included in the building frontage calculation.

5.7 Fences and Walls

While fences are typically used to achieve privacy on a site, street walls are used to continue the building frontage along a street, to screen vehicular areas such as parking lots, and to frame public zones such as courtyards and outdoor dining areas. Street walls and fences shall meet the following standards:

5.7.1 Fences

- a. Along the front property line and front setback, gates, railings, and fencing materials shall be painted wood, powder-coated aluminum, or wrought iron. Note that these elements are likely attached to the required site wall, as defined in section 5.7.2.
- b. Chain link, wire, and PVC fencing shall be prohibited in the front setback but may be used along side or rear areas.

5.7.2 Street Walls

- a. 1. In the absence of a building façade along any part of the site frontage line, a street wall shall be built in line with (co-planar with) the façade. Breaks are permitted in the street wall to provide vehicular and pedestrian access to the site, for plazas and gathering spaces, and for the purpose of tree protection. Street walls shall have openings no larger than necessary to allow automobile and pedestrian access.
- b. Street walls are the only types of fences/walls allowed facing streets (see Figure 31). Privacy fences and walls are not allowed between adjacent uses along Anastasia Boulevard.
- c. Street walls shall be located within the front setback, and may have landscaping or hard surface between the wall and the public sidewalk.
- d. Street walls shall be a minimum of 3 feet in height and shall not exceed a 5 foot maximum, as measured from the lower elevation of the public sidewalk or final elevation of adjacent interior development. However, the portion of the wall above 3 feet shall be no more than 50% solid.
- e. Street walls shall be constructed of brick or masonry. Fencing, as per 5.7.1, may be included.
- f. The area in front of a street wall may include landscaping or hardscape if used to expand the sidewalk.
- g. When landscaping is provided between the wall and the sidewalk, the landscaping strip shall be a minimum of two (2) feet wide.
- h. A three (3) foot wide landscape strip, as measured from the wall, shall also be provided on the interior side of the street wall.

5.8 Mechanical Equipment

For the purpose of this section, mechanical equipment shall include, but is not limited to, a heating, ventilation, or air conditioning unit placed outside of a building; vehicular/parking equipment (except for gate arms, if applicable); and any utility-related equipment such as pumps, meters, transformers and similar equipment required to be installed on a development site. Mechanical equipment shall be located so that noise and visual impacts upon abutting residential property are minimized.

1. Mechanical equipment shall not be permitted within any required building setback unless the utility company determines this to be the only possible location.
2. Mechanical equipment shall not be located between the building and the street, unless technically infeasible. On corner lots, the location of mechanical equipment along a secondary street may be permitted through the modification of standards process (see Section 3.7) subject to the screening requirements stated below.
3. Screening (by wall, solid fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties. Certain equipment, such as, but not limited to rain barrels or cisterns, shall not require screening provided they are designed to blend with the building and are constructed with the same materials and colors.
4. Air conditioning units and elevator shafts are permitted to go above the standard building height limit but shall be visually screened from all public rights-of-way as shown in Figure 33. This restriction may limit the number of stories that can be built within the 35 foot maximum building height.

5.9 Solid Waste Disposal Facilities

1. Solid waste disposal facilities, solid waste, recycling, yard trash containers, and grease containers must be located to the side or rear of the building and shall be concealed from view from all sides by a wall or fence of up to 7 feet in

height. The enclosure shall be made of wood, masonry or vinyl and shall be fitted with an opaque sliding or hinged door and working latch. Gates shall be able to be secured in the open position. No chain link fence is allowed for solid waste enclosures.

2. On corner or double-frontage lots, the disposal facilities shall be accessed from the secondary frontage.

3. Enclosure shall adhere to City Solid Waste requirements.

a. Width of 10-12 feet minimum.

b. Depth of 10-12 feet minimum.

c. Height of 7 feet minimum.

d. Overhead clearance over and in front of dumpster shall be clear of obstructions 20' in height.

e. Bumper posts: two (2) steel, 4" diameter set in concrete. Placement 12" from back wall of enclosure.

5.10 Visibility Triangle

All landscaping within the triangular areas described below shall provide unobstructed cross visibility at a level between three (3) and eight (8) feet above the ground. Trees having limbs and foliage extending into this cross visibility area shall be allowed, provided that they are so located so as not to create a traffic hazard. Landscaping, except grass and ground cover, shall not be located closer than three (3) feet from the edge of any accessway pavement. The triangular areas are:

1. The areas of property on both sides of an accessway formed by the intersection of each side of the accessway, i.e. driveway, and the public right-of-way pavement line with two (2) sides of each triangle being ten (10) feet in length from the point of intersection and the third side being a line connecting the ends or the other sides.

2. The area of property located at a corner formed by the intersection of two (2) or more public rights-of-way with two (2) sides of the triangular areas being measured thirty (30) feet in length along the abutting edges of pavement, from their point of intersection, and the third being a line connecting the ends of the other two (2) lines.

6.1 Number and Types of Signs Allowed

1. The number of business identification signs attached to the building per business frontage on a public street shall be per City code. The types of signs allowed are as follows (see Section 7, Definitions):

- Wall Sign
- Canopy Sign
- Awning Sign
- Projecting Sign
- Hanging Sign
- Window Sign
- Freestanding
- Architectural Integrated Sign

2. The use of portable signs, streamers and pennants shall follow sign code.

3. Blinking lights, bulbs facing the road, and electronic message signs are not permitted.

6.2 Building Sign Size

The total area of all building signs may be distributed among the various building signs allowed. The maximum size of any individual building sign shall be per City code.

6.3 Sign Illumination

1. Interior-illuminated cabinet or channel letter signs are not allowed. Signs may only be illuminated from an exterior light fixture or backlit to accentuate opaque raised lettering or images.

2. There shall be no illuminated signs facing a single family residential use.

6.4 Building Signs

1. Wall signs shall be either a panel or individual letters applied to the wall, shall not project from the wall by more than 12 inches, shall not extend above the top of the wall where it is located, and in the case of two story buildings, it shall be placed between the first and second floor windows. Signs painted directly onto the façade are not allowed.

2. Projecting signs may be read horizontally or vertically, may extend into the building setback zone, but not over the public right-of-way. They shall have a clearance of 8 feet from the ground and shall not exceed the height of the building wall where installed.
3. Canopy signs may be applied to the face of the canopy and shall not exceed 50 percent of the width of the canopy. They can be placed fully or partially above or below the edge of the canopy, provided the sign consists of individual letters (as opposed to a panel). Canopy signs are also allowed to hang from the bottom of the canopy facing the street. An 8-foot clearance shall be provided.
4. Awning signs shall not cover more than 30% of the vertical face (or near vertical part) of the awning.
5. Window signs (silk screen, vinyl letters, gold leaf, hand painted or neon) shall not occupy more than 25% of the glass window or door, and may be allowed for first and second story businesses.
6. Hanging signs shall not count toward the maximum sign area allowed, provided it is placed under the awning or canopy, perpendicular to the building, and near the front door of the business. Such signs shall have an 8 foot minimum vertical clearance as measured from grade to the bottom of the sign, and a maximum height of 2 feet. While hanging signs do not count towards the maximum sign area, they do count toward the maximum allowed signs per business.
7. Architecturally integrated signs require CRC approval. Such sign, if approved, may be combined with a wall, awning, canopy, projecting or window sign, but not with a freestanding sign. The maximum height of the sign shall not exceed the maximum allowable building height.
8. Portable signs, streamers and pennants are specifically prohibited.
9. Blinking lights, bulbs facing the road, and electronic message signs are not permitted.
10. Signs shall not obscure architectural details such as windows, cornice, decorative brickwork and storefronts.
11. If any sign standards in this document are in disagreement with the existing Sign Code, the standards detailed in this document shall apply.

6.5 Free Standing Signs

The need for freestanding signs is based on the placement of the building away from the street. When buildings cannot be seen by passing motorists, they need a larger sign by the street to indicate the location of the business. Freestanding signs are allowed as follows:

1. Pole signs are the only type of freestanding sign allowed. Pole signs shall not exceed a height of 15 feet measured from the adjacent sidewalk and shall provide a clearance of 8 feet from the ground. Pole signs may be supported by one or two poles, or may be suspended from the structure as shown in Section 2, Definitions. The supporting poles may not exceed 2 feet x 3 feet.
2. Freestanding signs shall not be placed in front of or within 5 feet from any portion of the building meeting the street setback requirement. They may, however, be allowed in front of parking areas or where the building is recessed.
3. Reader boards used in conjunction with the pole sign are allowed and shall not exceed 36 inches by 40 inches.

Link to full Comprehensive Plan

https://www.citystaug.com/DocumentCenter/View/2976/2040_Comp_Plan_Update?bidId=

Link to full Land Development Code

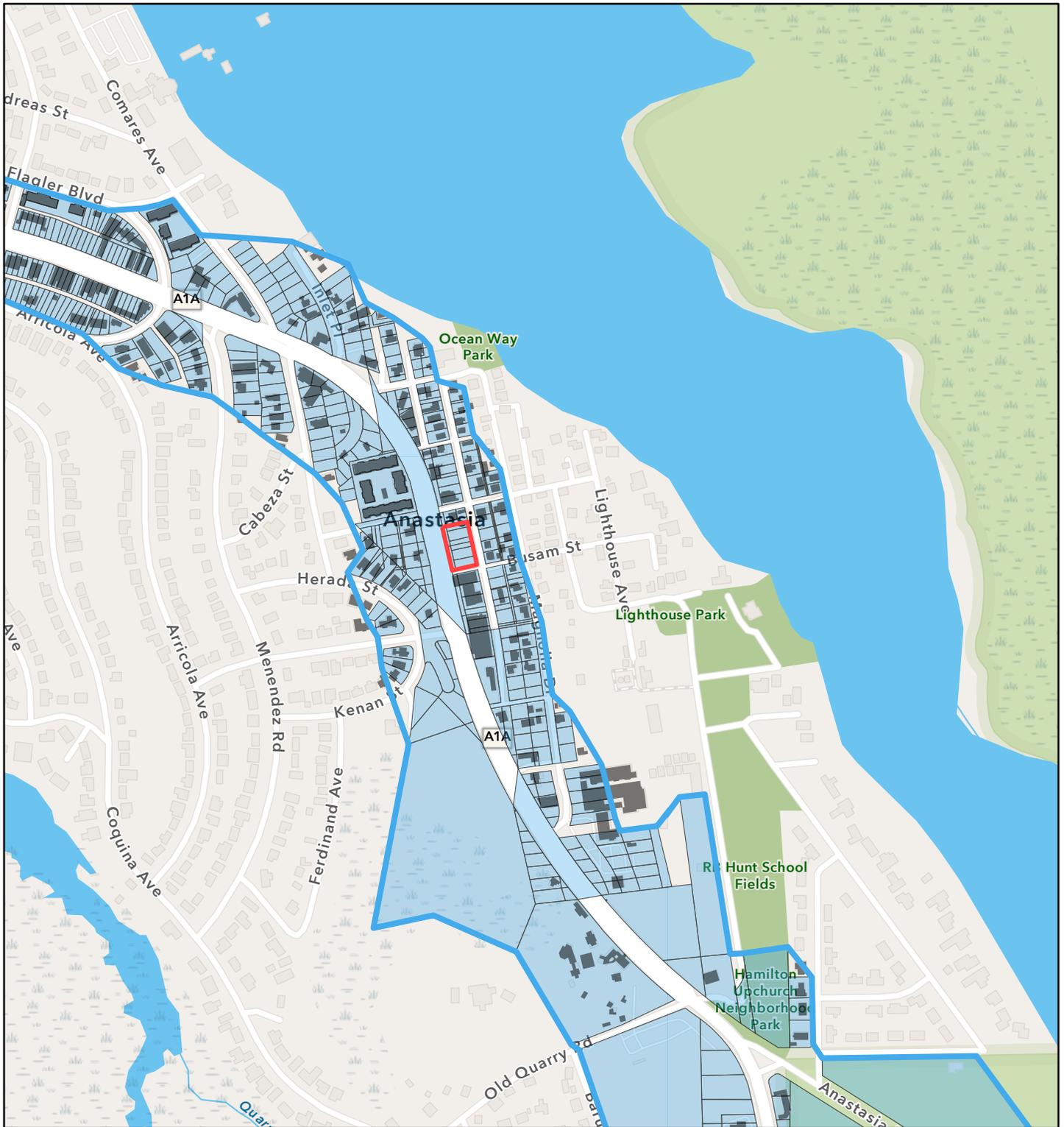
https://library.municode.com/fl/st._augustine/codes/code_of_ordinances?nodeId=THCOSTAUFL

DSEC HP2022-0007
24 & 26 Palmetto Avenue
March 3, 2022

LIST OF ATTACHMENTS:

1. Location Map (GIS)
2. Staff photographs
3. Commercial Sign Zone 2

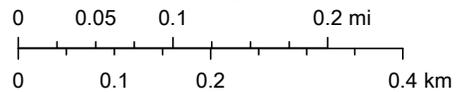
24 & 26 Palmetto Avenue



2/25/2022

1:9,015

-  Entry Corridors
-  Anastasia Street Buildings
-  Anastasia Street Parcels
-  Subject Properties



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STAFF PHOTOGRAPHS 24 & 26 Palmetto Avenue



View from south side of Anastasia Boulevard

STAFF PHOTOGRAPHS 24 & 26 Palmetto Avenue

Views from median of Anastasia Boulevard



View from south side of Anastasia Boulevard

STAFF PHOTOGRAPHS
24 & 26 Palmetto Avenue



Google Street view from east-bound lane of Anastasia Boulevard
(Note the lighthouse in the background)

STAFF PHOTOGRAPHS 24 & 26 Palmetto Avenue



Property Details including specimen oak indicated for preservation

STAFF PHOTOGRAPHS

24 & 26 Palmetto Avenue



View of property from the west

STAFF PHOTOGRAPHS 24 & 26 Palmetto Avenue



Views along Palmetto Avenue and north side of property

STAFF PHOTOGRAPHS

24 & 26 Palmetto Avenue



Context Photographs



STAFF PHOTOGRAPHS 24 & 26 Palmetto Avenue



Context Photographs



(b) *Commercial Zone 2.*

(1) *Permitted signs.* The following signs are permitted signs:

- a. Bracket.
- b. Freestanding.
- c. Post.
- d. Wall.
- e. Facia.
- f. Index/informational.
- g. Directory.
- h. Changeable copy, manual.
- i. Illuminated nonflashing electrical.
- j. Shopping center.
- k. Surface graphics.

- m. Seasonal/holiday.
- n. Temporary window.
- o. Special event.
- p. Affiliation.
- q. Awning.
- r. Canopy.
- s. Menu board.
- t. Time and temperature.

(2) *Prohibited signs.* The following signs are prohibited signs:

- a. Animated.
- b. Awning.
- c. Billboard.
- d. Bench.
- e. Canopy.
- f. Marquee.
- g. Disfiguring.
- h. Vehicle.
- i. Off-site.
- j. Roof.
- k. Sidewalk/sandwich.
- l. Portable.
- m. Banners, streamers, pennants.
- n. Illuminated flashing electrical.
- o. Changeable copy, automatic.
- p. Flashing.

(3) *Number of signs:*

Frontage	Number	Maximum Square Footage
0—49 feet	3	120
50—100 feet	4	170
100—199 feet	5	220
200 feet and over	5	250

(4) *Maximum size and height.* The maximum size of any sign shall be no more than one hundred

twenty (120) square feet, provided, however, that any time and temperature sign shall not exceed forty (40) square feet and shall be included within the calculation of the number of and maximum square footage for signs as set forth in subparagraph (3) above and shall not be in addition thereto. The maximum height to the top of a ground/pole sign shall not exceed twenty-five (25) feet.

- (5) *Signs installed above the ground floor.* Proposed signs that are consistent with the Anastasia Boulevard Design Standards and within the entranceway corridor area may be installed above the ground floor.

CITY OF ST. AUGUSTINE
CORRIDOR REVIEW COMMITTEE



DESIGN APPROVAL

MODIFICATION TO THE STANDARDS

Application Fee: \$ 350
Receipt No. 2317219

BDAC Project No. HP2022-0007
Meeting March 3, 2022

Date: Advertising Costs \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT Patty Severt
Business (if applicable) Argyle Forrest LLC
Address 3304 Coastal Highway
City St. Augustine State Florida Zip Code 32084
Daytime telephone 310-499-6076 Other phone/email _____

2. NAME OF PROPERTY OWNER Patty Severt
Business (if applicable) Argyle Forrest LLC
Address 3304 Coastal Highway
City St. Augustine State FL Zip Code 32084
Daytime telephone (required) 904-710-9400 Other phone _____

3. PROJECT STREET ADDRESS 24 and 26 Palmetto Ave, St. Augustine, FL 32080

4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel 157710-0000

5. EXISTING USE _____ PROPOSED USE _____

6. ENTRY CORRIDOR: ANASTASIA KING SAN MARCO

7. TYPOLOGY: RESIDENTIAL INSTITUTIONAL TRADITIONAL COMMERCIAL MIXED

8. PROPOSED PROJECT WORK:

A. DEMOLITION: Buildings and architectural features that are 50 years old or older, listed on the Florida Master Site File, or which have been designated as an historical landmark require a Certificate of Demolition application to be filed separately.

Yes No

B. New construction on a vacant or redeveloped site

New construction on an existing site

New construction that includes parking structures

All other, describe fully below

C. PROJECT DESCRIPTION:

The project proposes a mixed use development of residential apartments and commercial retail space plus supporting parking. The project is separated into 2 small buildings structured around a public space formed to make saving a heritage tree possible. The public space will include decks for outdoor seating potential in the shade of the tree. Each building has retail space on the 1st floor and 2 walk-up apartments on the 2nd floor. The total area of 2 bldgs retail net toilets storage = 5,100 sf. 2nd floor = 4 units in approx. 4,400 sf. The architecture anticipated will include stucco, metal and glass and wood•lock accent panels in a somewhat mid-century vintage genre

Complete #9 only if seeking a modification

9. Modification of the Design Standards :

A. Section(s) of the Design Standards applicable to the Modification(s): _____

B. DESCRIBE THE MODIFICATION AND WHY IT IS NECESSARY:

C. DESCRIBE HOW THE MODIFICATION IS CONSISTENT WITH THE INTENT OF THE DESIGN STANDARDS AND THE CHARACTER OF THE CORRIDOR:

Note that the applicant is responsible for presenting evidence sufficient to satisfy the applicable criteria

10. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME _____

SIGNATURE OF APPLICANT Patty Smart _____ DATE _____

PRINT OWNER'S NAME _____

SIGNATURE OF OWNER _____ DATE _____

Patty Smart _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

COMPLETENESS REVIEW CHECKLIST

A Design Approval and/or a Modification application and related plans shall be submitted as required for review and approval by the Corridor Review Committee for exterior alterations and new construction associated with any property in a designated entry corridor area (Anastasia Boulevard, King Street, San Marco Avenue). All proposed work items shall be reviewed for consistency and compliance with the Design Standards for Anastasia Boulevard, King Street, or San Marco Avenue as applicable. Please consult our website for digital versions of these documents or visit the Planning and Building Department to view a hardcopy during business hours. Relevant information necessary for this application shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section of the Design Standards. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and the CRC will determine if additional materials may be presented at the meeting.

INS

INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	PHOTOGRAHS OF ANY EXISTING CONDITIONS (SITE, BUILDING, FEATURES)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled drawing of existing and proposed conditions
<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled drawing of existing and proposed conditions
<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	AWNING/CANOPY
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building façade and existing or proposed awning/canopy
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation(s) showing the building façade and existing or proposed door
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For new openings and new construction include a scaled wall section
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, hardware
<input type="checkbox"/> OK	<input checked="" type="checkbox"/> Need	<input type="checkbox"/> N/A	WINDOWS (windows, shutters, and other associated features)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For new openings and new construction include a scaled wall section with proposed window
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location
<input checked="" type="checkbox"/> OK	<input type="checkbox"/> Need	<input type="checkbox"/> N/A	FOUNDATION (replacement, infill, alteration including elevation)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details



Owner's Authorization For Agent

Elijah George + Brian Lathrop. is/are hereby authorized TO ACT ON BEHALF OF Patricia Severt Nick Savat the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Corridor Review Committee Board, for an application related to the structure located at: 24 and 26 Palmetto Avenue

BY: *Patricia K. Severt*
Signature of Owner
Patricia K. Severt
Print Name of Owner
904-710-9400
Telephone Number

State of FL

County of St. Johns

Signed and sworn before me on this 11 day of February, 2022

By Patricia K. Severt

Identification verified: Personally known

Oath sworn: Yes No

Notary Signature: *Megan Beth Muensterman*

My Commission expires: 7/22/2023



CRC APPLICATION FEE SCHEDULE

Corridor Review Committee fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Modification of the standards, neon or color lighting, review of non-preapproved colors, etc.	\$100.00 + ads
Preliminary Design Approval for development exceeding size in acres/gross floor area, and new construction that includes structured parking	\$350.00 + ads
Appeal of staff determination	\$200.00 + ads

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Planning and Building Department Staff.

Project Address: _____

Applicant’s Name: _____ Applicant’s Signature: Patty Savat

Owner’s Name: _____ Owner’s Signature: Patty Savat

26 PALMETTO AVE. Anastasia Blvd. Corridor Review Committee Presentation

02.04.2022 | ML+H Project 21.25.0



Bridge of Lions



Palmetto Ave
Site



1000 ft

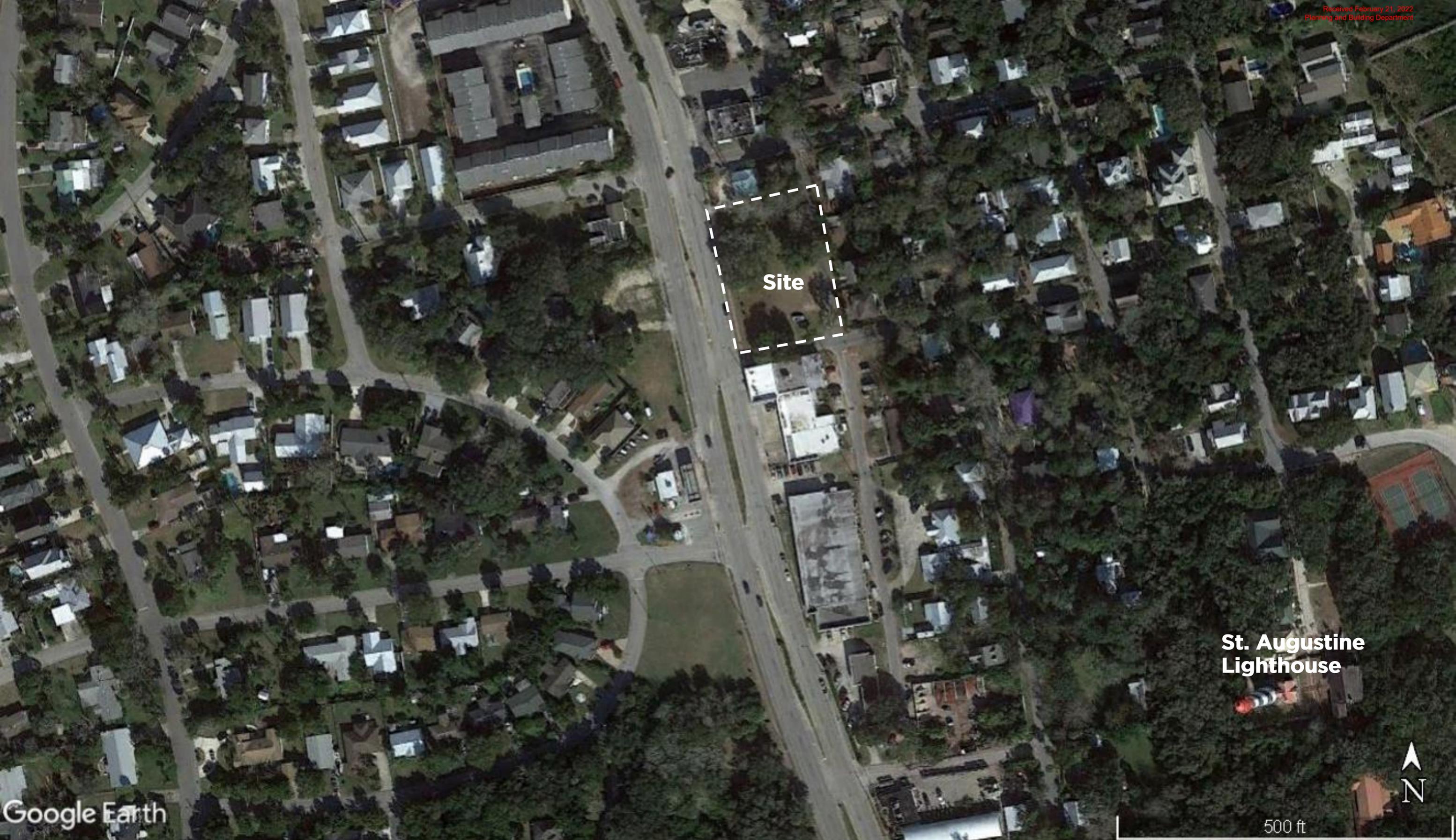
Google Earth

26 Palmetto Avenue Site Context

2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0





Site

St. Augustine
Lighthouse

Google Earth

500 ft



26 Palmetto Avenue Site Context

2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0



Specimen Live Oak – To be Preserved



Anastasia Blvd Frontage



Specimen Magnolia – To Be Preserved



Palmetto Ave



Busam Street

26 Palmetto Avenue Existing Conditions: Site Photos

2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0

PARKING REQUIREMENTS

RETAIL 1 SPACE PER 300 SQ. FT.
 RESIDENTIAL: 1 SPACE PER BEDROOM

TOTAL RETAIL SPACE: 5,100 SQ. FT.
 PARKING REQUIRED: 17 SPACES

TOTAL (2) BEDROOM UNITS: 4
 TOTAL SPACES REQUIRED: 8

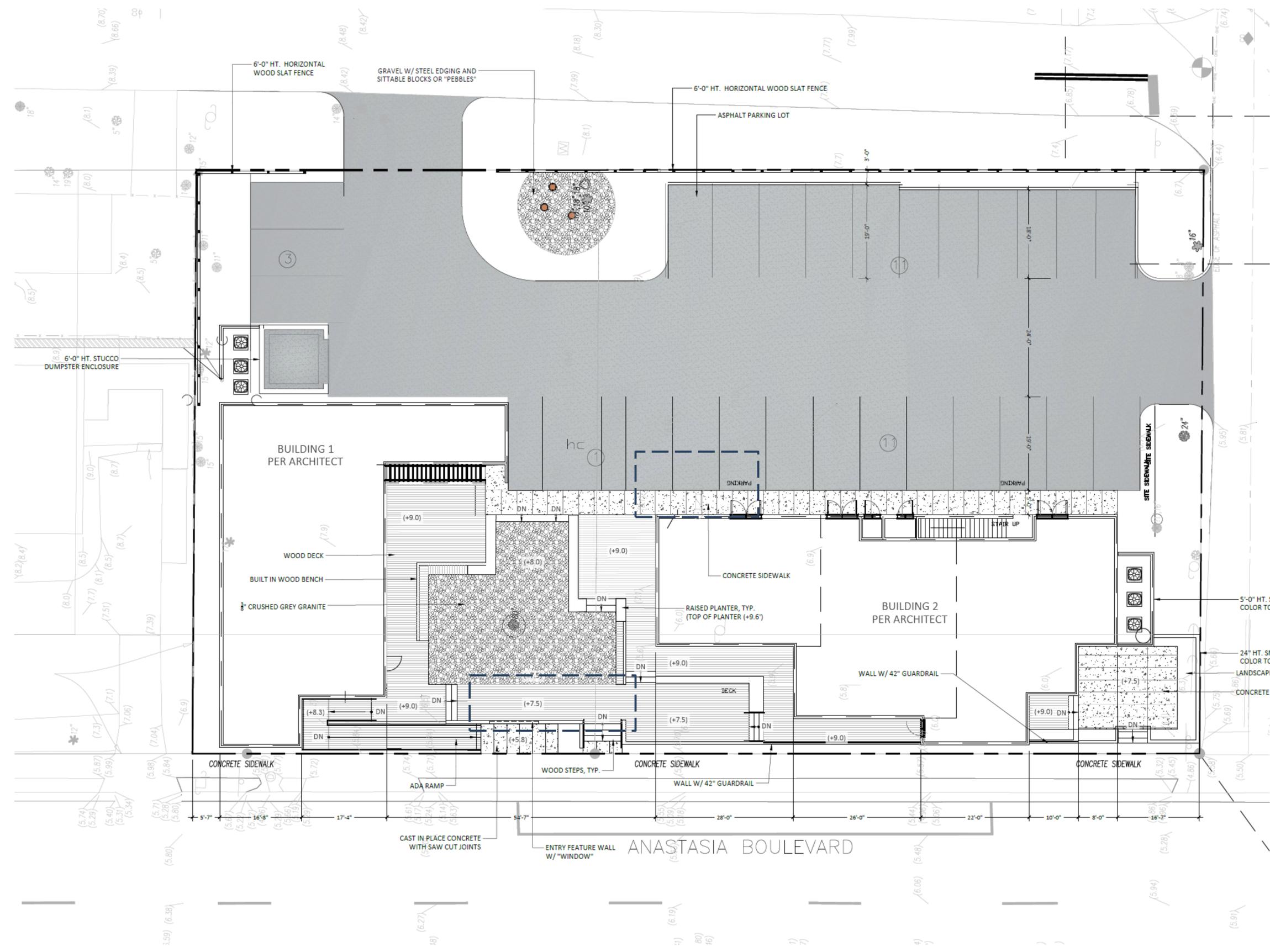
TOTAL PARKING REQUIRED: 25
 TOTAL PARKING PROVIDED: 26

BUILDING 1

FIRST FLOOR:
 RETAIL 2,150 SQ. FT.
 STORAGE 150 SQ. FT.
 SECOND LEVEL: RESIDENTIAL
 (2) 2 BEDROOM UNITS (2,003 SQ. FT.)

BUILDING 2

FIRST FLOOR
 RETAIL 2,950 SQ. FT.
 OFFICE 150 SQ. FT.
 SECOND FLOOR: RESIDENTIAL
 (2) 2 BEDROOM UNITS (2,501 SQ. FT.)



26 Palmetto Avenue Hardscape Plan

St. Augustine, FL
 ML+H Project No. 21.25.0

2.04.2022





BOARD FORM CONCRETE WALL w/WINDOW



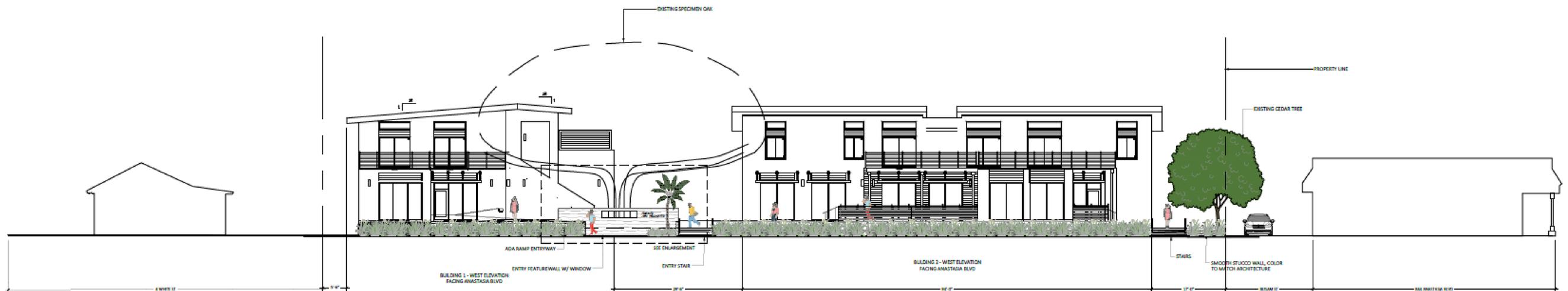
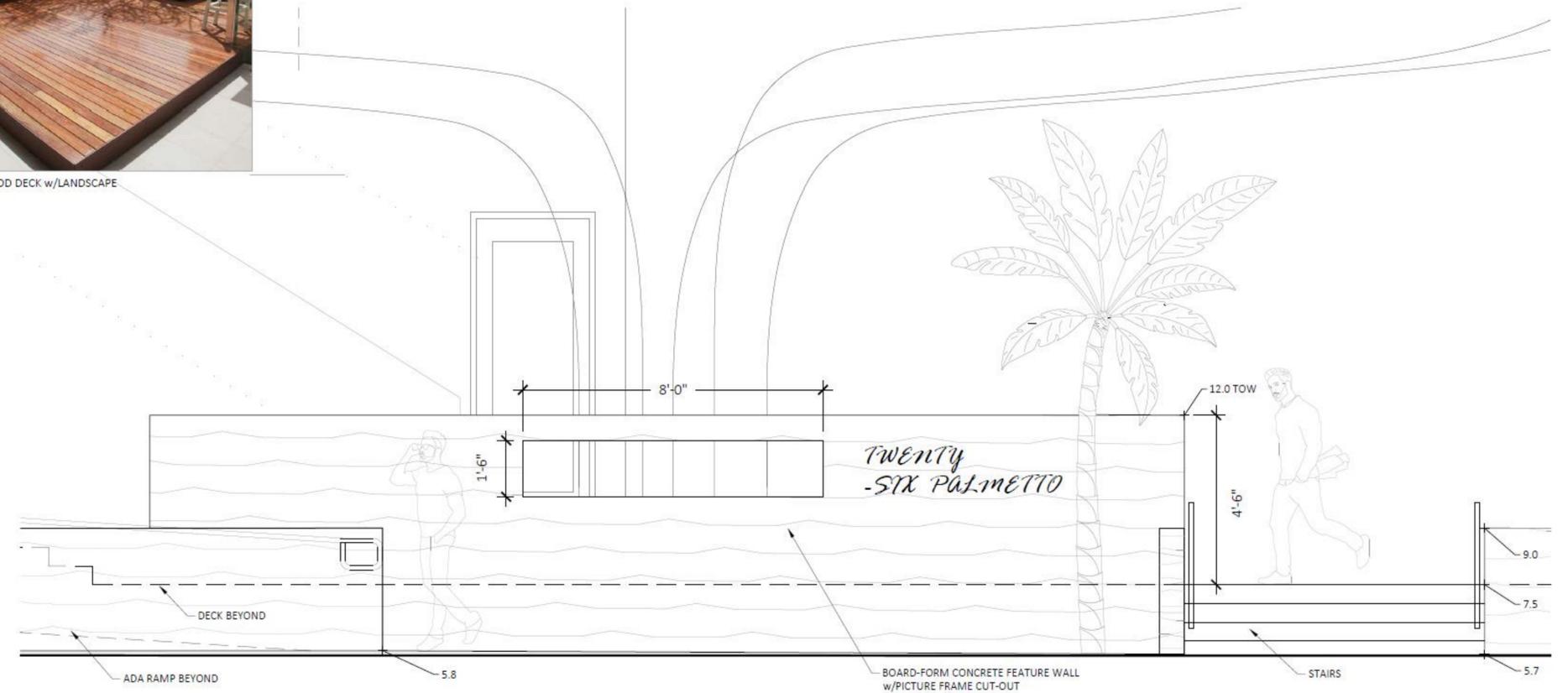
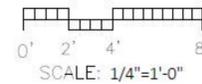
BOARD FORM CONCRETE WALL w/WINDOW



WOOD DECK w/LANDSCAPE



GAVEL LOUNGE UNDER OAK TREE

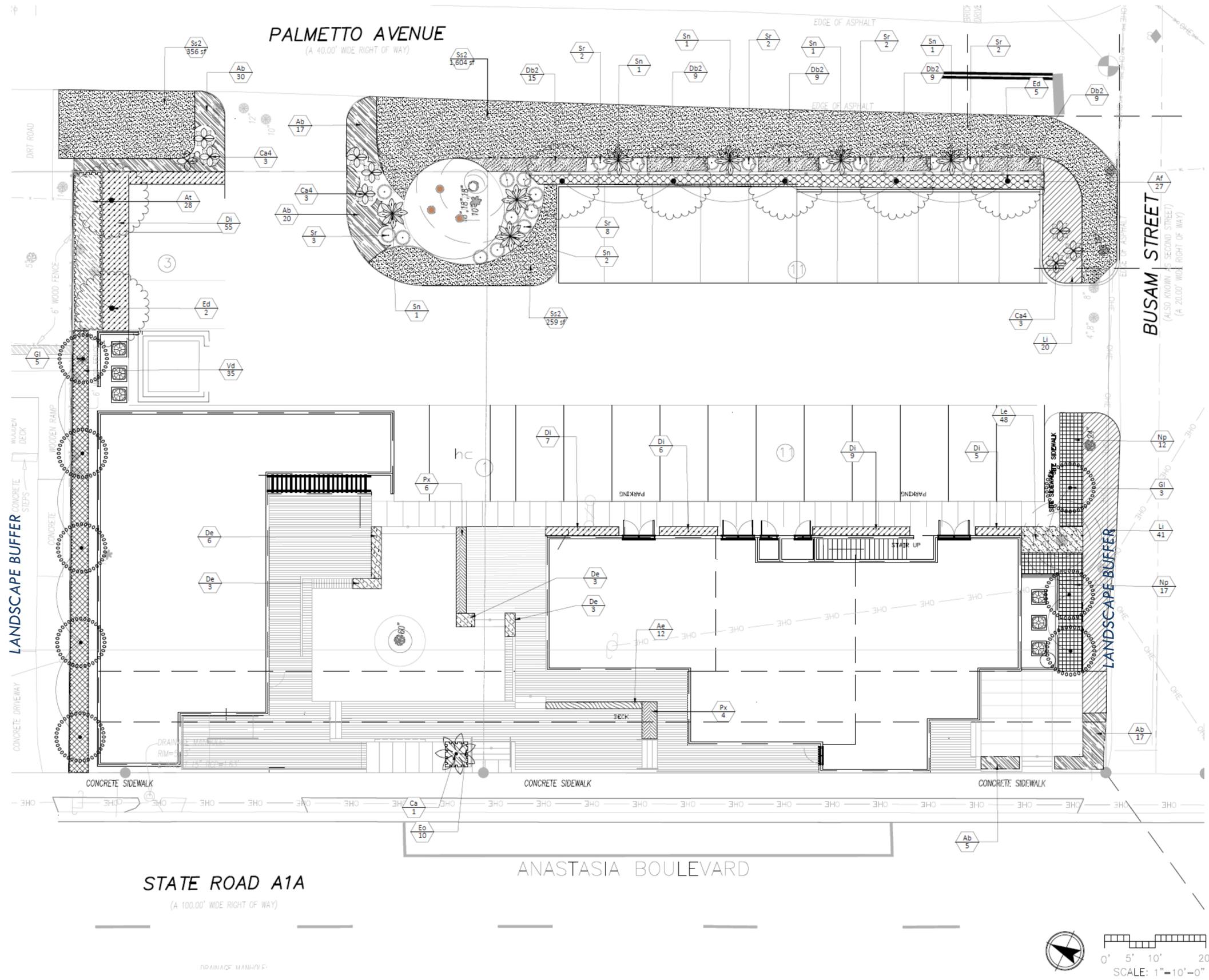


26 Palmetto Avenue Front Elevation

2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0

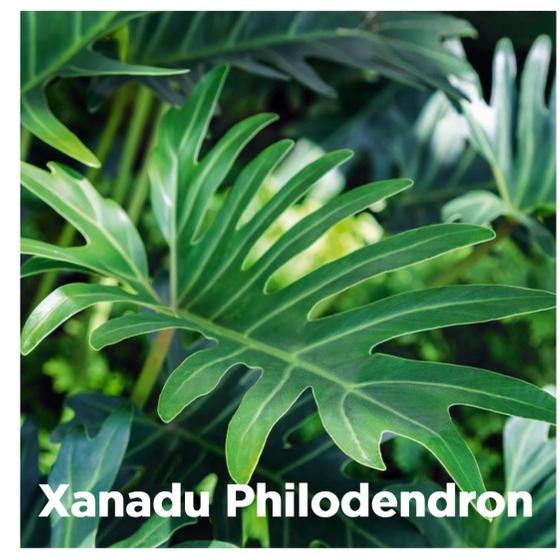




Autumn Fern



Cast Iron Plant



Xanadu Philodendron

26 Palmetto Avenue Landscape Plan

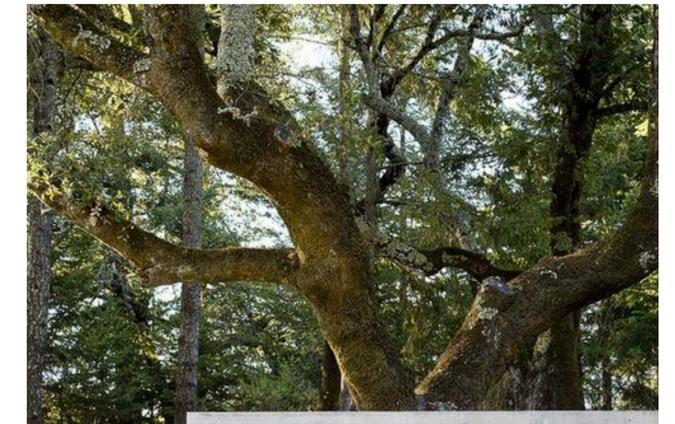
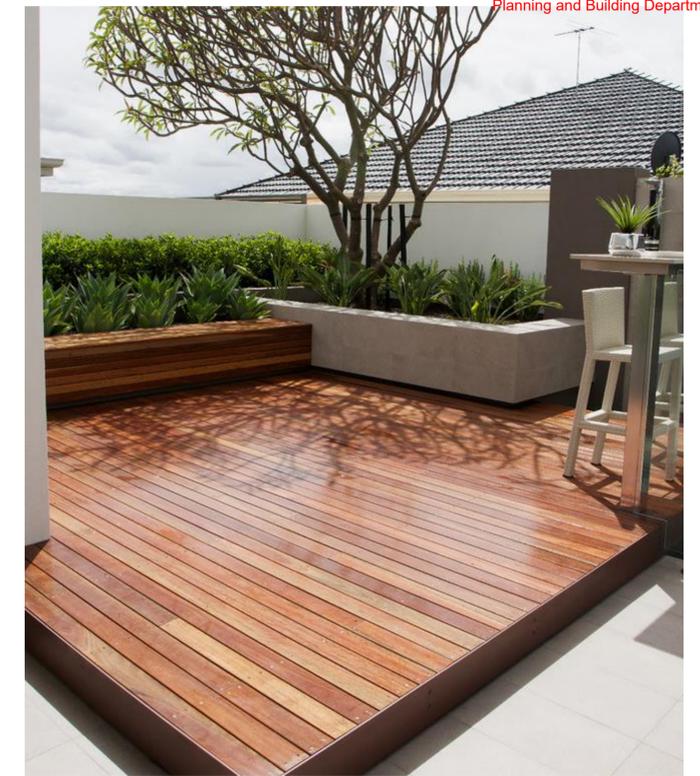
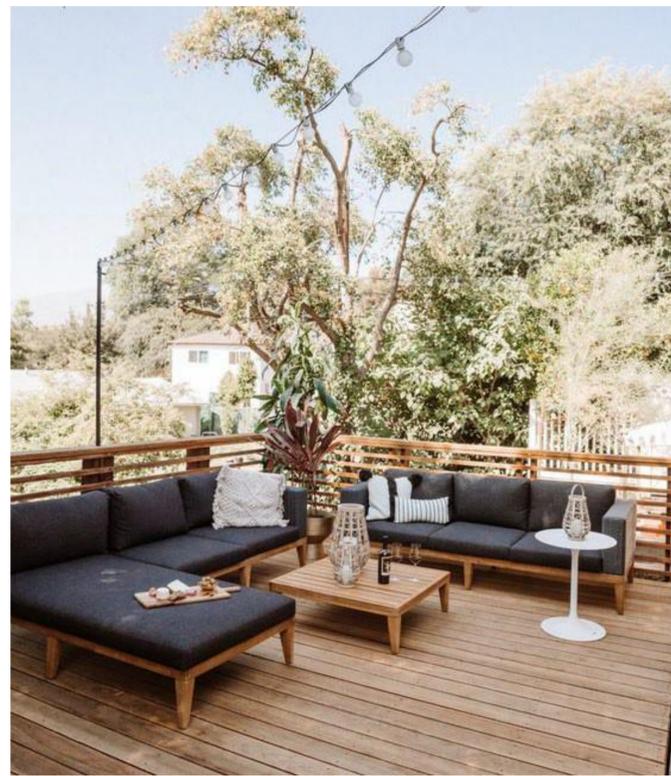
2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0



Architecture Planning Project Analysis Interiors

LANDSCAPE ARCHITECTURE · PLANNING
www.halback.com | Florida Qualifier LA6667110
Application pg. 13



26 Palmetto Avenue Theme & Character

St. Augustine, FL
ML+H Project No. 21.25.0

2.04.2022



26 Palmetto Avenue

St. Augustine, FL
ML+H Project No. 21.25.0

View from Anastasia Blvd

2.04.2022



26 Palmetto Avenue

St. Augustine, FL
ML+H Project No. 21.25.0

Entry Feature

2.04.2022



26 Palmetto Avenue

St. Augustine, FL
ML+H Project No. 21.25.0

South View: Bldg 2

2.04.2022



26 Palmetto Avenue

St. Augustine, FL
ML+H Project No. 21.25.0

Gravel Oak Courtyard 2.04.2022



26 Palmetto Avenue

Entry Steps and Built in seating 2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0



26 Palmetto Avenue

Sitting Garden at Specimen Magnolia 2.04.2022

St. Augustine, FL
ML+H Project No. 21.25.0

26 PALMETTO AVE. Anastasia Blvd. Corridor Review Committee Presentation

02.04.2022 | ML+H Project 21.25.0



26 Palmetto Avenue Corridor Review

Received February 5, 2022
Planning and Building Department

Exterior selections for a city neighborhood whose charm and beauty is in the process of being both rediscovered and created anew

Stucco and texture - Synthetic Stucco -
Texture Sand finish - Color Lite natural gray



Windows & SGD Doors 2nd floor -
Viwinco & SGD 2-Lite sliders S-series -
Frame Midnight Black Laminate - Glass
Tempered Gray-tinted - Hardware Black.
Storefront Glass System. Custom
Aluminum - Frame color Black Glass
Tempered Gray-tinted - Hardware Black



Railing System - Posts Aluminum - Color
Powder-coated Black aluminum posts -
Stainless steel cables - Rail Top Natural
IPE



Awnings - Custom Powder-coated Black
aluminum

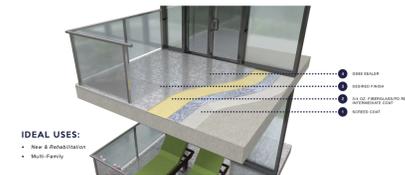


Roof - TPO - Color Lite Grey



Arvynl Slate Gray TPO

Roofing 2nd-floor decks & hallways -
Pli-dek CON-DEK SYSTEM - Color Dark
Gray



Fascia - Black .032 Aluminum



26 Palmetto Avenue Corridor Review

Received February 5, 2022
Planning and Building Department

Exterior selections for a city neighborhood whose charm and beauty is in the process of being both rediscovered and created anew

Soffit Overhang, accents areas full wall and above the doors - NewTechWood is a natural-looking, beautiful timber decking because of the multi-chromatic colors that mimic real timber textures and hues. - Belgian Board - Color Peruvian Teak (TK)



Concrete wall accent - Concrete stamped wood look - Color grey and brown



Decks & benches - Wood IPE - Color Natural



Walkways - Concrete salt finish



Building Exterior Lighting - 6" in. wall cylinder - Powder-coat Black finish aluminum construction

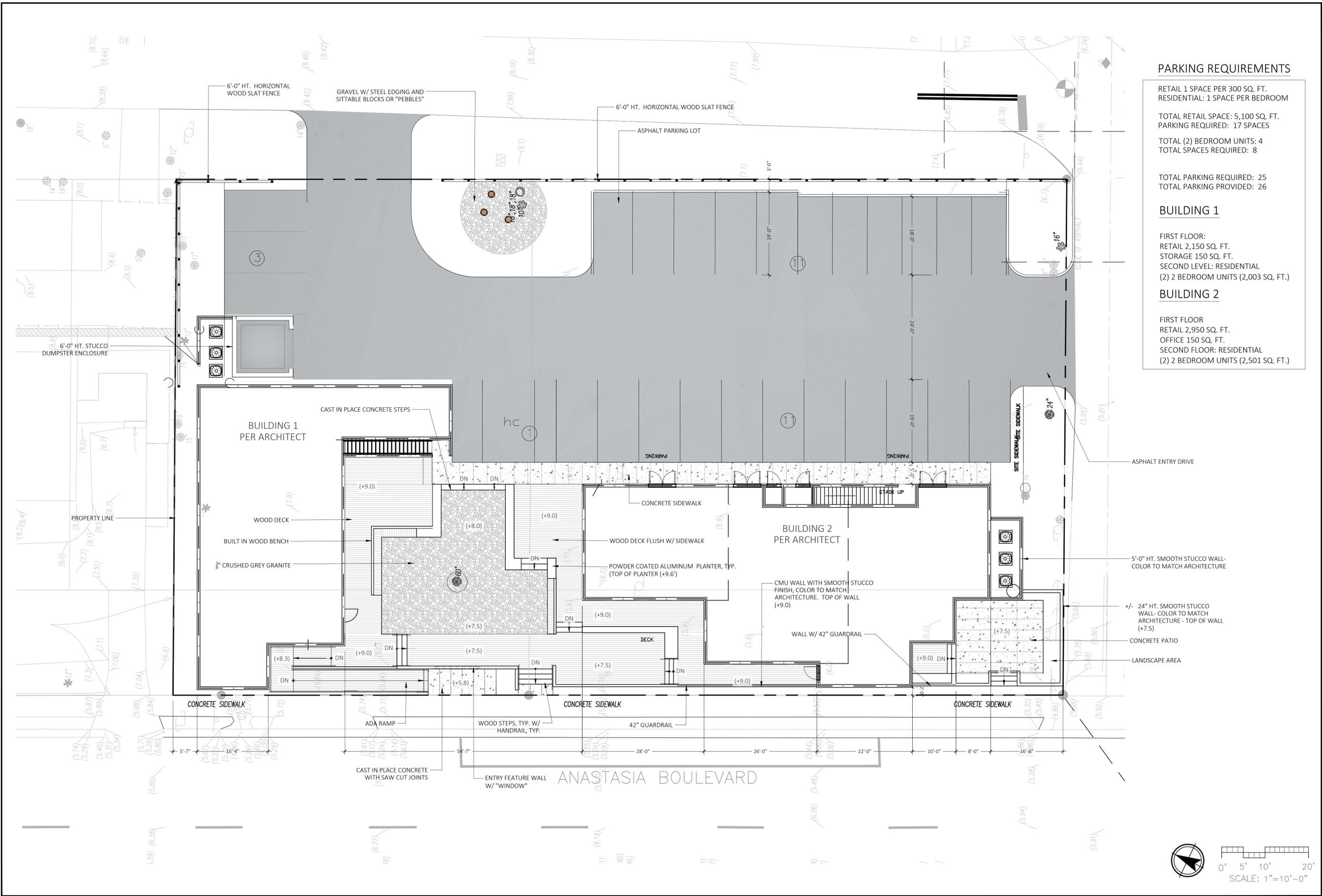


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 LC0000391

JEREMY MARQUIS
 LIC. # 6667110 SEAL
 DRAWN BY: EG/AC

26 PALMETTO MASTER PLAN
 Palmetto Ave, St. Augustine, Florida
HARDSCAPE PLAN

SYM	DESCRIPTION	DATE
	CRC SUBMITTAL	02.04.2022
	PRIME PROJECT #:	ML+H PROJECT #:
	ML+H PROJECT #:	21.25.0
DRAWING NO.:		L-2.1



PARKING REQUIREMENTS

RETAIL 1 SPACE PER 300 SQ. FT.
 RESIDENTIAL: 1 SPACE PER BEDROOM

TOTAL RETAIL SPACE: 5,100 SQ. FT.
 PARKING REQUIRED: 17 SPACES

TOTAL (2) BEDROOM UNITS: 4
 TOTAL SPACES REQUIRED: 8

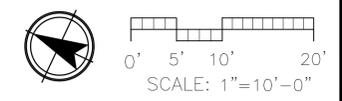
TOTAL PARKING REQUIRED: 25
 TOTAL PARKING PROVIDED: 26

BUILDING 1

FIRST FLOOR:
 RETAIL 2,150 SQ. FT.
 STORAGE 150 SQ. FT.
 SECOND LEVEL: RESIDENTIAL
 (2) 2 BEDROOM UNITS (2,003 SQ. FT.)

BUILDING 2

FIRST FLOOR
 RETAIL 2,950 SQ. FT.
 OFFICE 150 SQ. FT.
 SECOND FLOOR: RESIDENTIAL
 (2) 2 BEDROOM UNITS (2,501 SQ. FT.)



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JEREMY MARQUIS
 LIC. # 6667110 SEAL
 DRAWN BY: EG/AC



BOARD FORM CONCRETE WALL w/WINDOW



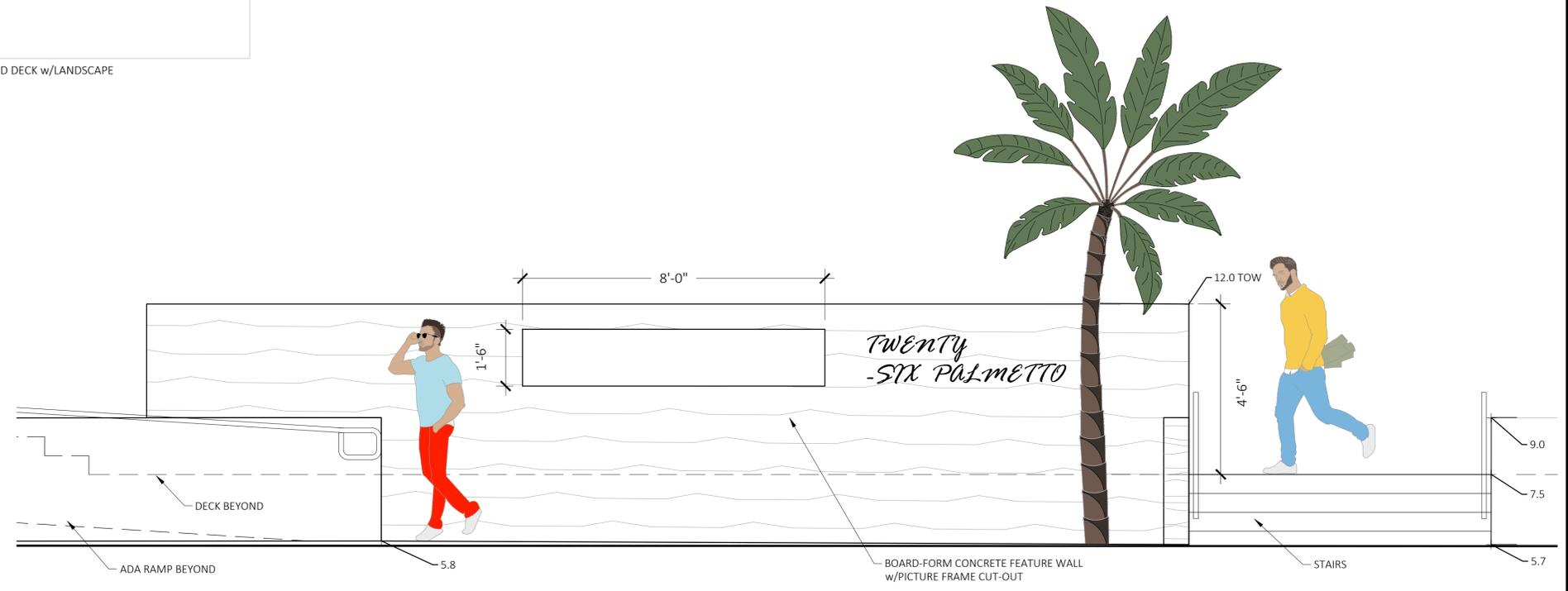
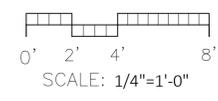
BOARD FORM CONCRETE WALL w/WINDOW



WOOD DECK w/LANDSCAPE



GAVEL LOUNGE UNDER OAK TREE



26 PALMETTO MASTER PLAN

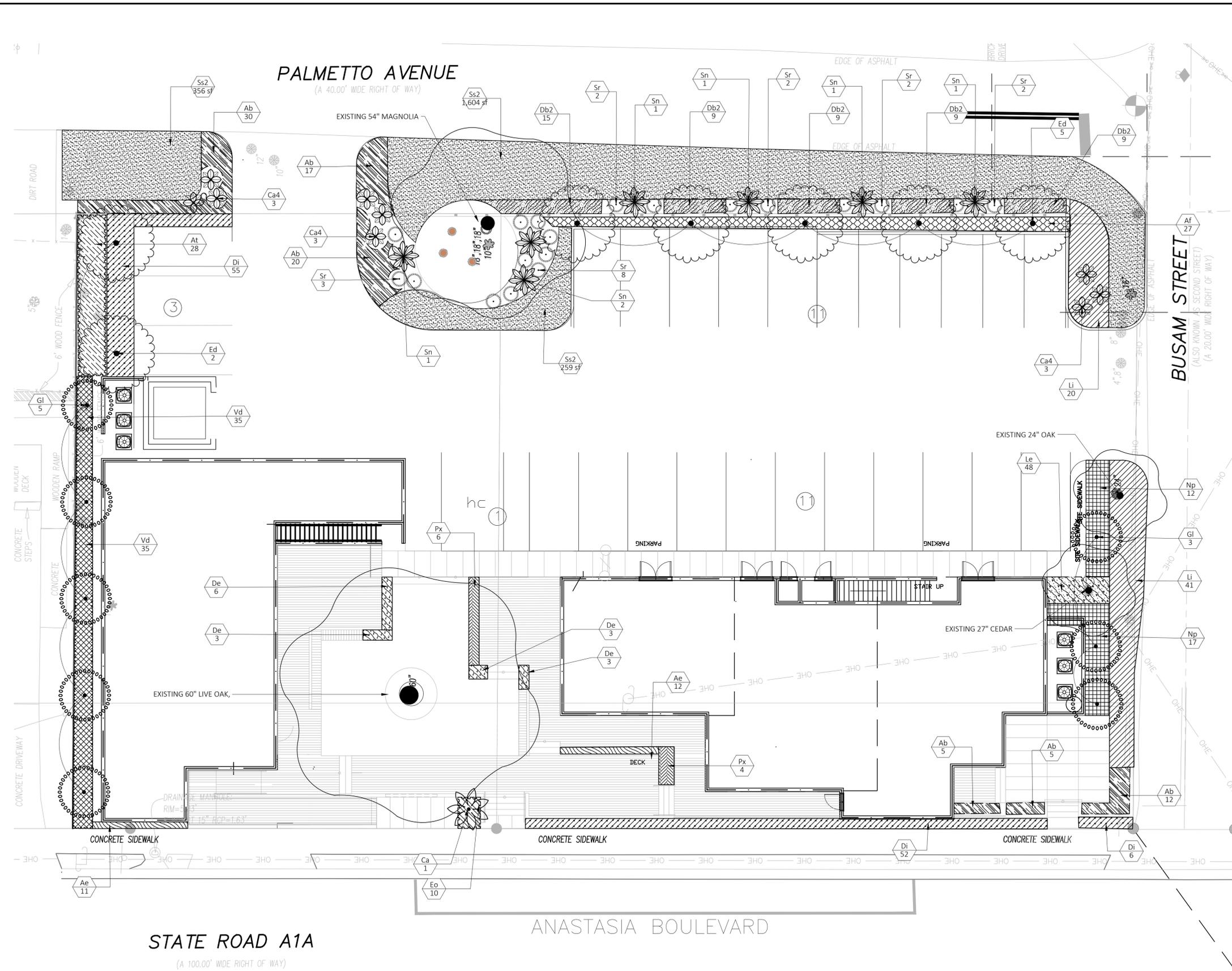
Palmetto Ave, St. Augustine, Florida

SCHEMATIC WEST ELEVATION

SYM	DESCRIPTION	DATE
	CRC SUBMITTAL	02.04.2022

SIZE: ANSI D
 PRIME PROJECT #: ML+H PROJECT #: 21.25.0

DRAWING NO.: L-2.2



**LANDSCAPE CODE
 BUFFERYARD REQUIREMENTS**

COSA SHRUB + TREE REQUIREMENTS

FRONT YARD - ANASTASIA BLVD
 YARD LENGTH 205 LF
 YARD REQUIREMENTS 40% LANDSCAPE MIN. (111 LF PROVIDED)
 (3.6 TREES + 18 SHRUBS / 100 LF)

TREES
 TREES REQUIRED: 4 TREES
 TREES PROVIDED: 2 TREES
 TREES PRESERVED: 1 TREES (LARGE 60\"/>

COSA SHRUB + TREE REQUIREMENTS

REAR YARD - PALMETTO AVENUE
 YARD LENGTH 181 LF
 YARD WIDTH 3 FT (3 FT REQUIRED) INCLUDING FENCE
 CLASSIFICATION 4 (3.6 TREES + 10.8 SHRUBS / 100 LF)

TREES
 TREES REQUIRED: 7 TREES
 TREES PROVIDED: 6 TREES
 TREES PRESERVED: 1 (SPECIMEN MAGNOLIA) TREES

SHRUBS
 SHRUBS REQUIRED: 20 SHRUBS
 SHRUBS PROVIDED: 44 SHRUBS

COSA SHRUB + TREE REQUIREMENTS

SIDE YARD BUSAM STREET
 YARD LENGTH 92 LF
 YARD WIDTH 5 FT MINIMUM (5 FT REQUIRED)
 CLASSIFICATION 4 (4 TREES + 12 SHRUBS / 100 LF)

TREES
 TREES REQUIRED: 4 TREES
 TREES PROVIDED: 3 TREES
 TREES PRESERVED: 5 TREES

SHRUBS
 SHRUBS REQUIRED: 11 SHRUBS
 SHRUBS PROVIDED: 110 SHRUBS

SIDE YARD NORTH

YARD LENGTH 118 LF
 YARD WIDTH 5-10' (5 FT MINIMUM)
 CLASSIFICATION 4 (3.6 TREES + 10.8 SHRUBS / 100 LF)

TREES
 TREES REQUIRED: 5 TREES
 TREES PROVIDED: 7 TREES
 TREES PRESERVED: 3 TREES

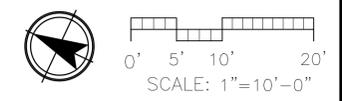
SHRUBS
 SHRUBS REQUIRED: 13
 SHRUBS PROVIDED: 63

26 PALMETTO MASTER PLAN
 Palmetto Ave, St. Augustine, Florida
 LANDSCAPE PLAN

SYM	DESCRIPTION	DATE
	CRC SUBMITTAL	02.04.2022

SIZE:	ANSI D
PRIME PROJECT #:	
ML+H PROJECT #:	21.25.0

DRAWING NO.:
L-3.1





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 LC0000391

JEREMY MARQUIS
 LIC. # 6667110 SEAL
 DRAWN BY: EG/AC

26 PALMETTO MASTER PLAN

Palmetto Ave, St. Augustine, Florida

LANDSCAPE NOTES AND DETAILS

SYM	DESCRIPTION	DATE

PRIME PROJECT #:	ANSI D
ML+H PROJECT #:	21.25.0

DRAWING NO.:
 L-3.2

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE LANDSCAPE BED PREPARATION, INCLUDING REMOVAL AND DISPOSAL OF EXISTING LANDSCAPE AND TREES (TREES TO REMAIN ARE NOTED ON PLAN). CONTRACTOR SHALL PULL ANY APPLICABLE PERMITS, SUCH AS TREE REMOVAL PERMIT.
- SPRAY DOWN BASE OF BUILDING TO REMOVE SOIL FROM CONSTRUCTION ACTIVITIES.
- PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. PLANT SIZE IS TO TAKE PRECEDENCE OVER CONTAINER SIZE.
- ALL TREES AND SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. BERMS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.
- WEEDS ARE TO BE ADEQUATELY AND PROPERLY TREATED AND REMOVED PRIOR TO LANDSCAPE INSTALLATION. ALL SOIL AMENDMENTS SHOULD BE CERTIFIED AS WEED-FREE FROM THE SUPPLIER.
- LANDSCAPE MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR (INCLUDING MOWING, PRUNING, AND WEEDING) UNTIL PLANTING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MUST PROVIDE: (A.) A WARRANTY ON ALL TREES AND PALMS FOR A PERIOD OF (12) TWELVE MONTHS. (B.) A WARRANTY ON ALL SHRUBS AND GROUNDCOVERS FOR A PERIOD OF (12) TWELVE MONTHS. (C.) GUIDELINES FOR PROPER MAINTENANCE.
- TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES; ADJUST IN THE FIELD IF NEEDED.
- BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL, SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE PULLED AWAY FROM THE TRUNK.
- CONTRACTOR SHALL SCARIFY SOIL TO A DEPTH OF 12" IN AREAS WITH COMPACTED SOIL. CONTRACTOR SHALL EXCAVATE AND DISPOSE OF ALL STONE, DEBRIS AND BASE MATERIAL FROM PREVIOUS PARKING AREAS. BACK FILL WITH TOP SOIL WITH HIGH ORGANIC CONTENT AND CERTIFIED WEED FREE.

COORDINATION WITH PROJECT WORK

- THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK.
- PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES.
- COORDINATE THE RELOCATION OF ANY IRRIGATION LINES, HEADS OR THE CONDUITS OF OTHER UTILITY LINES THAT ARE IN CONFLICT WITH TREE LOCATIONS. ROOT BALLS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS ENCOUNTERED.

LAYOUT AND PLANTING SEQUENCE

- RELATIVE POSITIONS OF ALL PLANTS AND TREES ARE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- NOTIFY THE LANDSCAPE ARCHITECT, ONE (1) WEEK PRIOR TO LAYOUT. LAYOUT ALL INDIVIDUAL TREE AND SHRUB LOCATIONS. PLACE PLANTS ABOVE SURFACE AT PLANTING LOCATION OR PLACE A LABELED STAKE AT PLANTING LOCATION. LAYOUT BED LINES WITH PAINT FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SECURE THE LANDSCAPE ARCHITECT'S ACCEPTANCE BEFORE DIGGING AND START OF PLANTING WORK.

PLANTING GUIDELINES: TREES, SHRUBS & GROUNDCOVER

- ASSURE THAT SOIL MOISTURE IS WITHIN THE REQUIRED LEVELS PRIOR TO PLANTING. IRRIGATION, IF REQUIRED, SHALL NOT BE APPLIED LESS THAN 12 HOURS PRIOR TO PLANTING TO AVOID PLANTING IN MUDDY SOILS.
- ASSURE THAT SOIL GRADES IN THE BEDS ARE SMOOTH AND AS SHOWN ON THE PLANS.
- PLANTS SHALL BE PLANTED IN EVEN, TRIANGULARLY SPACED ROWS, AT THE INTERVALS CALLED OUT FOR ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- DIG PLANTING HOLES TWO TIMES (2x) THE WIDTH OF THE ROOT BALL AND BACK FILL WITH PLANTING MIX. SEE "SOIL MIX" GUIDELINES.
- PRESS SOIL TO BRING THE ROOT SYSTEM IN CONTACT WITH THE SOIL.
- SPREAD ANY EXCESS SOIL AROUND IN THE SPACES BETWEEN PLANTS.
- APPLY MULCH TO THE BED BEING SURE NOT TO COVER THE TOPS OF THE PLANTS WITH OR THE TOPS OF THE ROOT BALL WITH MULCH.
- WATER EACH PLANTING AREA AS SOON AS THE PLANTING IS COMPLETED. APPLY ADDITIONAL WATER TO KEEP THE SOIL MOISTURE AT THE REQUIRED LEVELS. DO NOT OVER WATER.

PALM PLANTING

- PALM TREES SHALL BE PLACED AT GRADE MAKING SURE NOT TO PLANT THE TREE ANY DEEPER IN THE GROUND THAN THE PALM TREES ORIGINALLY STOOD.
- THE TREES SHALL BE PLACED WITH THEIR VERTICAL AXIS IN A PLUMB POSITION.
- ALL BACKFILL SHALL BE NATIVE SOIL EXCEPT IN CASES WHERE PLANTING IN ROCK. WATER-SETTLE THE BACK FILL.
- DO NOT COVER ROOT BALL WITH MULCH OR TOPSOIL.
- PROVIDE A WATERING BERM AT EACH PALM. BERMS SHALL EXTEND A MINIMUM OF 18 INCHES OUT FROM THE TRUNK ALL AROUND AND SHALL BE A MINIMUM OF (6) INCHES HIGH.
- REMOVE TWINE WHICH TIES FRONDS TOGETHER AFTER PLACING PALM IN PLANTING HOLE AND SECURING IT IN THE UPRIGHT POSITION.

PRUNING OF TREES AND SHRUBS

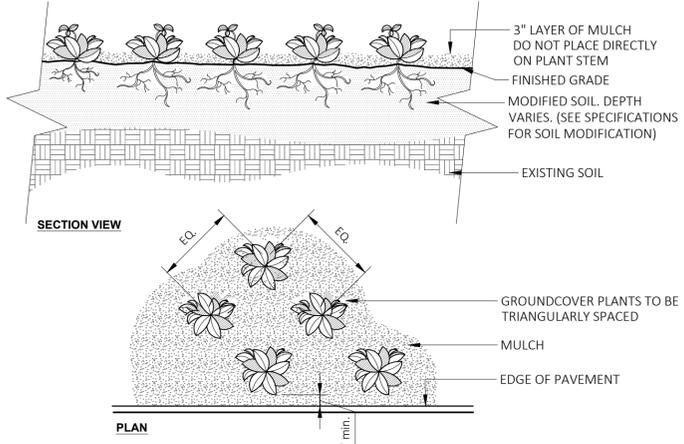
- IF PRUNING OF EXISTING TREES OR PLANT MATERIAL IS REQUIRED THE CONTRACTOR SHALL ADHERE TO ANSI Z133.1 STANDARDS FOR TREE CARE AND INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) BEST MANAGEMENT PRACTICES.

MULCHING OF PLANTS

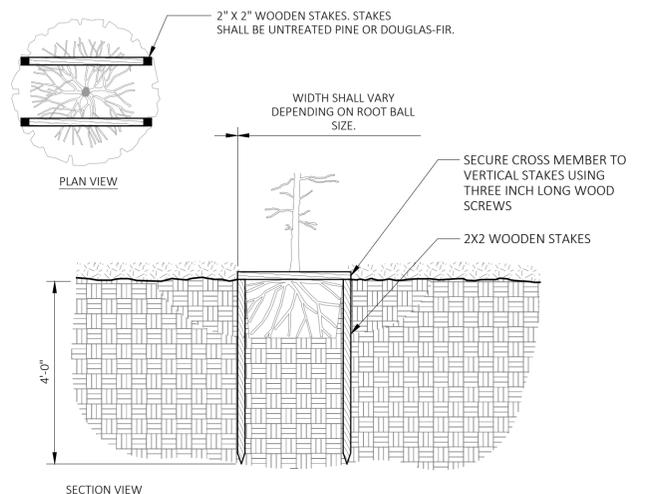
- SCHEDULE THE PLANTING TO OCCUR PRIOR TO APPLICATION OF THE MULCH. IF THE BED IS ALREADY MULCHED, PULL THE MULCH FROM AROUND THE HOLE AND PLANT INTO THE SOIL. DO NOT PLANT THE ROOT SYSTEM IN THE MULCH. PULL MULCH BACK SO IT IS NOT ON THE ROOT BALL SURFACE.
- APPLY A MINIMUM OF 2-3 INCHES DEPTH OF PINE STRAW MULCH BEFORE SETTLEMENT, COVERING THE ENTIRE PLANTING BED AREA. INSTALL NO MORE THAN 1 INCH OF MULCH OVER THE TOP OF THE ROOT BALLS OF ALL PLANTS. TAPER TO 2 INCHES WHEN ABUTTING PAVEMENT.
- FOR TREES PLANTED IN LAWN AREAS THE MULCH SHALL EXTEND TO A 5 FOOT RADIUS AROUND THE TREE OR TO THE EXTENT INDICATED ON THE PLANS AND SPACED AT LEAST SIX INCHES AWAY FROM THE TREE TRUNK. MULCH TREES IN TURF AREAS PRIOR TO HYDROSEEDING.
- LIFT ALL LEAVES, LOW HANGING STEMS AND OTHER GREEN PORTIONS OF SMALL PLANTS OUT OF THE MULCH IF COVERED.

SOIL MIX

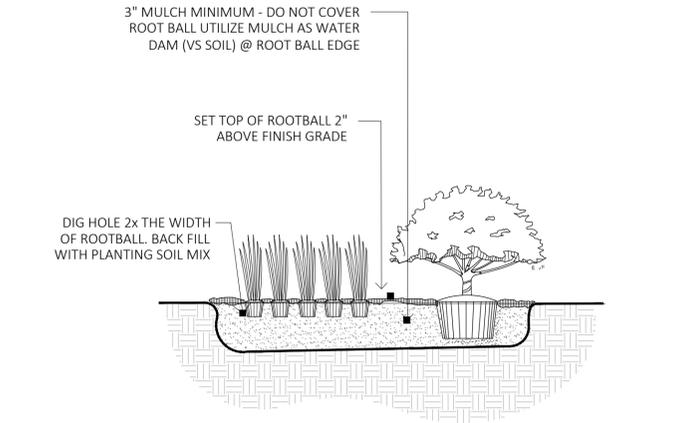
- CONTRACTOR SHALL OBTAIN SOIL TESTING FOR THE PROJECT AREA TO DETERMINE AGONOMIC SUITABILITY. RESULTS SHALL BE REVIEWED WITH THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO PLANTING. AT A MINIMUM, SOIL TESTS SHOULD CONSIDER THE FOLLOWING
- PH / BUFFER PH
- SALINITY
- ORGANIC CONTENT / SAND CONTENT / SILT AND CLAY CONTENT (PERCENTAGE)
- PHOSPHOROUS / POTASSIUM / CALCIUM / MAGNESIUM
- AASHTO CLASSIFICATION
- PERCOLATION RATE
- CONTRACTOR IS TO PROPOSE A SOIL MIX DESIGN BASED UPON RESULTS OF TESTING. THESE RECOMMENDATIONS SHOULD ALSO TAKE INTO ACCOUNT THE TEST RESULTS FROM SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME. PROVIDE A SUBMITTAL OF A TWO GALLON SAMPLE WITH TESTING DATA THAT INCLUDES RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. CONTRACTOR SHALL INCLUDE THE COST OF SOIL TESTING IN THE BASE BID AS WELL AS A APPLICATION OF SLOW RELEASE BALANCED FERTILIZER. CONTRACTOR WILL PROVIDE A PROPOSAL FOR ANY ADDITIONAL AMENDMENTS.
- AT THE TIME OF FINAL GRADING, ADD FERTILIZER OR ACIDIFIER IF REQUIRED TO THE PLANTING SOIL AT RATES RECOMMENDED BY THE TESTING RESULTS FOR THE PLANTS TO BE GROWN.



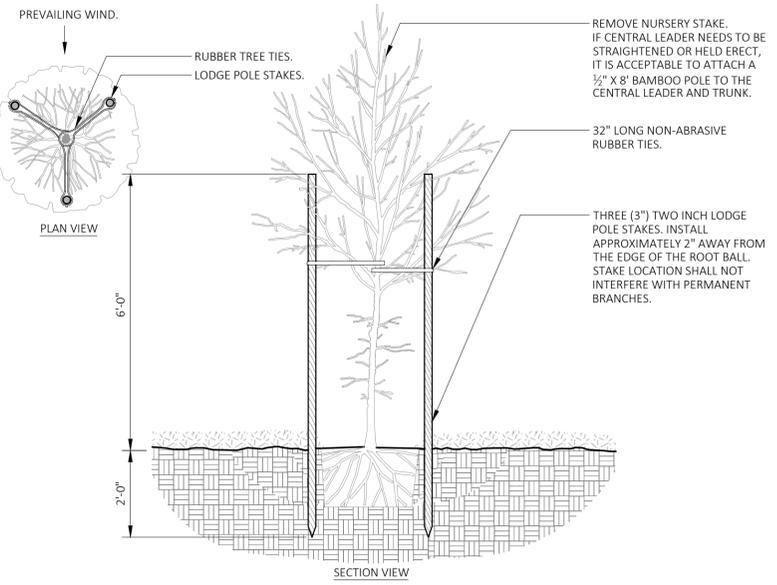
4 GROUNDCOVER
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
 OPEN SOURCE FREE TO USE
 00-04



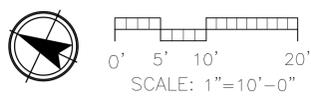
1 TREE STAKING - STAPLE (TREES < 12' OA.)
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
 OPEN SOURCE FREE TO USE
 00-01

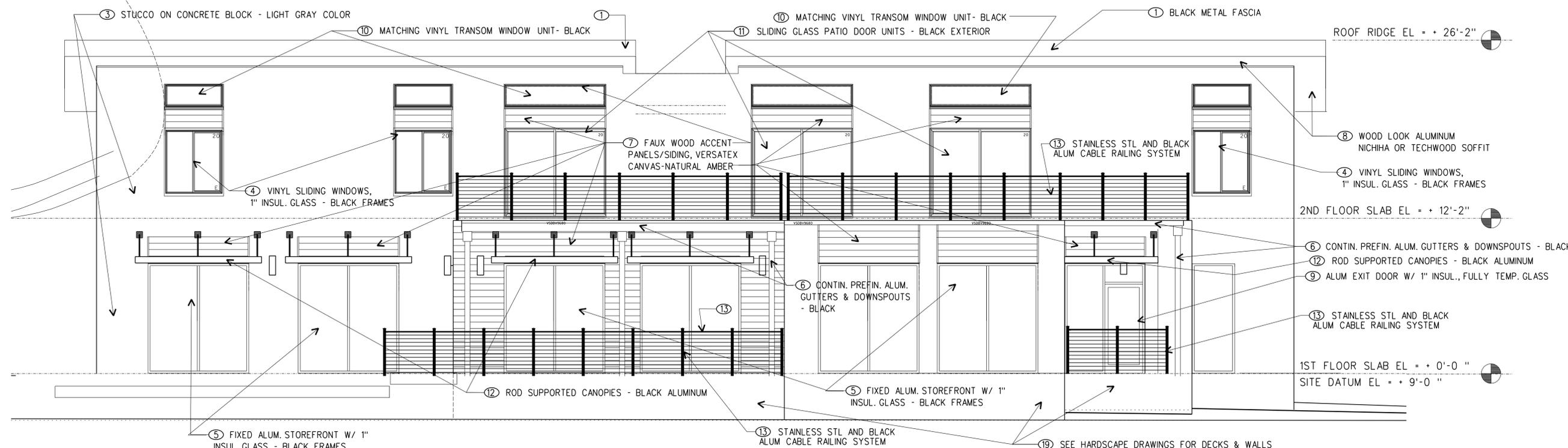


2 SHRUB AND GROUNDCOVER PLANTING
 NOT TO SCALE
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 00-16

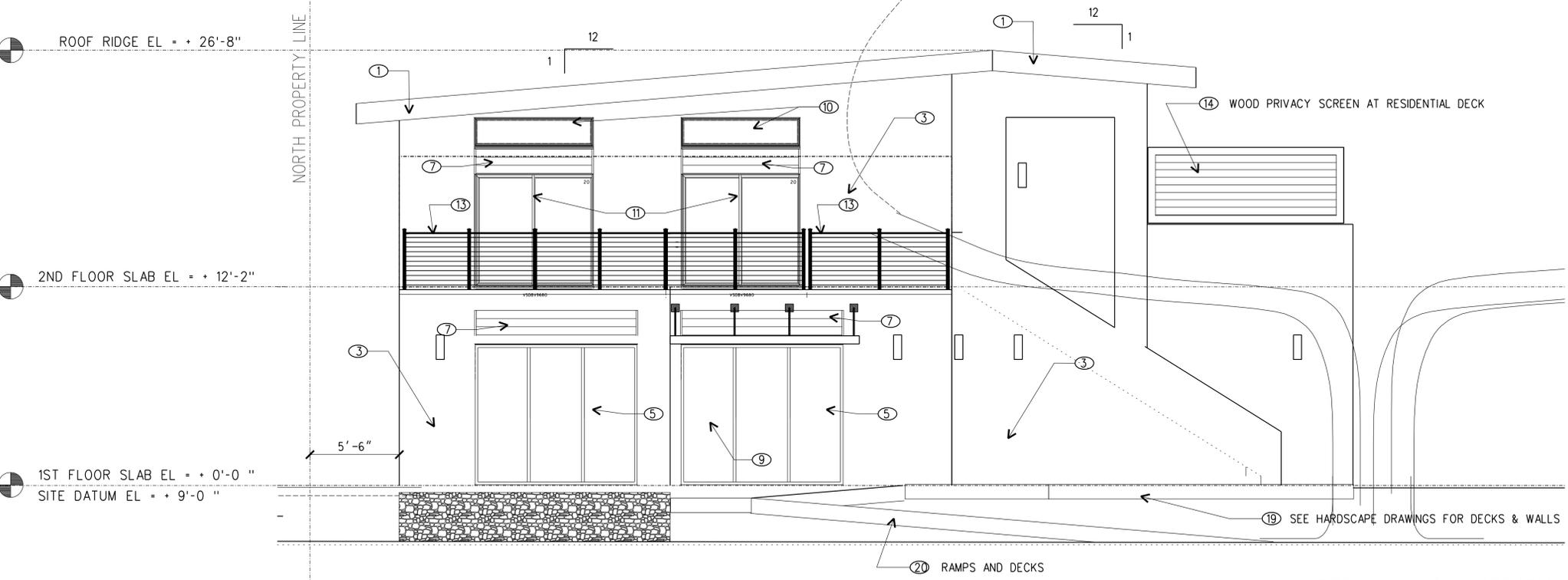


3 TREE STAKING - LODGE POLES (3) (TREES > 12' OA.)
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
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 00-02





1 WEST ELEVATION - BLDG 2 (ANASTASIA BLVD)
 A5.1/A5.1 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - BLDG 1 (ANASTASIA BLVD)
 A5.1/A5.1 SCALE: 1/4" = 1'-0"

- 1 BLACK METAL FASCIA
- 2 MEMBRANE ROOFING SYSTEM - LIGHT GRAY COLOR
- 3 STUCCO ON CONCRETE BLOCK - LIGHT GRAY COLOR
- 4 VINYL SLIDING WINDOWS, 1" GRAY TINT, INSUL. GLASS - BLACK FRAMES
- 5 FIXED ALUM. WINDOWS W/ 1" INSUL. GLASS - BLACK FRAMES
- 6 CONTIN. PREFIN. ALUM. GUTTERS & DOWNSPOUTS - BLACK
- 7 FAUX WOOD ACCENT PANELS/SIDING, NICHHA, NEWTECHWOOD OR SIMILAR
- 8 WOOD LOOK ALUMINUM, NICHHA OR TECHWOOD SOFFIT
- 9 ALUM EXIT DOOR W/ 1" INSUL., FULLY TEMP. GLASS
- 10 MATCHING VINYL TRANSOM WINDOW UNIT- BLACK
- 11 SLIDING GLASS PATIO DOOR UNITS - BLACK EXTERIOR
- 12 ROD SUPPORTED CANOPIES - BLACK ALUMINUM
- 13 STAINLESS STEEL AND BLACK ALUMINUM CABLE RAILING SYSTEM
- 14 WOOD PRIVACY SCREEN AT RESIDENTIAL DECK
- 15 BLACK ALUMINUM INSULATED DOOR
- 16 CAST IN PLACE OR PRECAST CONCRETE EXTERIOR STAIRS
- 17 BLACK ALUMINUM STOREFRONT DOORS
- 18 LOW WALL FOR MECHANICAL SCREENING - STUCCO
- 19 SEE HARDSCAPE DRAWINGS FOR DECKS & WALLS
- 20 RAMPS AND DECKS

NOTE
 THE EAST FACING ANASTASIA BLVD GLAZING HAS BEEN DESIGNED AND CALCULATED TO BE IN EXCESS OF THE 30% GLASS REQUIREMENT REQUIRED BY CORRIDOR GUIDELINES. WE BELIEVE ALL OTHER REQUIREMENTS OF THE GUIDELINES ARE ALSO MET IN THIS DESIGN.

REV. NO.	DATE	DESCRIPTION

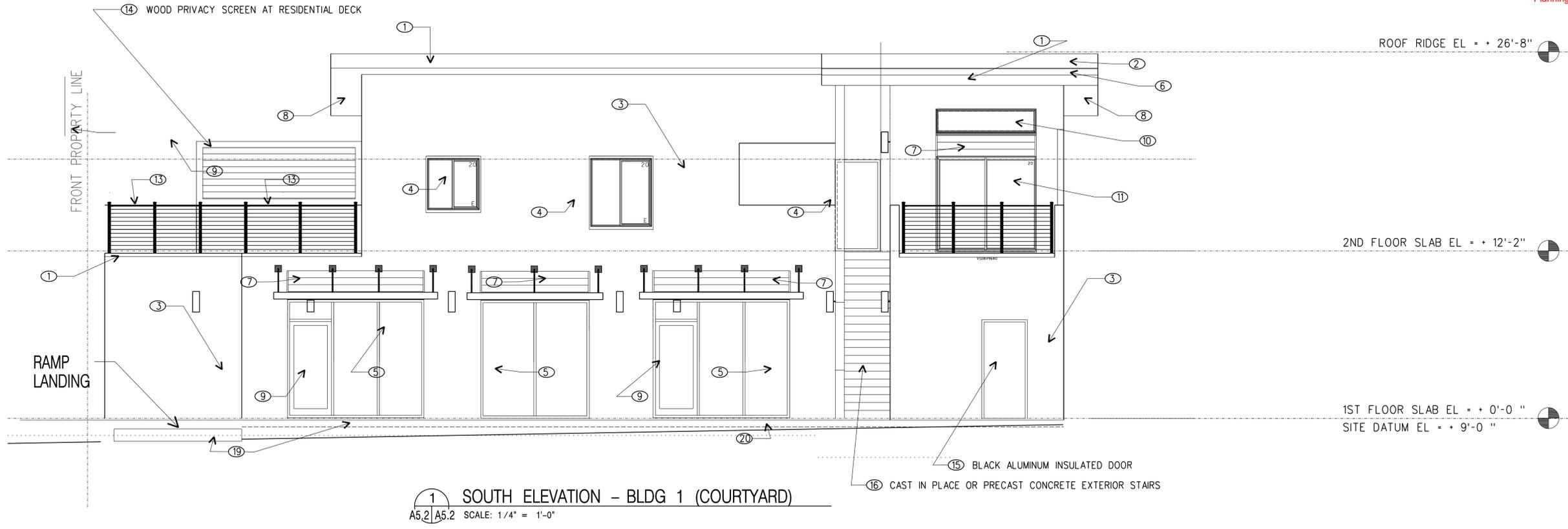
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AMERICAN UNITED ENGINEERS
 Dan Plenary, PE
 5130 N. Federal Hwy., #1
 Phone: (954)477-8667
BACH DESIGN ENGINEERS
 381 SE 10TH ST, Pompano Beach, FL 33060
 Phone: (954)461-4314

NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
 ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

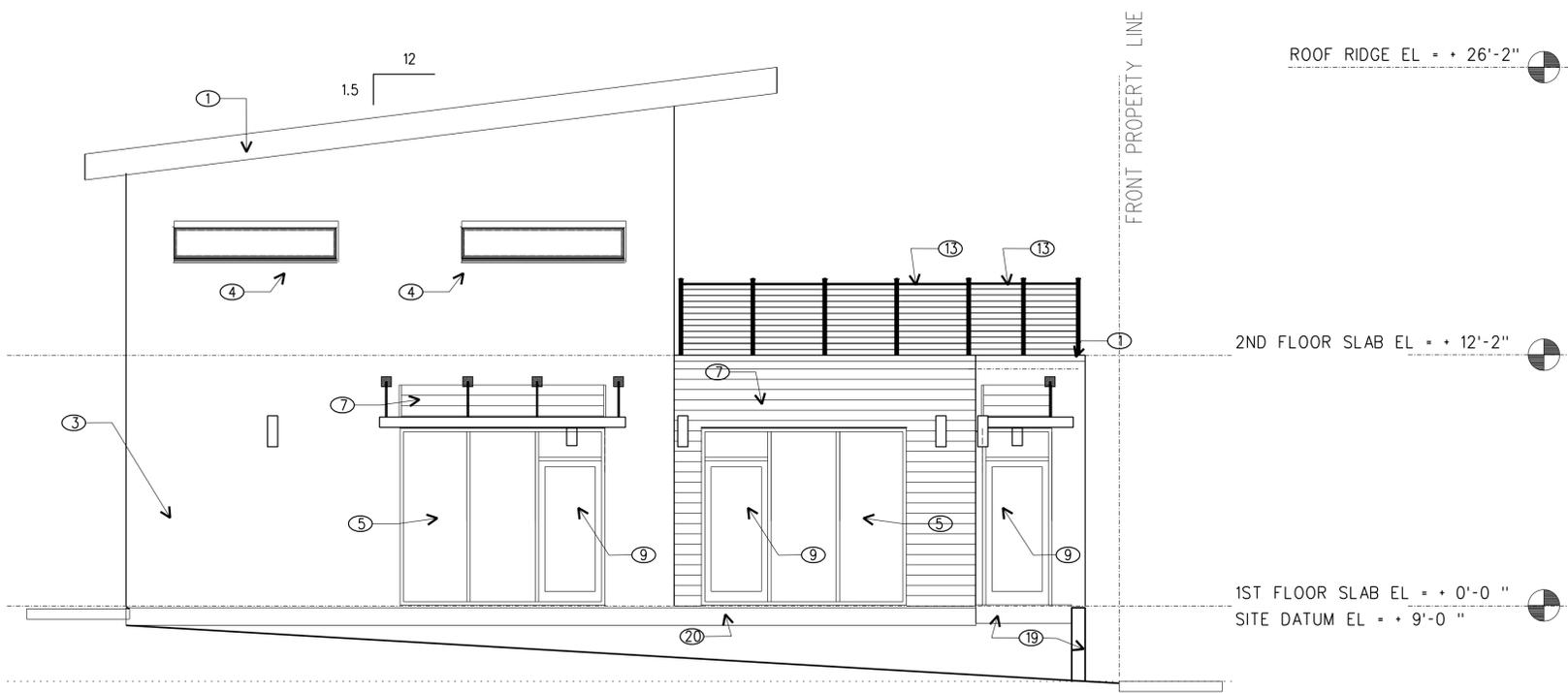
KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022
 TITLE
 EXTERIOR BUILDING ELEVATIONS
 ANASTASIA BLVD

BRIAN R LATHROP ARCHITECT
 Healthcare Architecture Planning Project Analysis Interiors
 2 Flower Hill Lane Palm Coast, FL 32137 (770)998-7300
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1 SOUTH ELEVATION - BLDG 1 (COURTYARD)
 A5.2 | A5.2 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - BLDG 2 (COURTYARD)
 A5.2 | A5.2 SCALE: 1/4" = 1'-0"

- ① BLACK METAL FASCIA
- ② MEMBRANE ROOFING SYSTEM - LIGHT GRAY COLOR
- ③ STUCCO ON CONCRETE BLOCK - LIGHT GRAY COLOR
- ④ VINYL SLIDING WINDOWS, 1" GRAY TINT, INSUL. GLASS - BLACK FRAMES
- ⑤ FIXED ALUM. WINDOWS W/ 1" GRAY TINT, INSUL. GLASS - BLACK FRAMES
- ⑥ CONTIN. PREFIN. ALUM. GUTTERS & DOWNSPOUTS - BLACK
- ⑦ FAUX WOOD ACCENT PANELS/SIDING, NICHHA, NEWTECHWOOD OR SIMILAR
- ⑧ WOOD LOOK ALUMINUM, NICHHA OR TECHWOOD SOFFIT
- ⑨ ALUM EXIT DOOR W/ 1" INSUL., FULLY TEMP. GLASS
- ⑩ MATCHING VINYL TRANSOM WINDOW UNIT - BLACK
- ⑪ SLIDING GLASS PATIO DOOR UNITS - BLACK EXTERIOR
- ⑫ ROD SUPPORTED CANOPIES - BLACK ALUMINUM
- ⑬ STAINLESS STEEL AND BLACK ALUMINUM CABLE RAILING SYSTEM
- ⑭ WOOD PRIVACY SCREEN AT RESIDENTIAL DECK
- ⑮ BLACK ALUMINUM INSULATED DOOR
- ⑯ CAST IN PLACE OR PRECAST CONCRETE EXTERIOR STAIRS
- ⑰ BLACK ALUMINUM STOREFRONT DOORS
- ⑱ LOW WALL FOR MECHANICAL SCREENING - STUCCO
- ⑲ SEE HARDSCAPE DRAWINGS FOR DECKS & WALLS
- ⑳ RAMPS AND DECKS

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 Brian Bach, PE
 381 SE 10TH ST, Pompano Beach, FL 33060
 Phone: (954)461-4314

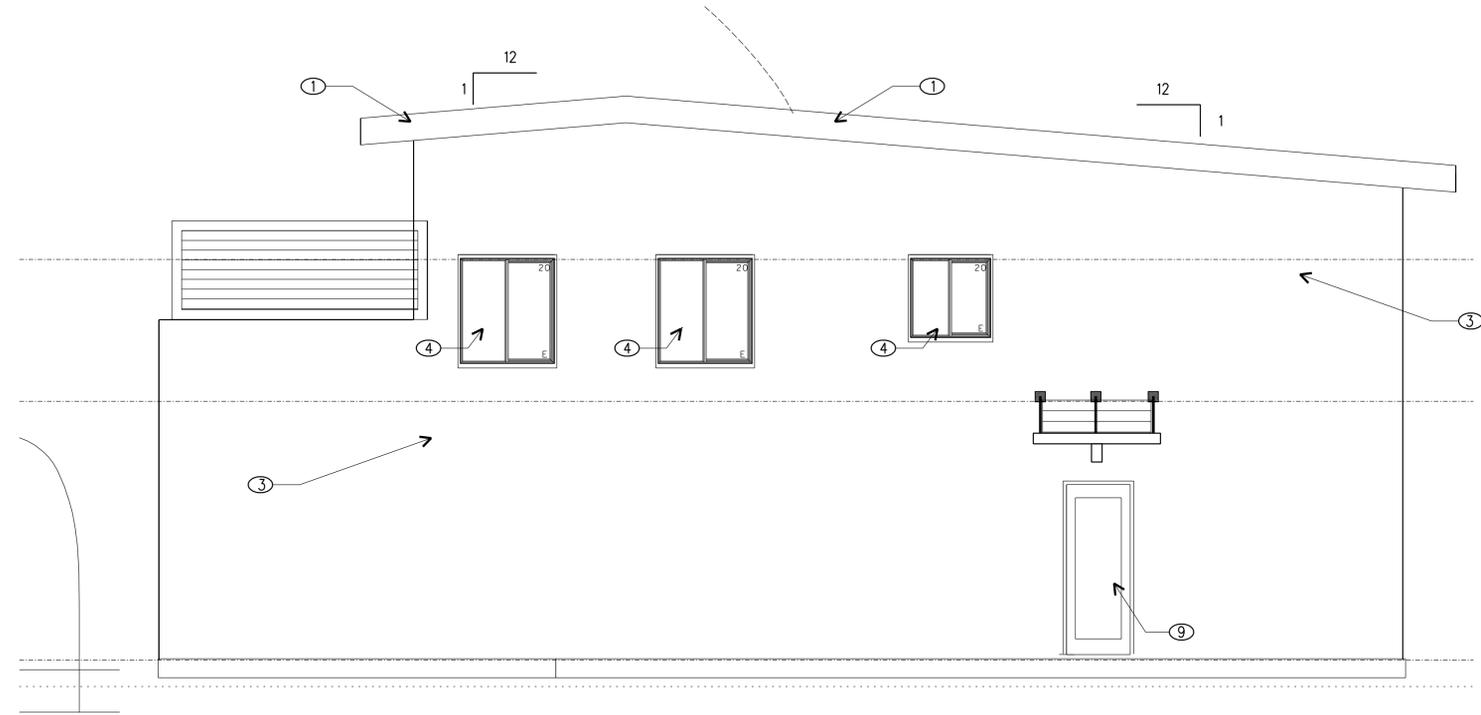
NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
 ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022

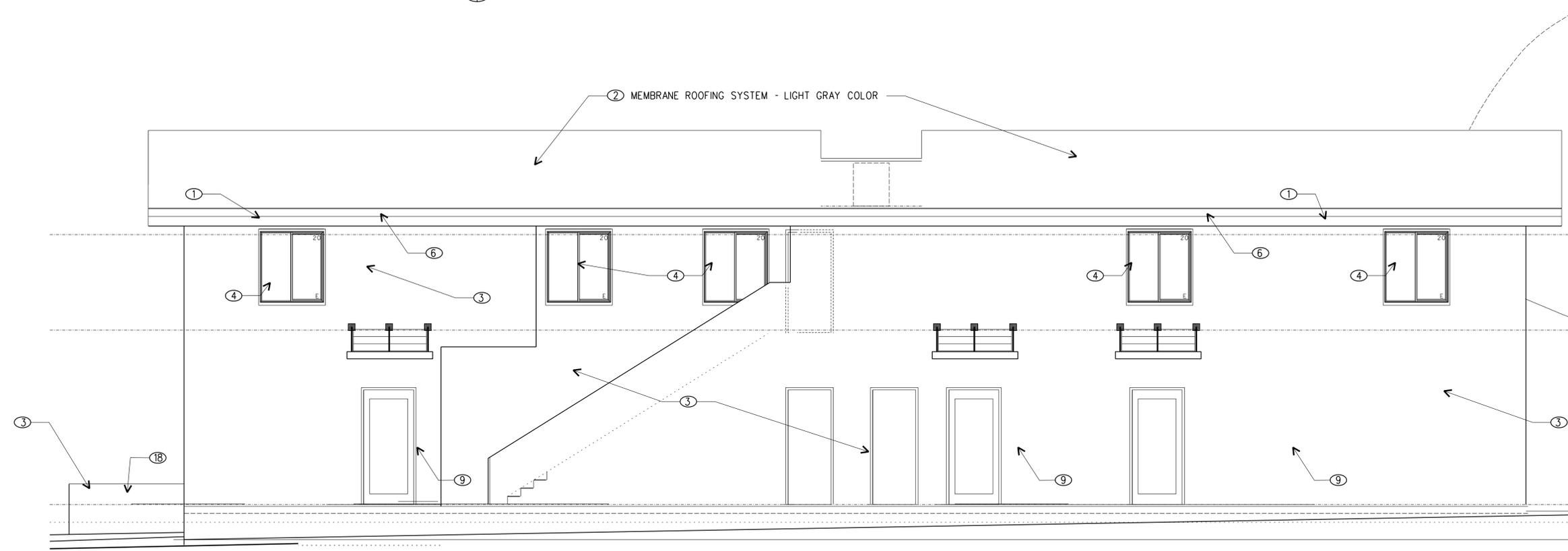
TITLE
 EXTERIOR BUILDING
 ELEVATIONS
 COURTYARD

SHEET NO. **A5.2**



- ① BLACK METAL FASCIA
- ② MEMBRANE ROOFING SYSTEM - LIGHT GRAY COLOR
- ③ STUCCO ON CONCRETE BLOCK - LIGHT GRAY COLOR
- ④ VINYL SLIDING WINDOWS, 1" GRAY TINT, INSUL. GLASS - BLACK FRAMES
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- ⑳ RAMPS AND DECKS

① EAST ELEVATION - BLDG 1 (PARKING LOT)
 A5.3 | A5.3 SCALE: 1/4" = 1'-0"



- ⑰ BLACK ALUMINUM STOREFRONT DOORS
- ⑱ LOW WALL FOR MECHANICAL SCREENING - STUCCO

② EAST ELEVATION - BLDG 2 (PARKING LOT)
 A5.3 | A5.3 SCALE: 1/4" = 1'-0"

BRIAN R LATHROP ARCHITECT
 Healthcare Architecture Planning Project Analysis Interiors
 2 Flower Hill Lane Palm Coast, FL 32137 (770)999-7300

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TITLE
 EXTERIOR BUILDING
 ELEVATIONS
 EAST - PARKING

SHEET NO. **A5.3**

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 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

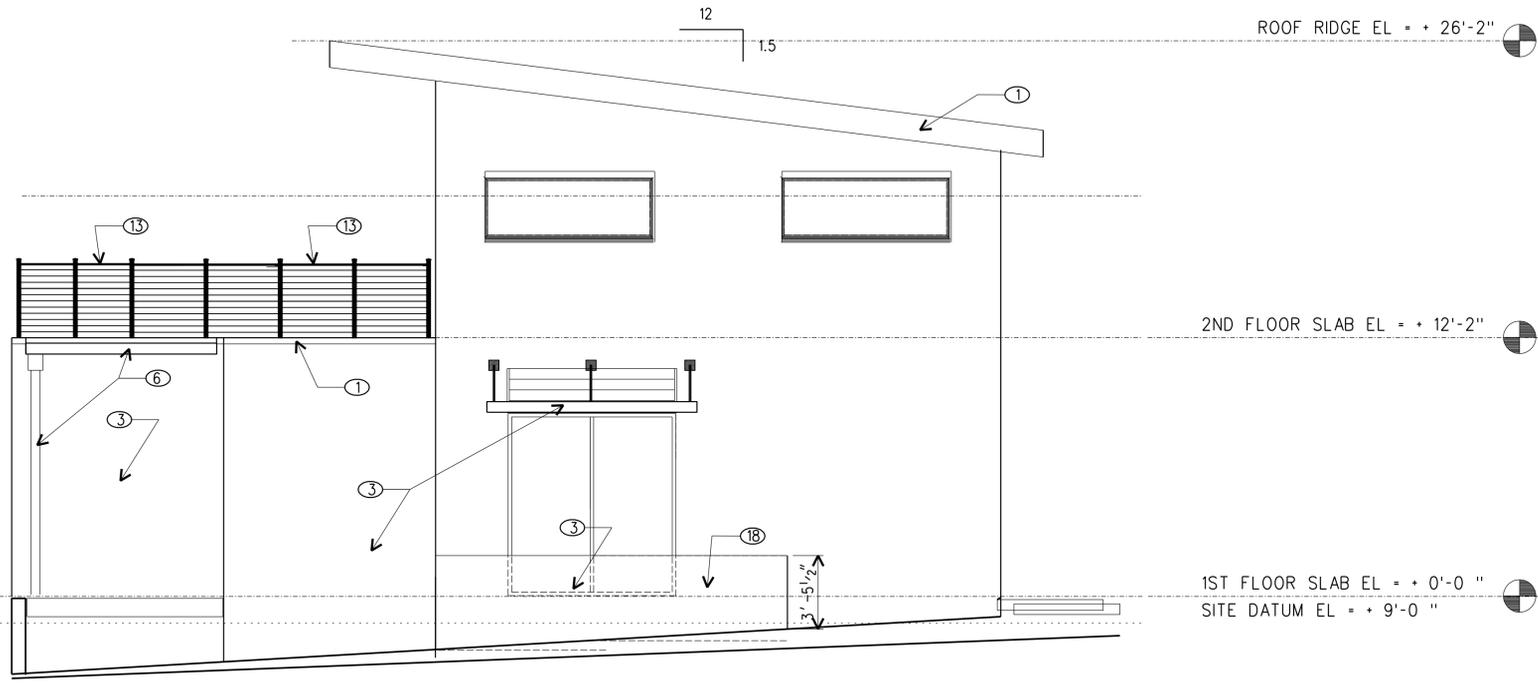
KEY PLAN

JOB NO. 2106
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 CHECKED BRL
 DATE 2/21/2022

TITLE
 EXTERIOR BUILDING
 ELEVATIONS
 NEIGHBORS /BUSAM

SHEET NO. **A5.4**

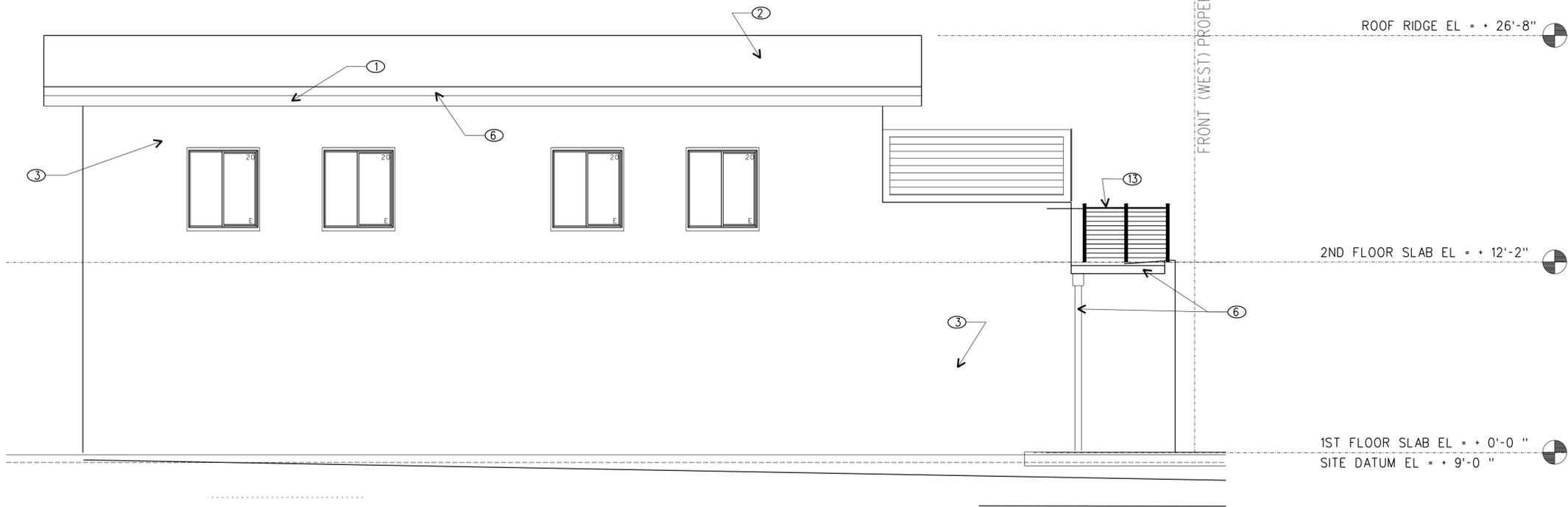
FRONT PROPERTY LINE



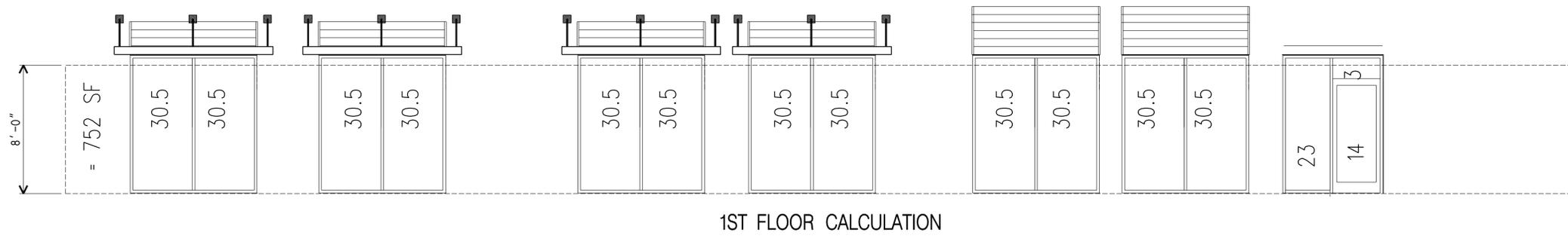
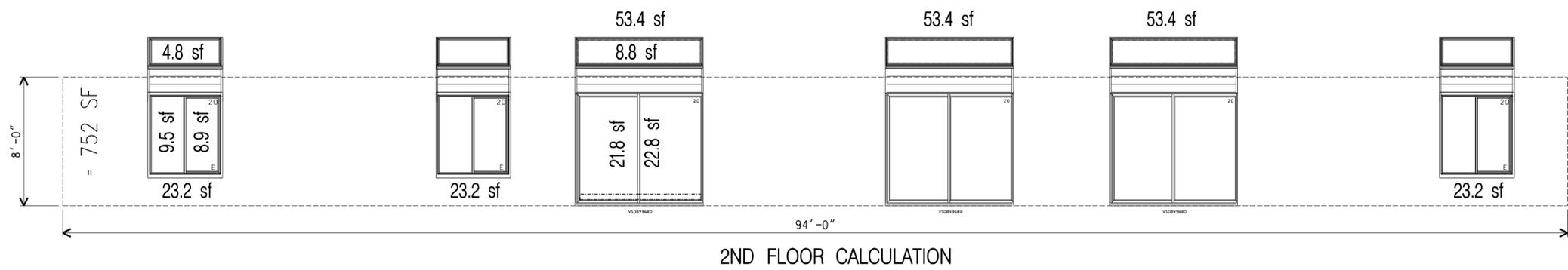
- ① BLACK METAL FASCIA
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- ③ STUCCO ON CONCRETE BLOCK - LIGHT GRAY COLOR
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- ⑲ SEE HARDSCAPE DRAWINGS FOR DECKS & WALLS
- ⑳ RAMPS AND DECKS

① SOUTH ELEVATION - BLDG 2 (BUSAM STREET)
 A5.4 | A5.4 SCALE: 1/4" = 1'-0"

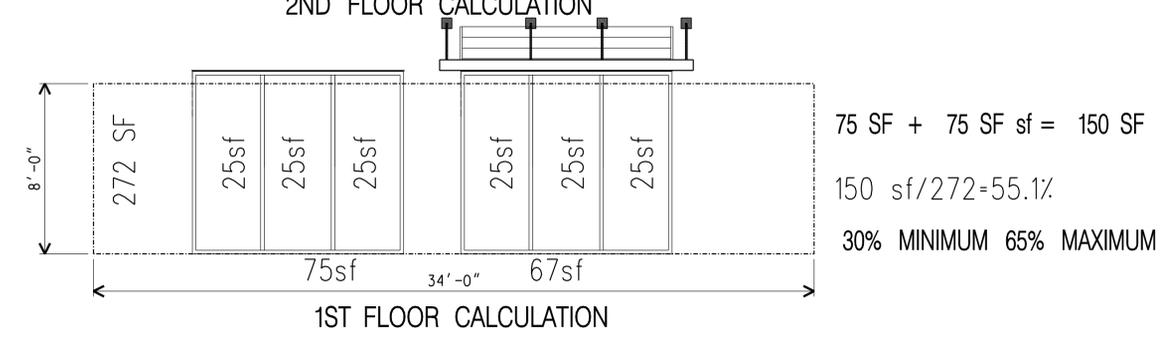
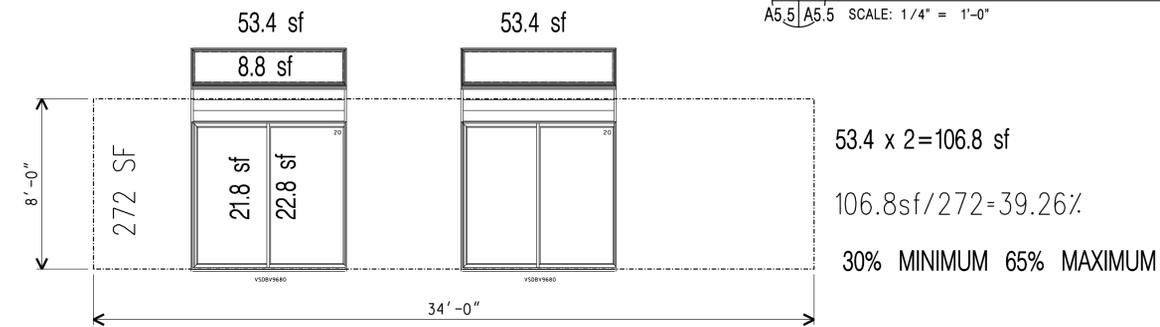
FRONT (WEST) PROPERTY LINE



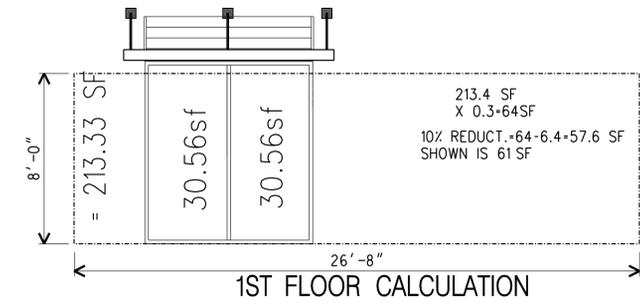
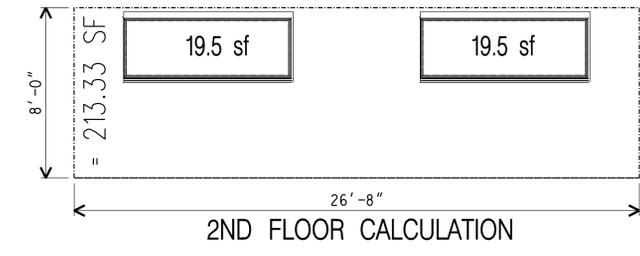
② NORTH ELEVATION = BLDG 2 (FACING NEIGHBOR BUSINESS)
 A5.4 | A5.4 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION GLASS CALCULATIONS - BLDG 2 (ANASTASIA BLVD)
 A5.5 | A5.5 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION GLASS CALCULATIONS - BLDG 1 (ANASTASIA BLVD)
 A5.5 | A5.5 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION GLASS CALCULATIONS - BLDG 1 (BUSAM ST)
 A5.5 | A5.5 SCALE: 1/4" = 1'-0"

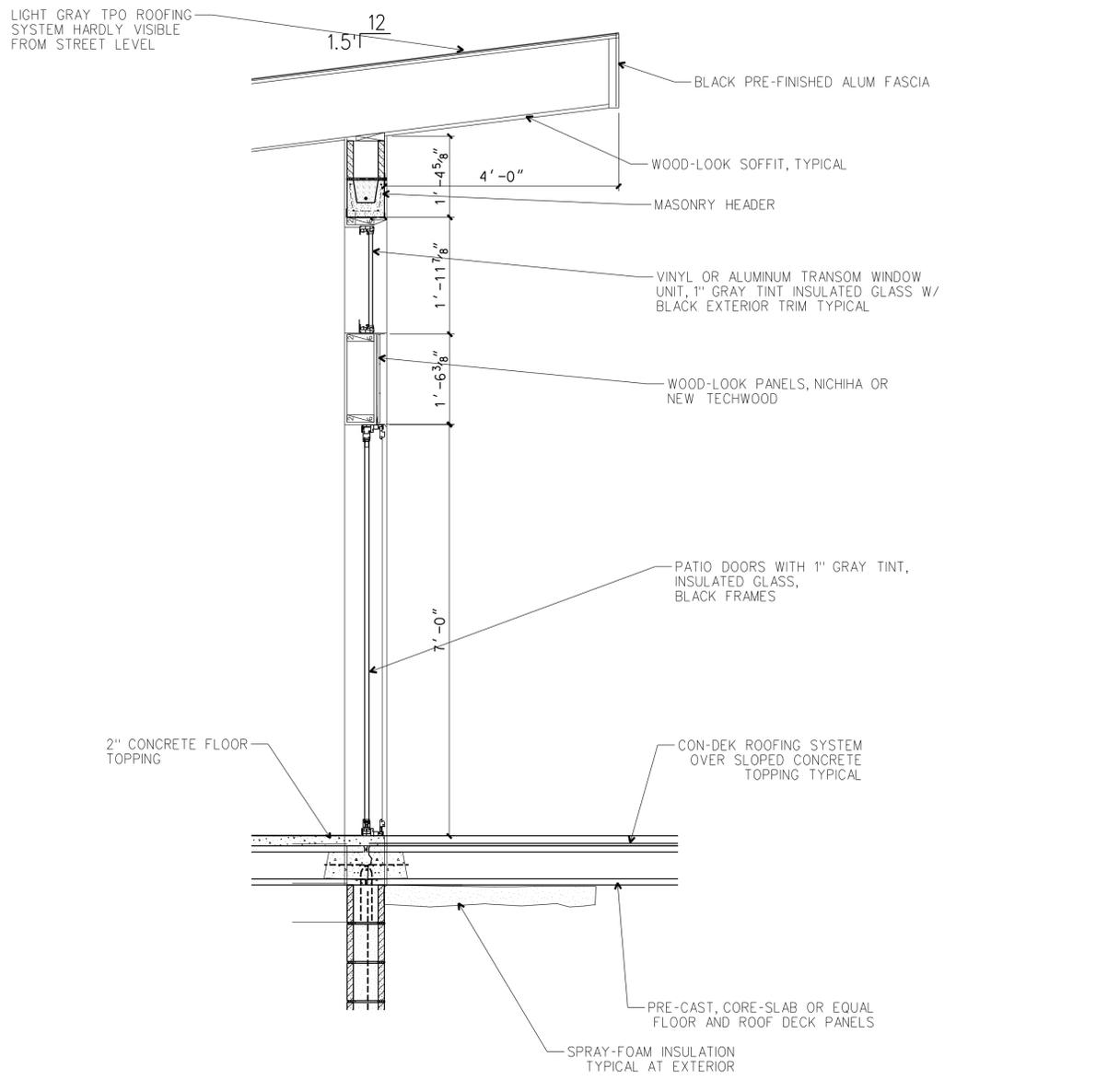
SOUTH ELEVATION GLASS CALCS -
 BUSAM STREET
 (AREAS WITHIN 20' SETBACKS)

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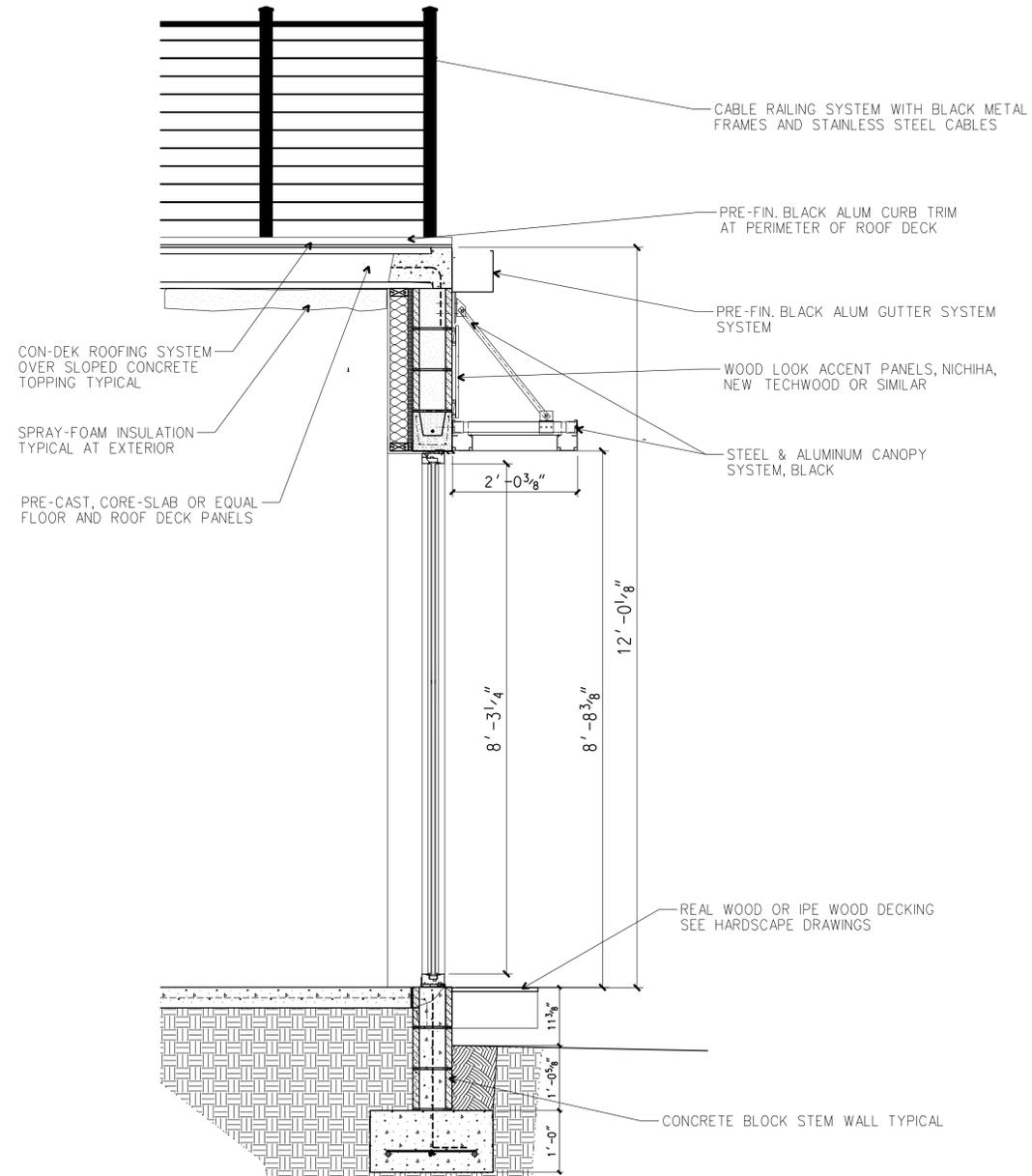
NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022
 TITLE
**EXTERIOR ELEVATION
 GLAZING
 CALCULATIONS**
 SHEET NO. **A5.5**

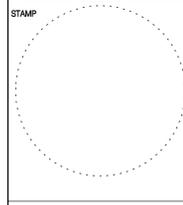


1 WALL SECTION @ TYPICAL 2ND STORY PATIO DOOR & TRANSOM
 A6.2/A6.2 SCALE: 3/4" = 1'-0"



2 WALL SECTION @ 1ST FLOOR STOREFRONT & METAL CANOPY
 A6.2/A6.2 SCALE: 3/4" = 1'-0"

REV. NO.	DATE	DESCRIPTION

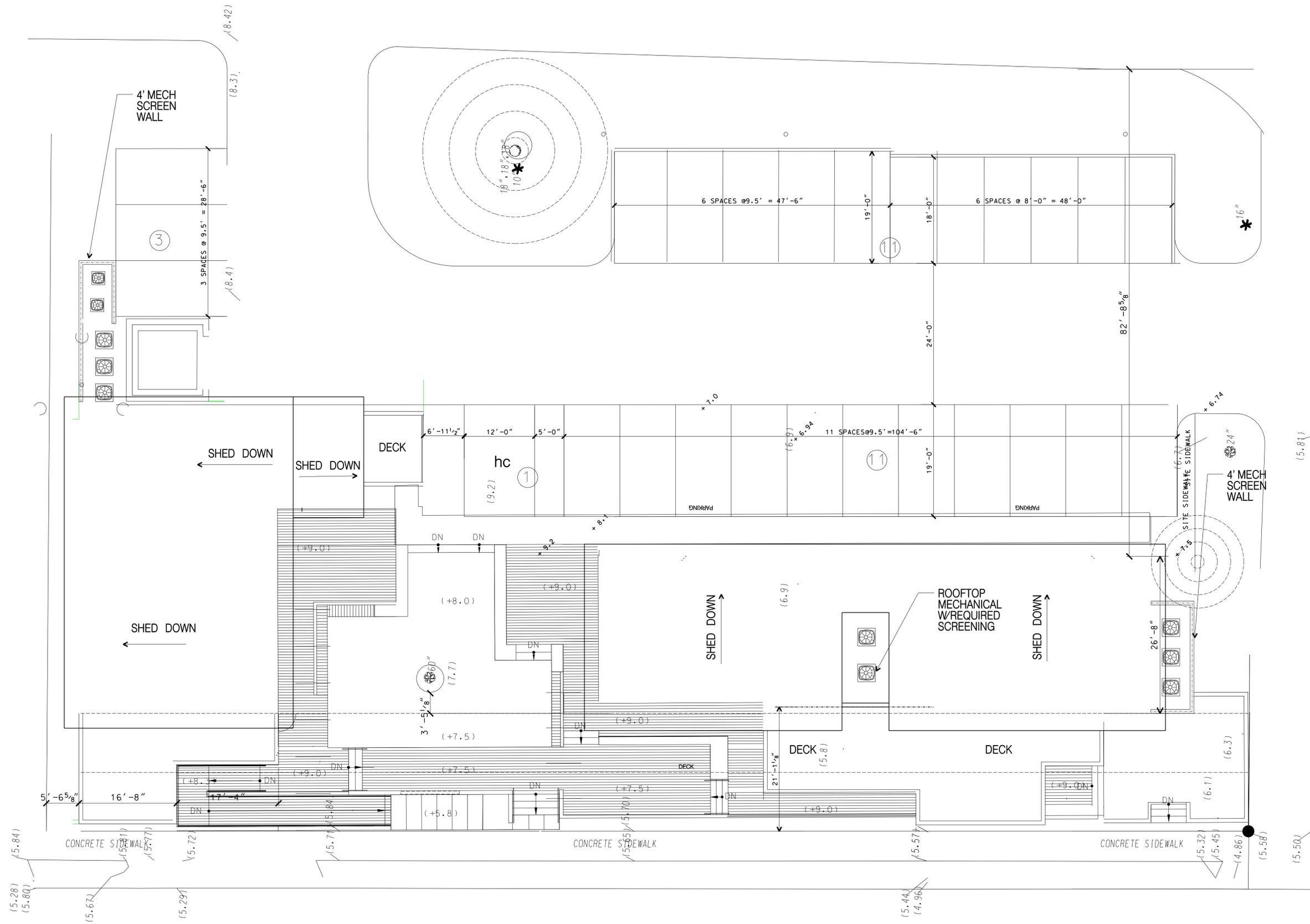


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NEW MIXED USE PROJECT
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 ST. AUGUSTINE, FLORIDA

KEY PLAN

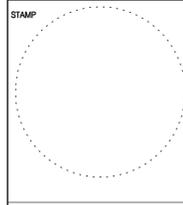
JOB NO.	2106
DRAWN	BRL
CHECKED	BRL
DATE	2/4/2022
TITLE	WALL SECTIONS AT TYPICAL GLAZING ELEMENTS
SHEET NO.	A6.2



ANASTASIA BOULEVARD

1 ARCHITECT'S ROOF PLAN WITH HARDSCAPE & SITE MECHANICALS
 A3/A3 SCALE: 1/8" = 1'-0"

REV. NO.	DATE	DESCRIPTION



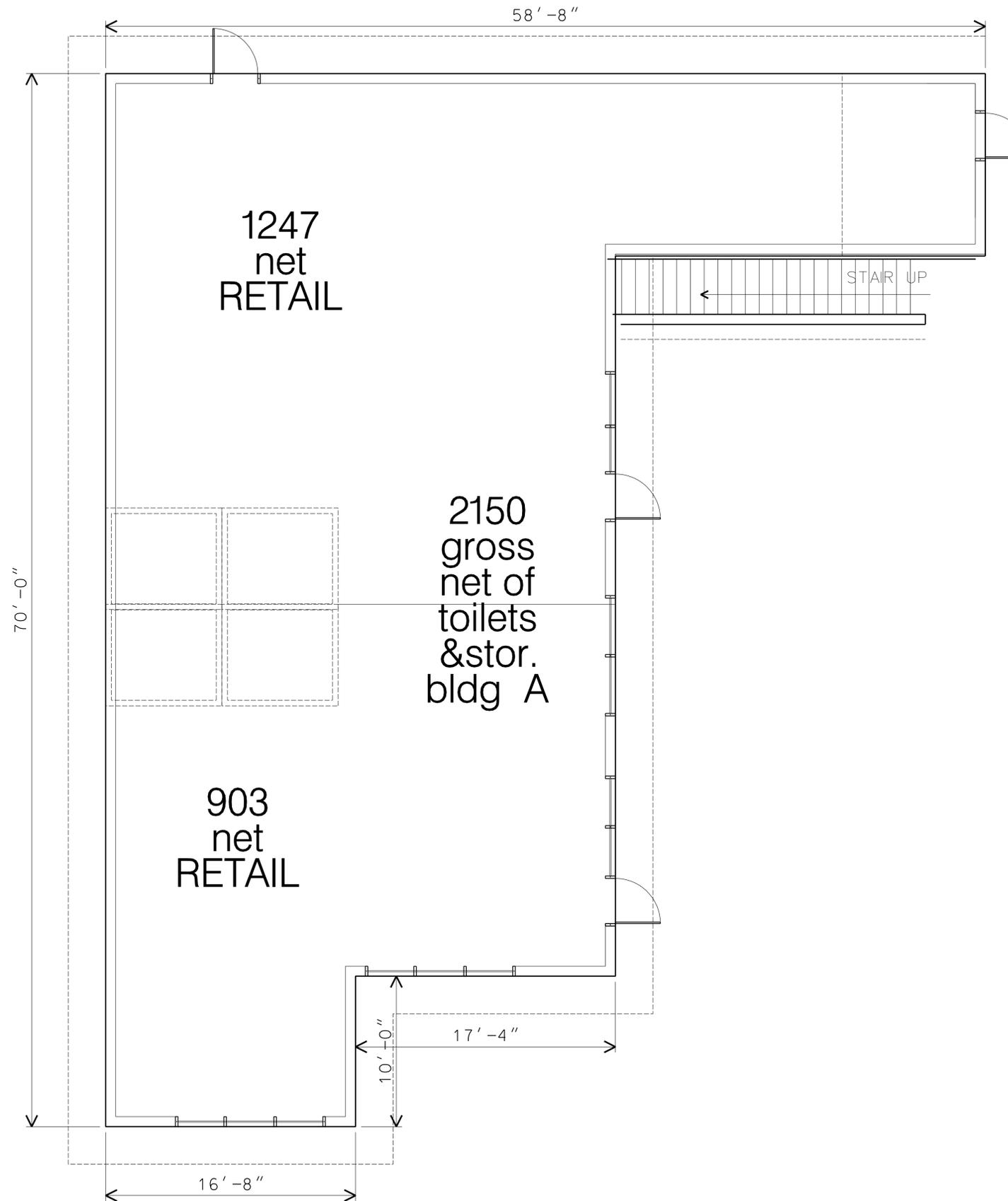
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KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022
 TITLE
 ROOF PLAN WITH HARDSCAPE & SITE MECHANICALS

SHEET NO. **A3**



1 FIRST FLOOR PLAN - BLDG 1 - NORTH BLDG
 A1.1 A1.1 SCALE: 1/4" = 1'-0"

BRIAN R LATHROP ARCHITECT
 Healthcare Architecture Planning Project Analysis Interiors
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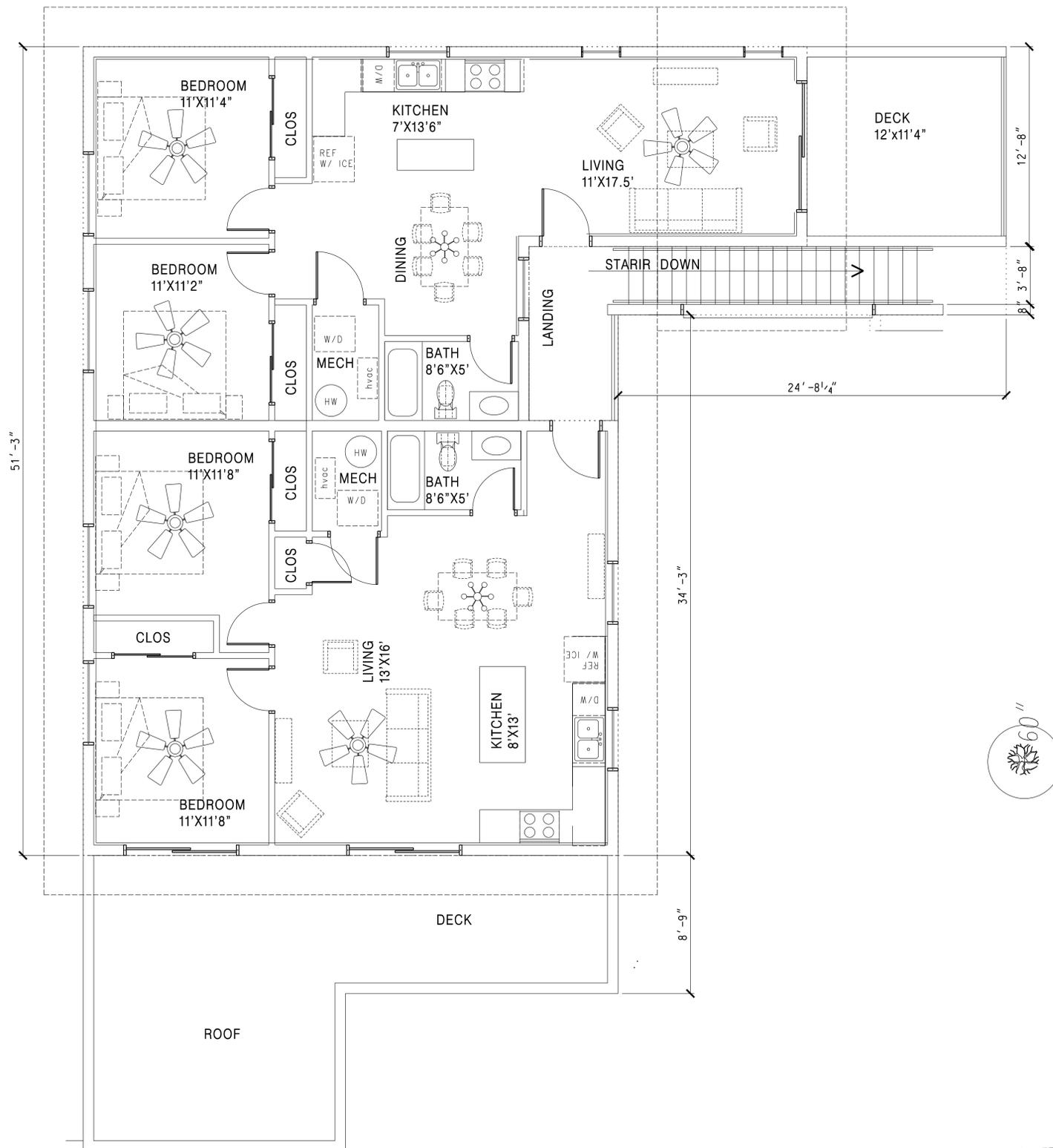
NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
 ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022

TITLE
 FIRST FLOOR PLAN
 BUILDING ONE
 SPEC RETAIL

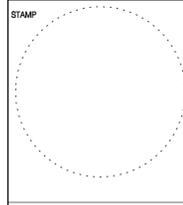
SHEET NO. **A1.1**



1 SECOND FLOOR PLAN - BLDG 1 - NORTH BUILDING
 A1.2 SCALE: 1/4" = 1'-0"

BRIAN R LATHROP ARCHITECT
 Healthcare Architecture Planning Project Analysis Interiors
 2 Flower Hill Lane Palm Coast, FL 32137 (770)999-7300

REV. NO.	DATE	DESCRIPTION



STRUCTURAL
 LOWE STRUCTURES, INC.
 11651 Central Pkwy, #106, Jacksonville, FL 32224
 Phone (904)962-1377
AMERICAN UNITED ENGINEERS
 Dan Pienaru, PE
 5130 N. Federal Hwy, #1
 Phone (954)771-8657
BACH DESIGN ENGINEERS
 Beach, Naples, PE
 381 SE 10TH ST, Pompano Beach, FL 33060
 Phone (954)461-4314

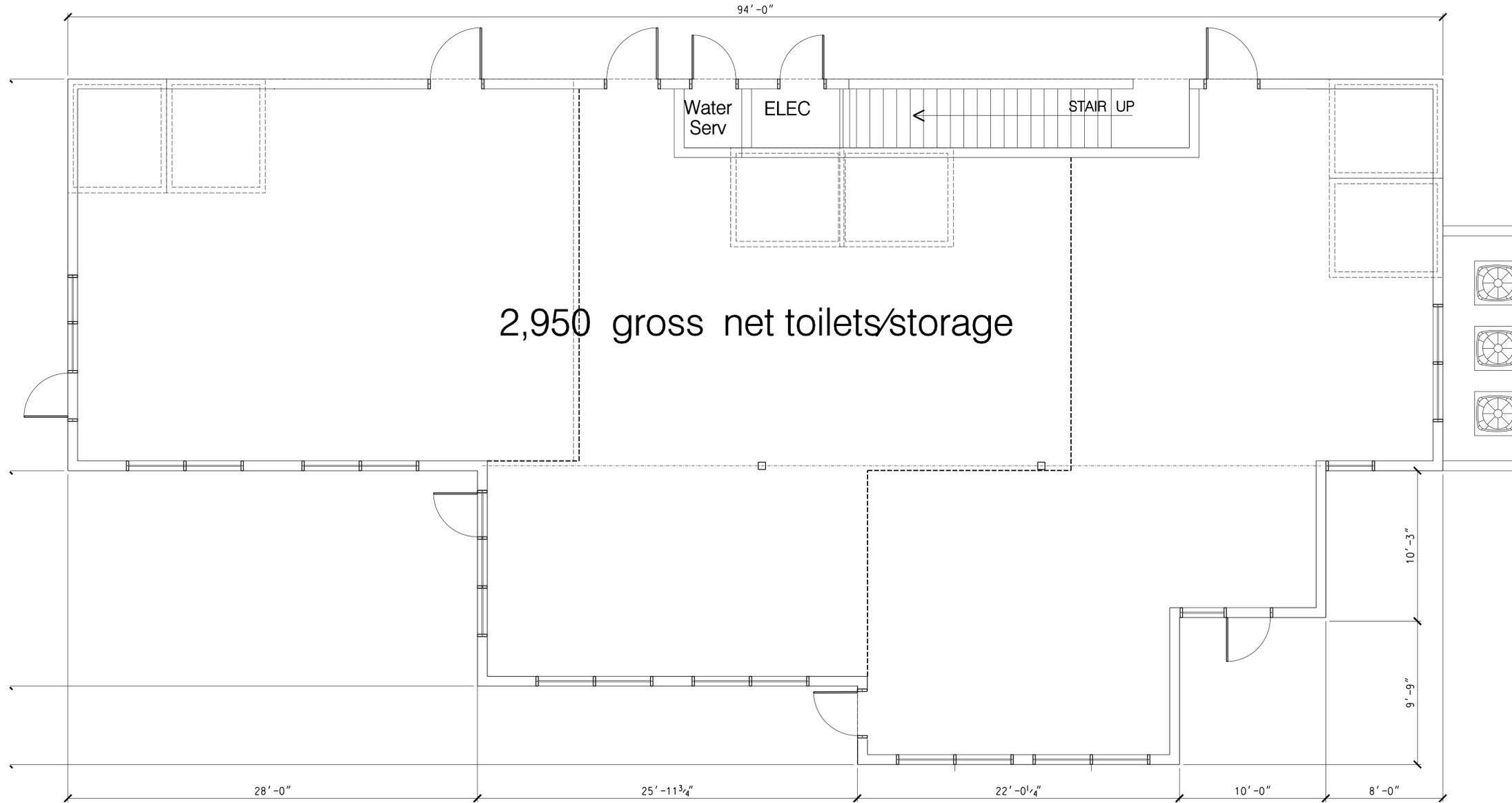
NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
 ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022

TITLE
 2ND FLOOR PLAN
 BUILDING ONE
 2 RES. APARTMENTS

SHEET NO. **A1.2**



2,950 gross net toilets/storage

1 FIRST FLOOR PLAN - BLDG 2
 A1.3 SCALE: 1/4" = 1'-0"

BRIAN R LATHROP ARCHITECT
 Healthcare Architecture Planning Project Analysis Interiors
 2 Flower Hill Lane Palm Coast, FL 32137 (770)989-7300

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REV. NO.	DATE	DESCRIPTION



STRUCTURAL
LOWE STRUCTURES, INC.
 11651 Central Pkwy, #106, Jacksonville, FL 32224
 Phone (904)962-0377

AMERICAN UNITED ENGINEERS
 Dan Pienaru, PE
 5130 N. Federal Hwy, #1
 Phone (954)771-8667

BACH DESIGN ENGINEERS
 381 SE 10TH ST, Pompano Beach, FL 33060
 Phone (954)461-4314

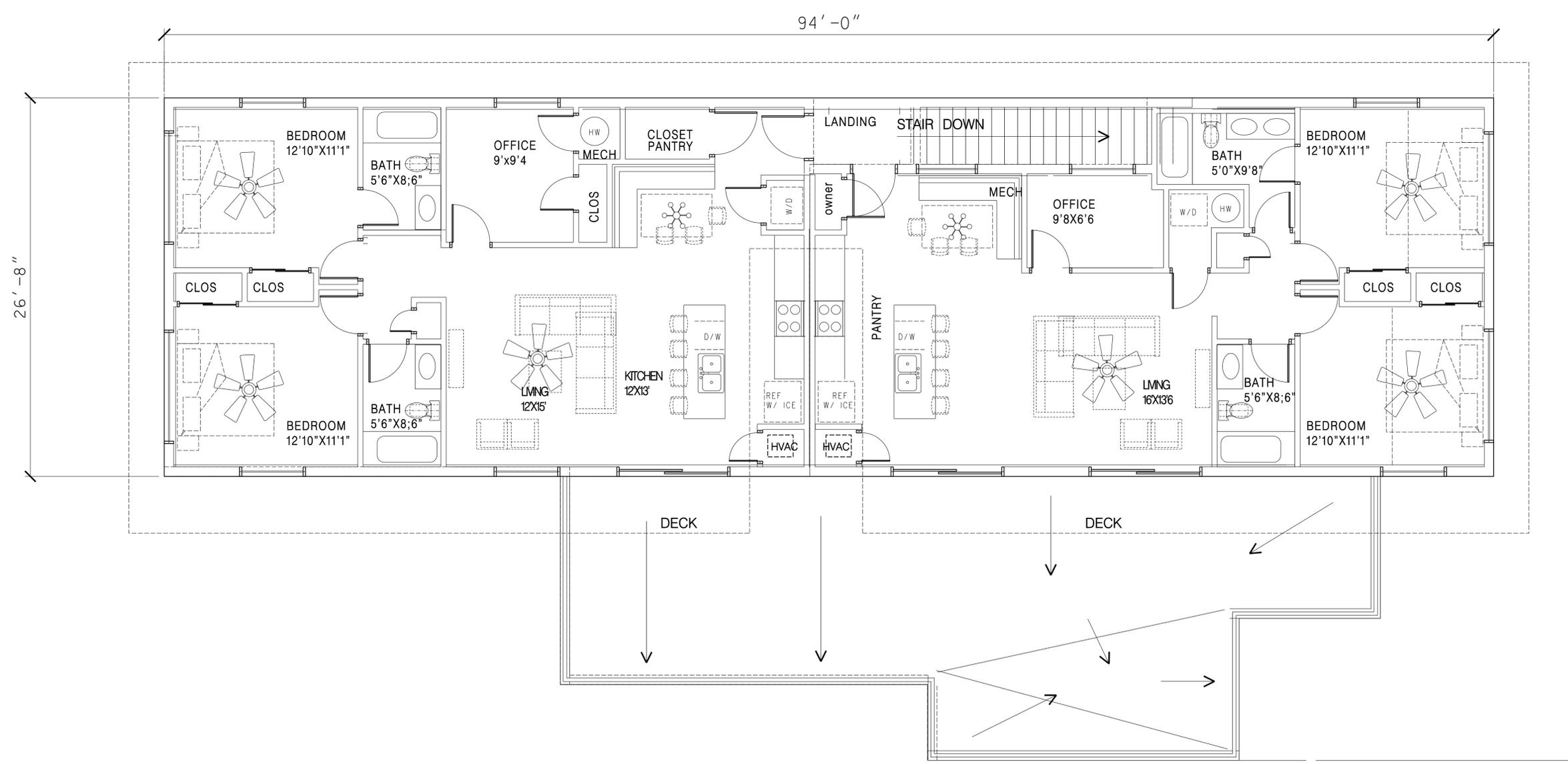
NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
 ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022

TITLE
 FIRST FLOOR PLAN
 BUILDING TWO
 SPEC RETAIL

SHEET NO. **A1.3**



1 SECOND FLOOR PLAN - BLDG 2
 A1.4 A1.4 SCALE: 1/4" = 1'-0"

BRIAN R LATHROP ARCHITECT
 Healthcare Architecture Planning Project Analysis Interiors
 2 Flower Hill Lane Palm Coast, FL 32137 (770)989-7300
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REV. NO.	DATE	DESCRIPTION

STAMP

STRUCTURAL
LOWE STRUCTURES, INC.
 11651 Central Pkwy., #106, Jacksonville, FL 32224
 Phone: (904)962-0377
AMERICAN UNITED ENGINEERS
 Dan Pienaru, PE
 5130 N. Federal Hwy., #1
 Phone: (954)477-8667
BACH DESIGN ENGINEERS
 Brad Niquette, PE
 381 SE 10TH ST, Pompano Beach, FL 33060
 Phone: (954)461-4314

NEW MIXED USE PROJECT
PALMETTO PROJECT
 FOR
 ARGYLE FORREST, LLC
 24 & 26 PALMETTO AVENUE
 ST. AUGUSTINE, FLORIDA

KEY PLAN

JOB NO. 2106
 DRAWN BRL
 CHECKED BRL
 DATE 2/21/2022
 TITLE
 2ND FLOOR PLAN
 BUILDING TWO
 2 RES. APARTMENTS
 SHEET NO. **A1.4**



Prepared by and return to:
Vickie A. Rianda

Island Title of St. Augustine LLC
2085 A1A South Suite 206
St. Augustine, FL 32080
904-471-7272
File Number: 15-12511

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 19th day of February, 2016 between No Limit Entertainment, LLC, a Florida limited liability company, whose post office address is 917 Pleasant Place, St. Johns, Florida 32259, grantor, and Argyle Forest Blvd, LLC, a Florida limited liability company, whose post office address is 3304 Coastal Highway, St. Augustine, Florida 32084, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Johns County, Florida to-wit:

See Exhibit "A" attached hereto and made a part hereof as if fully set forth herein.

Subject to covenants, restrictions, reservations and easements of record, if any, and taxes for the current and subsequent years.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2015**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: William S. Turnage

[Signature]
Witness Name: Maria Strickler

No Limit Entertainment, LLC,
a Florida limited liability company

By: [Signature]
Kendra L. Turnage
its Manager

State of Florida
County of St. Johns

The foregoing instrument was acknowledged before me this 19th day of February, 2016 by Kendra L. Turnage, as manager of No Limit Entertainment, LLC, a Florida limited liability company, on behalf of said firm. She is personally known or has produced a driver's license as identification.

[Notary Seal]

[Signature]
Notary Public

Printed Name: Maria Strickler

My Commission Expires: 03/15/2019



Exhibit A

Parcel 1:

Lots 1 and 2 and the South 32 feet of Lot 3, Block 20, Carver's Anastasia, a subdivision according to the plat thereof recorded in Map Book 1, page 58, of the public records of St. Johns County, Florida. Also that part of Matanzas Avenue(now vacated) lying West of the West line of said Block 20, East of the East line of Anastasia Boulevard, North of the Westerly Extension of the South line of said Block 20 and South of the Westerly extension of the North line of the South 32 feet of said Lot 3

Parcel Identification Number: 157710-0000

and

Parcel 2:

Lot 3, except the South 32 feet, Lot 4 and the South 22 feet of Lot 5, Block 20, Carver's Anastasia, a subdivision according to the plat thereof recorded at Plat Book 1, Page 58, in the Public Records of St Johns County, Florida. Also that part of Matanzas Avenue(now vacated) lying West of the West line of said Block 20, East of the East line of Anastasia Boulevard, North of the Westerly extension of the North line of line of the South 32 feet of Lot 3, Block 20 and South of the North line of the Westerly extension of the North line of the South 22 feet of Lot 5, Block 2

Parcel Identification Number: 157710-0030

Apply for Exemptions

Apply for Exemptions

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2021 TRIM Notice

2021 TRIM Notice (PDF)

Summary

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Parcel ID	1577100030
Location Address	24 PALMETTO AVE SAINT AUGUSTINE 32080-0000
Neighborhood	Anastasia Blvd (COM) (590.01)
Tax Description*	1-58 CARVERS SUB ANASTASIA LOT 3 (EX S32FT) ALL LOT 4 & S22FT OF LOT 5 BLK 20 & MATANZAS AVE LYING W TO RD A1A OR4151/1844 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Commercial (1000)
Subdivision	Anastasia, Map Of
Sec/Twp/Rng	58-7-30
District	City of St Augustine (District 452)
Millage Rate	19.3368
Acreage	0.250
Homestead	N

Owner Information

Owner Name	Argyle Forest Blvd LLC 100%
Mailing Address	3304 COASTAL HIGHWAY SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

	2022
Building Value	\$0
Extra Features Value	\$0
Total Land Value	\$220,020
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$220,020
Total Deferred	\$58,955
Assessed Value	\$161,065
Total Exemptions	\$0
Taxable Value	\$161,065

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2021	\$0	\$0	\$220,020	\$0	\$0	\$220,020	\$146,423	\$73,597	\$146,423
2020	\$0	\$0	\$220,020	\$0	\$0	\$220,020	\$133,112	\$86,908	\$133,112
2019	\$0	\$0	\$198,018	\$0	\$0	\$198,018	\$121,011	\$77,007	\$121,011
2018	\$0	\$0	\$110,010	\$0	\$0	\$110,010	\$110,010	\$0	\$110,010
2017	\$0	\$0	\$104,510	\$0	\$0	\$104,510	\$104,510	\$0	\$104,510
2016	\$0	\$0	\$110,010	\$0	\$0	\$110,010	\$107,821	\$2,189	\$107,821
2015	\$0	\$0	\$110,010	\$0	\$0	\$110,010	\$98,019	\$11,991	\$98,019
2014	\$0	\$0	\$89,108	\$0	\$0	\$89,108	\$89,108	\$0	\$89,108
2013	\$0	\$0	\$89,108	\$0	\$0	\$89,108	\$89,108	\$0	\$89,108
2012	\$0	\$0	\$89,108	\$0	\$0	\$89,108	\$89,108	\$0	\$89,108
2011	\$0	\$0	\$99,009	\$0	\$0	\$99,009	\$87,733	\$11,276	\$87,733
2010	\$0	\$0	\$79,757	\$0	\$0	\$79,757	\$79,757	\$0	\$79,757

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Commercial	82	120	11001	SF	\$220,020

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
2/19/2016	2/19/2016	\$262,000.00	WARRANTY DEED	4151	1844	Q	V	NO LIMIT ENTERTAINMENT LLC	ARGYLE FOREST BLVD LLC
	4/30/2008	\$199,000.00	WARRANTY DEED	3076	481	Q	V	PARTIN GERALD E SR & PATRICIA O	NO LIMIT ENTERTAINMENT LLC

No data available for the following modules: Exemption Information, Building Information, Sketch Information, Extra Feature Information.

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Apply for Exemptions

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Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

[Sales Questionnaire](#)

2021 TRIM Notice

[2021 TRIM Notice \(PDF\)](#)

Summary

[Clicking Image Opens Cyclomedia Viewer In a New Tab](#)



Parcel ID	1577100000
Location Address	26 PALMETTO AVE SAINT AUGUSTINE 32080-0000
Neighborhood	Anastasia Blvd (COM) (590.01)
Tax Description*	1-58 CARVERS SUB ANASTASIA LOTS 1 & 2 & S32FT OF LOT 3 BLK 20 & MATANZAS AVENUE LYING W TO RD A1A OR4151/1844 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Commercial (1000)
Subdivision	Anastasia, Map Of
Sec/Twp/Rng	58-7-30
District	City of St Augustine (District 452)
Millage Rate	19.3368
Acreage	0.310
Homestead	N

Owner Information

Owner Name	Argyle Forest Blvd LLC 100%
Mailing Address	3304 COASTAL HIGHWAY SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

	2022
Building Value	\$0
Extra Features Value	\$44
Total Land Value	\$274,320
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$274,364
Total Deferred	\$73,484
Assessed Value	\$200,880
Total Exemptions	\$0
Taxable Value	\$200,880

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2021	\$0	\$44	\$274,320	\$0	\$0	\$274,364	\$182,618	\$91,746	\$182,618
2020	\$0	\$44	\$274,320	\$0	\$0	\$274,364	\$166,016	\$108,348	\$166,016
2019	\$0	\$44	\$246,888	\$0	\$0	\$246,932	\$150,924	\$96,008	\$150,924
2018	\$0	\$44	\$137,160	\$0	\$0	\$137,204	\$137,204	\$0	\$137,204
2017	\$0	\$44	\$130,302	\$0	\$0	\$130,346	\$130,346	\$0	\$130,346
2016	\$0	\$44	\$137,160	\$0	\$0	\$137,204	\$134,484	\$2,720	\$134,484
2015	\$0	\$44	\$137,160	\$0	\$0	\$137,204	\$122,258	\$14,946	\$122,258
2014	\$0	\$44	\$111,100	\$0	\$0	\$111,144	\$111,144	\$0	\$111,144
2013	\$0	\$44	\$111,100	\$0	\$0	\$111,144	\$111,144	\$0	\$111,144
2012	\$0	\$44	\$111,100	\$0	\$0	\$111,144	\$111,144	\$0	\$111,144
2011	\$0	\$44	\$123,444	\$0	\$0	\$123,488	\$109,434	\$14,054	\$109,434
2010	\$0	\$44	\$99,441	\$0	\$0	\$99,485	\$99,485	\$0	\$99,485

Extra Feature Information

Code Description	Status	Value
Wood Fence (3' - 4')		44

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Commercial	123	120	13716	SF	\$274,320

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
2/19/2016	2/19/2016	\$262,000.00	WARRANTY DEED	4151	1844	Q	V	NO LIMIT ENTERTAINMENT LLC	ARGYLE FOREST BLVD LLC
	4/30/2008	\$300,000.00	WARRANTY DEED	3076	482	Q	V	PARTIN GERALD EUGENE JR	NO LIMIT ENTERTAINMENT LLC
	4/24/2001	\$66,000.00	QUIT CLAIM DEED	1599	1456	U	I	TAYLOR THERESEA P ETAL	PARTIN GERALD EUGENE JR
	2/12/1991	\$0.00	WARRANTY DEED	884	1188	U	I	ONEY EDWARD N	TAYLOR THERESEA P ETAL
	7/12/1986	\$0.00	DEATH CERTIFICATE	720	145	U	I	ONEY ZENA B,J FRANK ***	ONEY EDWARD N
	5/14/1984	\$0.00	DEATH CERTIFICATE	872	616	U	I	ONEY ZENA B,J FRANK ***	ONEY ZENA B,J FRANK ***

No data available for the following modules: Exemption Information, Building Information, Sketch Information.

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Detail by Entity Name

Florida Limited Liability Company
ARGYLE FOREST BLVD., LLC

Filing Information

Document Number L13000069657
FEI/EIN Number 46-2902188
Date Filed 05/10/2013
State FL
Status ACTIVE

Principal Address

3304 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Mailing Address

3304 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Changed: 04/17/2017

Registered Agent Name & Address

Severt, Patricia
3304 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Name Changed: 04/17/2017

Address Changed: 04/17/2017

Authorized Person(s) Detail

Name & Address

Title Manager

JAGPLAN, LLC
3304 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Annual Reports

Report Year	Filed Date
2019	02/09/2019

2020 05/26/2020
2021 04/12/2021

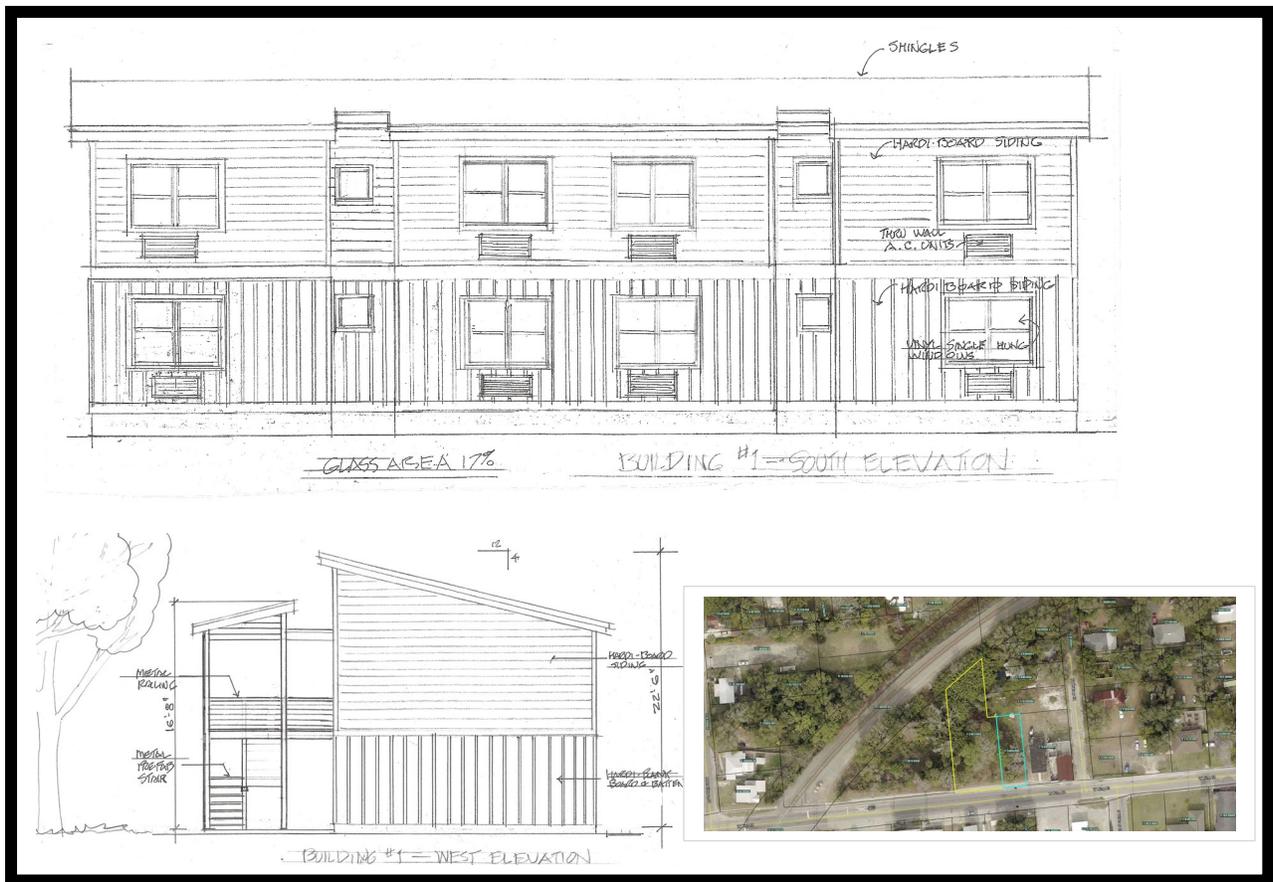
Document Images

04/12/2021 -- ANNUAL REPORT	View image in PDF format
05/26/2020 -- ANNUAL REPORT	View image in PDF format
02/09/2019 -- ANNUAL REPORT	View image in PDF format
03/03/2018 -- ANNUAL REPORT	View image in PDF format
04/17/2017 -- ANNUAL REPORT	View image in PDF format
04/15/2016 -- ANNUAL REPORT	View image in PDF format
03/07/2015 -- ANNUAL REPORT	View image in PDF format
04/17/2014 -- ANNUAL REPORT	View image in PDF format



CITY OF
ST AUGUSTINETM
 EST. 1565

**CITY OF ST. AUGUSTINE CORRIDOR REVIEW COMMITTEE
 STAFF REPORT AND RECOMMENDATION**
 Prepared for March 3, 2022 Meeting



Application: HP2022-0006

Address: West King Street
 (PID:1124300000 & 1124200000)

Lion Gate of St. Augustine, LLC. – Applicant & Owner

Project description: To construct a new two-story residential development on two vacant lots along the King Street Entry Corridor, to include any associated modifications to the Standards.

Architectural Style:	Contemporary Frame Vernacular/ New Construction	Florida Master Site File:	N/A
National Register:	N/A	Construction date:	N/A
Archaeology Zone:	N/A	Zoning District:	CM-2
Parcel number:	1124300000 & 1124200000	Typology:	Residential Multi-unit
Agenda Item:	5(b)	Previous Action(s):	N/A

STAFF SUMMARY AND ANALYSIS:

This application for Design Review is for a new residential development of two two-story buildings on two vacant lots along the King Street Entry Corridor. The Corridor Review Committee (CRC) review will need to include any associated modifications to the King Street Design Standards.

Staff has identified further project details that will require additional CRC approval:

1. **Building Frontage (4.2):** The proposed design does not meet the 70% minimum requirement of the site frontage, but appears to be within 30% of the minimum
2. **Fenestration and Glazing (4.4.5):** *The 21.8% of glazing on each floor is within the 10-30% range for the CRC to review as a modification for the first floor*
3. **Building Entrances (4.4.7):** Since these buildings do not have a front entrance that faces the street, so do not comply with this standard.
4. **Parking Placement (4.5.3):** Surface parking spaces are located to the side of the buildings, in between buildings 1 and 2, and are allowable only if building setback and frontage requirements are met (see #1 above). The proposed side parking would be a secondary modification if the frontage is approved.
5. **Front Yard Landscape (5.3):** The proposed landscape plans do not include the required 5 trees or 25 shrubs per 100' of frontage for CM-2 zoned front yards or 50% of the required landscape shifted to the side yard.
6. **Side Yard Landscape (5.4):** Residential adjacent lots, that front North Whitney Street, back up to side property line toward the north/rear of the east side of the lot for this project area. A 12 shrubs per 100' of frontage requirement should apply to this area that is adjacent to residential lots.
7. **Rear Landscape and Alleyway Buffer Yard (5.5):** The landscape plan includes 5 trees so meets the requirement of 4 per 100' of frontage, but does not include the 12 shrubs required per 100' of frontage.
8. **Mechanical Equipment (5.8):** Air conditioning units will be placed under each double window on the south elevation, will be directly visible from West King Street, and will not be screened.

New construction shall comply with all the regulations contained in the King Street Design Standards and this proposed project triggers the CRC review with the following:

- a. Modification of standards between 10 and 30% of a dimensional requirement of this document and non-dimensional modifications (color, landscape, etc.). Changes over 30% cannot be approved by the CRC, but may be processed through the variance process (Sec. 28-29) document.
- b. Limits of Construction that exceed one third (1/3) acre in size;
- c. Limits of Construction that exceed 2,500 square feet in gross floor area;

Overall, any redevelopment plans must meet zoning requirements, may require additional zoning review, and need to take the Tree and Landscape Ordinance into consideration.

Conditions Summary:

Located on the north side of West King Street, the property is located east of North Rodriguez Street and the rail road tracks that curve southward after crossing West King and west of North Whitney Street. The proposed architecture consists of two similar buildings, separated by a shared landscape green space. Parking spaces are proposed between the two buildings and to the north of/to the rear of the buildings with a landscape buffer to the east of the buildings and an additional landscaped green space to the rear of the property.

Site & Building Design

- 1. Building Placement (4.1):** The two proposed buildings appear to meet the required setbacks, with the south elevation of building 1 placed right to the public sidewalk that runs parallel with West King Street (CM-2 Zoning front yard setback requirement is 0' minimum) and over 5' for the side and rear setbacks. However, no entrances are located on the south elevation, which is not desirable and discussed further under Building Entrances (4.4.7). The Standards discuss how the transition area between the public and private spaces need to be inviting for the commercial corridor to be successful. Closing off buildings to the street are not inviting.
- 2. Building Frontage (4.2):** Based on the two different dimensions provided in the hardscape plan and building 1 floor plan, the proposed design does not meet the 70% minimum requirement of the site frontage.
 - Hardscape plan: 74'4" building frontage / 120' width of combined lots = **61.6%**
 - Floor plan for building 1: 75'8" building frontage / 120' width of combined lots = **63.1%**

A modification review is required for this. According to section 3.7, administrative modifications of standards are limited to 10% and the CRC shall review those between 10-30% of a dimensional requirement.

- 3. Building Height (4.3):** The Standard's maximum/minimum heights only applies to East King Street; however, all buildings must meet the 35' height requirement set by the zoning code. The elevations show an overall building height of 22'6"
- 4. Architecture (4.4):** Residential typologies may apply to contemporary architectural design if the design respects the scale and character of the district. This new construction proposal is located within an area that has a variety of architectural styles, massing and scale of buildings, as well as building types. Similar features or elements are visible when comparing the proposed to the existing adjacent and surrounding area buildings. There are a few small adjacent Mid-Century Modern building examples (one to the east and a few across West King Street) and additional different sized Frame Vernacular buildings in the immediate area, as well as a large grouping of one-story houses located eastward between North Whitney Street and Palmer Street/Pellicer Lane. An additional pie shaped vacant lot and the railroad tracks are to the immediate west. Some of the design elements are generally compatible with the predominant styles currently found in close proximity, but overall, the buildings will likely appear visually different than the majority of the buildings along the King Street Corridor, which is not recommended by the guidelines.

Starting with page 73 of the King Street Design Standards, Appendix A [labeled B] lists the elements characteristic of different typical styles of architecture found in the corridor, which according to the standards should be preserved or used as inspiration when designing new buildings or renovations. Although the diagonal roof lines, horizontal emphasis, slab on grade foundation, and minimal orientation of the proposed buildings are more in keeping with the Mid-Century Modern style (defined on page 85-86), and the semi-detached stair columns with covered walkways are seen in architecture from pre and post mid-century, there are many design features that do not align with this style.

The proposed buildings also have Frame Vernacular elements (defined on pages 82-84 of the Standards) with the typical rectangular shaped footprints, simulated wood siding materials with the proposed Hardie horizontal siding on the 2nd floor with board and batten type Hardie siding on the 1st floor, and sparse ornamentation. However, many of the building designs do not tie in closely with the Frame Vernacular building characteristics either: The garages on building 2 are not secondary or recessed, detached, or placed in the rear, as recommended by the standards. The foundation treatment is solid, with no spaces or infill between piers. There is not a traditional entrance façade facing the street, but on the opposite side of the street, with the north elevation on building 1 divided into 5 bays visually with the windows and stair column. The south elevation that fronts West King Street has 3 distinctive bays divided by two insets. The roofs will likely be asphalt shingle, but have a moderate 12:4 pitch on both the buildings and stair columns with connecting walkways, which create a somewhat porch like element, but are not on elevations visible from the street. Doors appear to be fully glazed and the vinyl windows are in paired 1/1 single hung groupings. Exterior building colors were not indicated.

5. New Construction (4.4.1):

Concerning the additional building design standards that are applicable to all development regardless of the architectural style selected:

- a. All structures on a site are of the same architectural character.
- b. Architectural details and materials are consistent on all elevations
- c. Upper floor windows have a vertical orientation and may be single or double hung.
- d. Applicant is to confirm that no frosted or patterned glass is not proposed on windows facing the street.
- f. The 75'8" wide Building 1 south elevation is subdivided to appear as smaller volumes grouped together and is achieved by two 3'8" deep recesses that are further delineated with the break in the roof line above.
- g. The street-facing south elevation does include windows and changes in texture with the proposed siding; the fascia lines from the shed gable roofs continue around the sides of the building instead of a cornice.

6. Building Color (4.4.3): Proposed colors were not provided; however, the approved colors listed in the guidelines only apply to East King Street.

7. Building Materials (4.4.4): Allowable exterior finishes are to be selected based on the architectural style. Wood horizontal and vertical siding was commonly used with Frame Vernacular buildings, but were not as typical with Mid-Century Modern buildings. See list of materials under **Architecture (4.4) Appendix A [labeled B]** for Frame Vernacular and Mid-Century Modern towards the end of this report.

8. Fenestration and Glazing (4.4.5): Glazing calculations were submitted and estimate 132 square feet each for the first and second floors (approximately 120 square feet of glazing on the south elevation that fronts West King Street, with an additional 12 square feet of setback glazing from the inset windows), which is below the required first floor minimum glazing of 30%. *The 21.8% of glazing on each floor is within the 10-30% range for the CRC to review as a modification for the first floor, while the second floor is already within the Standard's 20-40% glazing parameters.*

9. Building Entrances (4.4.7): The Standards state that the main entrance of all buildings shall be oriented toward the King Street corridor. Since these buildings do not have a front entrance that faces the street, so do not comply with this standard. The entrances appear to face north (opposite of King Street) for building 1, which fronts West King Street, and south for building 2, be accessed from the semi-detached stair column, and be glazed. No further specifications or details on the doors were provided. Pedestrian connections from parking areas to the building entrances are provided but only the driveway from King Street provides pedestrian access from the public sidewalk, which is not ideal. A modification for this standard will be required, with justification from the applicant.

10. Building Roof (4.4.8): The two buildings will each have a shed roof with another shed roof over the semi-detached stair column that is oriented in the opposite direction.

11. Site Access and Parking (4.5): Proposed design meets the recommended one driveway connection from West King Street and the two-way drive meets the maximum 24' in width.

- 12. Parking Placement (4.5.3):** Four (4) surface parking spaces are located to the side, in between buildings 1 and 2, so that they are screened by the buildings. Side parking is allowable only if building setback and frontage requirements are met. Therefore, side parking would be a secondary modification if the frontage is approved. Building 2 has garage space for two vehicles located on the west elevation at the ground floor level. Eight (8) additional parking spaces are also located behind the buildings toward the rear of the lot. The applicant should confirm that the number of spaces proposed meet the parking requirement for this type of residential building/zoning, the proposed curb cuts also meet zoning code requirements, and any required buffer or fence screening for the rear parking areas.
- 13. Site and Building Lighting (4.6):** A lighting plan was not submitted, and no details were provided on site or architectural lighting. All lighting must meet Design Standards or have CRC approval if they do not.
- 14. Stormwater Facilities (4.7):** Projects should include at least two elements listed under this section. A notation stating that the asphalt parking lot is proposed with sub grade stormwater retention was indicated on the plans and pointed out an existing drainage easement. The applicant should provide clarification that the plans meet the two minimum stormwater requirements and the impervious surface allowed by the city.

Landscaping & Screening

- 15. Protection of Existing Landscape (5.1.2):** The hardscape plan indicated the existing trees to remain, as well as a 20" Oak that will be removed, which will require an additional 25% deficit applied to current tree mitigation calculations required by zoning, and a 20" Pine to be removed. PZB approval is required at least for the removal of the 20" Oak.
- 16. Front Yard Landscape (5.3):** The overall frontage of the site is approximately 120'. The landscape plan's accompanying calculations was based on 96 linear feet of frontage yard length, which excluded the entry drive. The proposed landscape plans do not appear to meet the required 5 trees or 25 shrubs per 100' of frontage for CM-2 zoned front yards or 50% of the required landscape shifted to the side yard.
- 17. Side Yard Landscape (5.4):** Screening buffers are not required between adjacent non-residential uses along King Street. While the adjacent lots on either side that front West King Street appear to be commercial, there are residential adjacent lots that front North Whitney Street and back up to side property line toward the north/rear of the east side of the lot for this project area. Therefore, the 12 shrubs per 100' of frontage requirement should apply to this area of the lot and should be added.
- 18. Rear Landscape and Alleyway Buffer Yard (5.5):** The landscape plan includes 5 trees so meets the requirement of 4 per 100' of frontage, but does not include the 12 shrubs required per 100' of frontage. The buffer yard length has the required 70% of landscape.
- 19.** The proposed landscape plants are generally compatible as Florida natives or naturalized plants to St. Augustine.
- 20. Fences and Walls (5.7):** No fences or walls were included with the submitted plans, with the exception of the screening for the dumpster, as described below under Solid Waste Disposal Facilities. Because Building 1 fronts King Street, street walls are not required, as outlined in 5.7.2.
- 21. Mechanical Equipment (5.8):** Air conditioning units will be placed under each double window on the south elevation, will be directly visible from West King Street, and will not be screened. While these AC units are not freestanding and will be installed through the building's exterior wall, the number and location being directly visible from West King Street is not allowed by the Standards, which state:
 1. Mechanical equipment shall not be located between the building and the street, unless technically infeasible.
 2. Screening *is required* for mechanical equipment (by wall, solid fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street of adjacent properties, as listed under 5.8.3.
- 22. Solid Waste Disposal Facilities (5.9):** The proposed dumpster location is at the northwest corner, to the rear of the property, but the enclosure will be visible from the driveway entrance from West King

Street. A 6' high horizontal wood slat dumpster enclosure on a concrete pad is indicated on the hardscape plan, which does not meet the 7' minimum height City Solid Waste requirement for enclosures. The applicant should confirm if the other requirements listed under 5.9 are met. The Solid Waste requirements must be met before a permit application will be approved.

- 23. Visibility Triangle (5.10):** Confirmation is needed from the applicant that the landscaping proposed that will be within the visibility triangular areas (compromised of both sides of an accessway formed by the intersection of each side of the accessway, or the driveway and the public right-of-way pavement line, as further defined), will provide unobstructed cross visibility at a level between 3' and 8' above the ground, and that landscaping will not be located closer than 3' from the edge of any accessway pavement.

Signs

- 24.** Details on proposed signage were not provided with this application. Any sign must meet section 6 of the King Street Design Guidelines and the city's sign ordinance. All signs require review and approval through the sign permit application process before installation.

SUMMARY SCOPE OF WORK:

To construct a new two-story residential development on two vacant lots along the King Street Entry Corridor that consists of 2 similar buildings:

Building 1:

- South elevation will front West King Street
- Divided into four (4) 2-bedroom units

Building 2:

- North of building 1
- Divided into three (3) 2-bedroom units and 2 single car garages

Each building has a two-story semi-detached stair column with an independent roof with covered walkways, metal stairs, railings, and posts.

Plans include a two-way asphalt driveway accessible from West King Street, 14 surface parking spaces, connecting sidewalks, and landscaping.

Please should be reviewed to include any associated modifications to the Standards.

Interior layout, changes of use, zoning requirements such as parking standards, stormwater maintenance, and other such city requirements are not in the purview of the CRC unless such requirements alter or conflict with the design requirements addressed in the Standards.

STAFF RECOMMENDATION:

Based on a review of the King Street Design Standards for Entry Corridors, and without evidence to the contrary, the CRC **may take the following actions regarding the Design Review Application for West King Street (PID:1124300000 & 1124200000):**

1. **The CRC may APPROVE the modifications requested by the applicant and identified by staff if the CRC can make the following finding for each modification under the review criteria in section 3.7.5:**

Strict application of the Standards is not warranted and granting a modification will fulfill the intent of the standards. *Staff is not clear on the expectations for justifying this Criteria and seeks the direction of the CRC.*

Staff has found the following criteria to be justified with the above finding by the CRC:

- a. The Modifications are not prohibited types of modification listed in Section 3.7.4.
 - b. The Modifications are consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and the Standards.
 - c. The Modifications will not have a material negative impact on adjacent uses, or the can applicant propose to mitigate the negative impact to be created by the modification.
2. **The CRC may APPROVE the proposed design if the CRC finds the design is consistent with the review criteria in section 3.3.2:**
 - a. The proposed project meets the intent of the King Street Design Standards as defined in Section 1;
 - b. Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.
 - c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

and with the following conditions:

- a. Modifications as requested by the applicant or detailed by staff are approved by the CRC
- b. Alterations are made to the proposed solid waste screening wall to meet requirements.
- c. All other DSEC and zoning requirements are met and any changes to the design that do not meet the Standards or zoning requirements will trigger additional hearings by the CRC and/or PZB prior to the issuance of a permit for development.

All findings must be proven by the applicant and accepted by the CRC in order to grant a modification. In doing so, the CRC recognizes that the approval is unique to this property and its conditions and does not establish any precedent.

3. *If these findings cannot be made based upon this application and any additional testimony the application can be **continued** to allow the applicant time to provide the necessary details for approval or denied in which case the applicant may seek an appeal before the City Commission.*

Julie Courtney

Julie Courtney, Historic Preservation Officer

CITY CODES/DESIGN GUIDELINES: RELEVANT EXCERPTED SECTIONS ONLY

CITY OF ST. AUGUSTINE CODE OF ORDINANCES

Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, as originally prepared by Herbert-Halback, Inc., dated January 24, 2000, and subsequently amended by resolution from time to time ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible. When an alteration to a building or facility that incorporates exterior renovation constitutes fifty (50) percent or more of the assessed value of the building or facility, the entire building or facility shall be made to conform to these standards.

King Street Design Standards for Entry Corridors

SECTION 1. PURPOSE & INTENT

The purpose of the standards contained in this document is to:

- a. Promote the unique characteristics of the King Street overlay area that distinguish it from the other built environments of the City of St. Augustine.
- b. To facilitate the development of vacant land and the reimagination and repurposing of underutilized properties in this area into a high-quality, multi-modal, mixed-use environment.
- c. To provide standards and criteria by which proposed development in the area will be reviewed.

SECTION 2. WHEN THE KING STREET ENTRY CORRIDOR DESIGN STANDARDS APPLY

1. New Construction. All new development along the King Street corridor, including new buildings or structures on vacant or already developed sites, shall comply with all the regulations contained in this document.

SECTION 3. KING STREET DESIGN STANDARD APPLICATION REVIEW PROCESS

3.3 Corridor Review Committee

3.3.1 Activities Requiring Review

Any of the following items are a triggering event and requires further review by the CRC.:

- a. Modification of standards between 10 and 30% of a dimensional requirement of this document and non-dimensional modifications (color, landscape, etc.). Changes over 30% cannot be approved by the CRC, but may be processed through the variance process (Sec. 28-29) document.
- b. Limits of Construction that exceed one third (1/3) acre in size;
- c. Limits of Construction that exceed 2,500 square feet in gross floor area;
- d. New construction that includes structured parking;
- e. Use of neon or color lighting (non-white lighting, outside of 2700K-3000K range, requires review);

3.3.2 Review Criteria.

The CRC shall use the following criteria (in addition to the standards contained herein) when reviewing an application:

- a. The proposed project meets the intent of the King Street Design Standards as defined in Section 1;
- b. Approval of the proposal will not set an unintended precedent;
Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.
- c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

3.7 Modifications of Standards

Due to the individual unique characteristics or circumstances of any given development along King Street, flexibility in the application of design standards may be warranted in certain situations. Modifications from the standards may be requested by an applicant as part of the development review process. If an applicant requests multiple modifications, each modification shall be evaluated independently.

3.7.3 CRC Modifications

The CRC shall review the following modification of standards:

- a. Modifications of more than ten (10) percent but no more than thirty (30) percent of a dimensional requirement,
- b. Modifications of ten (10) percent or less previously denied or referred to the Corridor Review Committee by staff, and
- c. Modifications to the non-dimensional requirements contained in this document.

3.7.4 Prohibited Modifications

No modification shall be granted under this section for the following:

- a. Use of property as defined in Land Development Regulations.
- b. Maximum levels of density or intensity allowed in comprehensive plan.
- c. Encroachments into the public right-of-way.
- d. A reduction of a setback to less than 5 feet adjacent to a single family residential district.

3.7.5 Review Criteria

A modification of standards may be granted by the approving authority if it finds that strict application of the standards is not warranted and that granting a modification will fulfill the intent of the standards. The approving authority shall apply all the following criteria, when applicable, to determine if the applicant has justified a request for a modification:

- a. The request is within the parameters listed above.
- b. The request is consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and this document.
- c. The proposed modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.
- d. Compliance with the requirement is technically infeasible based on site conditions.

3.7.6 Additional Requirements

- a. The burden of presenting evidence sufficient to satisfy the applicable criteria remains with the applicant seeking the modification.
- b. The applicant may propose conditions to ensure that the use of the property to which the modification applies will be reasonably compatible with the surrounding properties, including visual screening.
- c. A granted modification and any conditions attached to it shall be entered on the face of or attached to the development order or permit and development plan.
- d. A proposed change to an approved modification shall be added to the approved modification and considered in the aggregate. The total modification (approved modification plus proposed change) shall determine the approving authority per subsections 3.7.2 and 3.7.3, above.

4.1 Building Placement

The setback standards prescribed in this section are intended to create a pedestrian-friendly public realm with buildings located close to the street (at varying degrees). The public realm typically includes all the elements within the right-of-way (sidewalks, travel lanes, on-street parking, landscape strips), but it also includes activities that occur within the front yard setbacks, which in a commercial area are considered to be the transition area between the public and the private spaces and needs to be inviting for the commercial corridor to be successful. That transitional zone in the public realm may also include expanded sidewalks, outdoor cafés, bicycle parking, art/sculptures, and outdoor retail spaces, among others. To encourage the creation of a successful public realm, the following building placement standards shall be met. All new buildings within the redevelopment site shall be required to meet the building setback provisions where legally applicable.

1. For those corner lots abutting a R.O.W. intersection, the visibility triangle must be kept free of visual obstacles. Visibility triangle regulations shall always prevail. See Section 5.10.
2. New developments adjacent to a development already using a 0-foot side yard setback shall provide a side yard setback of 0 feet.
3. Parking and drop off in the front yard shall be limited. See Section 4.5 for more information.
4. The maximum front yard setback may be expanded up to 20 feet for a maximum of 50% of the building frontage (as defined in 4.2) for use as a courtyard, landscape, or other non-parking purposes. At least one shade tree, no smaller than 4" in caliper and 15' in height, must be planted within this space.
5. The maximum front and street side building setbacks (if side street setbacks exist) shall only apply to the portion of the building meeting the building frontage requirement (see Figure 7). This provision will allow for L-shape buildings or step back setbacks, where a portion of the building is recessed more than what the setback allows.
6. The front and side setbacks may be used to expand the public sidewalk, for outdoor dining, or for landscaping (see Section 5).
7. Balconies, bay windows, awnings, canopies, eaves and roof overhangs used in conjunction with a commercial structure may encroach into the setback zones, but not into the public right-of-way.
8. New developments or additions abutting or from a single-family residential zoning district shall provide a fifteen (15) foot setback along the portion of the site abutting or from the single-family zoned property. Porches, however, can encroach upon this setback up to eight (8) feet. Landscaped buffers shall be provided as required in Section 5 of this document.
9. Primary building facades facing a right-of-way shall be built parallel to the property line along that street

4.2 Building Frontage

The purpose of the following building frontage requirements is to ensure façade continuity along King Street and to avoid large voids between buildings. The building frontage standards are stated as a proportion of the building width within the required building setback relative to the width of the development site measured at the site frontage line. Portions of the building façade outside the required front/street building setback do not count as building frontage.

1. The building frontage (a+b) shall be a minimum of 70% of the site frontage (C).

4.3 Building Height: *this section of the Standards applies to East King only*

The maximum building height shall be per zoning.

4.4 Architecture

New construction and renovations shall adopt a traditional commercial typology and may adopt an architectural style that reinforces the predominant styles currently found in the district, such as Frame and Masonry Vernacular. When applicable, Residential Typologies may apply to renovations. Contemporary architectural design, not to be confused with prefabricated/mass produced architecture, will also be permitted, if the design respects the scale and character of the district.

New construction and renovations should focus on the predominant styles currently found in the corridor or on the subject building for redevelopment. Existing Institutional developments shall preserve their current architectural style on any future additions and modifications on the site.

Appendix A [is labeled B and starts on page 74] lists the elements characteristic of the architecture found in the corridor, which should be preserved or used as inspiration when designing new buildings or renovations.

Appendix B (referred to as Appendix A in text):

Frame Vernacular

BACKGROUND

Frame Vernacular is one of the most dominant architectural styles in the King Street area. Vernacular architecture refers to a regional or “folk” architecture, built with local materials and local labor, without formal plans, and for the most economical price at the time. Vernacular, while considered a style, does not belong to any particular formal architectural style, rather its design reflects a trend toward simplicity. Some Frame Vernacular buildings have one story, others have two; while some have front gable roofs, others may have side-gable or cross gable roofs. Most Frame Vernacular buildings in the district are residential homes; however, the style is often used on non-residential buildings as well.

BUILDING PLAN

1. Rectangular or L-shaped.
2. Garages and carports are secondary to the main building/facade. They are either recessed from main facade or detached and placed in the rear. Sites that have been converted to commercial or office use have demolished the garage (if one was present in the rear) and replaced it with surface parking.

FOUNDATION

1. Brick, tabby or concrete block piers.
2. Spaces between piers left open.
3. Lattice infill between piers is common.

FACADES

1. Vertically oriented.
2. Three-bay or five-bay pattern.
3. Simple entrance.

COLORS

1. Colors range in the pastel family from light yellows and grays to light pastel colors.

PORCHES

1. Wide front porches.
2. Full width, wrap around, or fill in between the “L”.
3. Commonly elevated 2'-6" to 3'-6" above grade.
4. Columns are typically narrow and made of wood with few details; usually spaced evenly across the facade.
5. If railings used, they were wooden with 1 ¼ inch square balustrades.

ROOF

1. Front, side and cross gable.
2. Main roofs are steeply pitched (8:12 to 12:12).
3. Porch roofs have a low pitch (2:12 to 4:12).
4. Rafter ends are exposed, unadorned, and extend beyond the face of the wall.
5. Asbestos, composition or metal shingles, V-crimp metal.
6. Brick or stucco chimneys, typically on the gable end walls.
7. Dormers sometimes used on 1 ½ story homes.

DOORS

1. Transoms, fanlights are common.
2. Door trim projects out from wall cladding, approximately $\frac{3}{4}$ inch. Jamb trim min. 4" wide, and headers (lintel) are normally 6" wide.
3. Doors contain recessed wood panels.

WINDOWS

1. Windows are single, tall and narrow.
2. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1). Jalousie used in later construction (mid-century).
3. Transoms, fanlights and attic louvers are common.
4. Second floor windows align with first floor windows.
5. Houses built in the early 1900s had wood windows. Aluminum and vinyl windows have been used more recently as replacements.
6. Windows are spaced evenly along all facades.
7. Window trim projects out from wall cladding, approximately $\frac{3}{4}$ inch. Jamb trim min. 4" wide, and headers (lintel) typically 6" wide.
8. Shutters are not typically used. If used, they should be paneled and should be either operable or proportioned to look operable.

MATERIALS

1. Horizontal wood siding; less common are wood shingles and board and batten. Vinyl and fiber cement siding used more recently.

ORNAMENTATION

1. Sparse, limited to ornamental woodwork.

FENCES

1. Wooden fences are most common.
2. Picket fences with various level of ornamentation, consistent with the main building.

MID-CENTURY MODERN

BACKGROUND

The Mid-Century style buildings typically have open floor plans with large windows and exposed structural elements. The following are some of the elements characteristic of the mid-century architecture, which may be used as inspiration when designing new buildings:

BUILDING PLAN/FORM

1. Horizontal emphasis.
2. Reflects the influence of the automobile
3. Volumes are relatively small and horizontal/rectangular in form. However, some include geometrical shapes that contrast with the simplicity of the building.

FOUNDATION

1. Slab on grade or elevated grade, or stem wall.

FAÇADE

1. Brick, stone, stucco, and wood;
2. Simple, minimal facade expression.
3. Asymmetrical façades.

COLORS

1. Bright or subdued colors; typically with darker trim colors or bright metals to offset FRONTAGE

ELEMENTS

1. Cantilever canopies and awnings;
2. Porte cocheres;
3. Covered walkways/breezeways;

ROOF

1. Roofs are varied (flat, gable, hip), but with a predominance of flat roofs with small ledge (coping) at roofline.
2. Some buildings have deep overhangs. Other types of roofs in the area include shed roofs and mansard roofs.

DOORS & WINDOWS

1. Fenestration is often irregular and asymmetrical. Some buildings display large plate glass windows;
2. Casement, corner, picture or ribbon windows arranged horizontally;

MATERIALS

1. Expressive building structure (exposed steel frame, architectural block).
2. Smooth, rounded wall surfaces, often stucco;
3. Horizontal grooves or lines in walls (sometimes fluted or pressed metal);
4. Reinforced concrete, steel, glass, storefront.
5. Metal balustrades; 6. Angled supports and railings;

ORNAMENTATION

1. Very little ornamentation;
2. Decorative concrete block screens. The use of stone and wood provides an interesting contrast on the façades.
3. Geometrical shapes and strong angles contrasting with the simple design

SIGNS

1. Integral part of the building architecture.

4.4.1 New Construction

The following section contains additional building design standards that are applicable to all development regardless of the architectural style selected.

- a. All structures on a site shall be of the same architectural character.
- b. Architectural details and materials shall remain consistent on all elevations but may be simplified on the interior side and rear facades.
- c. Upper floor windows shall have a vertical orientation and may be single or double hung. Paned windows are encouraged but not required.
- d. Frosted or patterned glass is not permitted on windows facing the street. Stained glass is permitted.
- e. Shutters, if used, shall be one half the width of the window and shall be (or appear to be) operable.
- f. Extensive building facades shall be subdivided to appear as smaller volumes grouped together. Volume breaks may be achieved by building wall projections and recesses, and varying heights and roof lines. Therefore, building facades shall not exceed fifty (50) feet along a street frontage without providing a substantial volume break such as a recess, or an architecturally prominent public entrance (Figure 10). The recesses and projections shall have a minimum depth of two (2) feet.
- g. Façades shall not exceed twenty (20) horizontal feet and ten (10) vertical feet without including at least one (1) of the following elements:
 - i. A window or door
 - ii. Awning, canopy or marquee.

- iii. An offset, column, reveal, void, projecting rib, band, cornice, or similar element with a minimum depth of six (6) inches.
- iv. Arcade, gallery or stoop.
- v. Complementary changes in materials or texture.
- h. Architectural treatments on the façade, such as parapets, cornices or expression lines, shall be continued around the sides of the building.

4.4.3 Building Color: East King Street only

4.4.4 Building Materials

Allowable exterior finishes shall be selected based on the architectural style (see Appendix A). Exposed pre-engineered metal buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, and other veneers are not allowed, unless a Modification of Standard is approved by the CRC. Unpainted wood siding is not allowed; however, natural siding (cedar, cypress, ipe, and natural hardwoods) may be left unpainted.

4.4.5 Fenestration and Glazing

Fenestration is the arrangement of windows and doors on a façade while glazing is the proportion of glass to the solid surface of a façade. Fenestration shall be calculated as the total area of glass (windows and glass doors), or openings in the case of open porches, divided by the façade area measured from design flood elevation to eight (8) feet above ground in the case of the first story, and from the floor of the upper story to eight (8) feet above that line for upper stories. If the façade includes several planes, they all count toward the calculation if the façade planes are within the required building setback.

- a. The percent of fenestration shall be 30% minimum and 65% maximum of the ground floor facade facing the street. The percent of fenestration on upper floors facing the street shall be 20% minimum and 40% maximum. Renovations will not be required to meet this standard; however, additions are subject to meeting the percentages.
- b. The size and orientation of windows shall reflect the architectural style of the building (see Appendix A).
- c. Glass shall be clear float (thin, smooth, clear glass surface), gray light, or solar glazing with 80% minimum transmittance. Reflective glass or film is not allowed.
- d. Glass panes shall not exceed a maximum size of 6 feet by 8 feet.
- e. Windows shall not be obscured or visually blocked by paint, shelves or attachments, but blinds and curtains are allowed to achieve privacy.
- f. Bulkheads shall extend a minimum of 12 inches and a maximum of 30 inches above the finished floor. Existing garage and bay doors reused as windows are exempt from meeting this requirement. Buildings that are required to be elevated due to floodplain regulations may measure these distances from the interior finished floor.

4.4.7 Building Entrances

- a. The main entrance of all buildings shall be oriented toward the King Street corridor. The design of the façade shall reinforce the presence of the main entrance. In order to better address multi-modal mobility needs, on lots with a possible secondary entrance, the applicant will design the secondary entrance in the context of serving the multi-modal community, including, but not limited to, scaling the secondary entrance to pedestrian needs, providing unimpeded pedestrian pathways or sidewalks through the site, connecting pathways or sidewalks to adjacent parcels or other pedestrian features on public or private land, providing for bicycle racks, etc.
- b. The front entrance (facing King Street) shall be operable, clearly defined and highly visible. To emphasize entrances, they shall be accented by a change in materials around the door, recessed into the façade (alcove), or accented by an overhang, awning, canopy or similar feature.
- c. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.
- d. Pedestrian connections from the public sidewalk and parking areas to the building entrance shall be provided. Buildings with entrances at a higher elevation than the public sidewalk shall create a transition within the setback

4.4.8 Building Roof

- a. Buildings with flat roofs shall have a cornice treatment or a parapet. The cornice shall be at least eighteen (18) inches in height. Parapet shall be a minimum of two (2) feet in height measured from the exterior horizontal roof surface.
- b. The vertical dimension of a hip roof shall not exceed the height of the supporting walls.
- c. In the case of flat roofs, roof materials shall be light-colored or a planted surface (green roof).
- d. Mansard roofs shall be prohibited.

4.5.1 Pedestrian Access and Circulation

Pedestrian walkways, ramps or steps (or a combination of these) shall link the public sidewalk to the front door entry.

4.5.3 Parking Placement

Surface parking lots shall be located behind the building. However, the following parking placement alternatives are also allowed:

- a. Where a site is too shallow to provide parking behind the building, the placement of parking facilities is permitted on the side of the proposed building. This is allowed only if the building setback and building frontage requirements are met. A street wall, in addition to landscaping, will be required to screen the parking facility.
- b. The placement of parking facilities in front of a building is only permitted for the portion of the building that is not used to meet the building setback and building frontage requirements. A street wall, in addition to landscaping, will be required to screen the parking facility.

4.5.5 Bicycle Parking

In conjunction with new construction and substantial redevelopment (as defined in Section 3), the applicant may provide bicycle parking facilities on the site at a suggested minimum rate of one bike rack space per 20 required vehicle spaces. The rack may be placed within the street setback area, but not within the public right-of-way, and it shall count towards the required front or side yard buffer (2' of width per bicycle space, not to exceed 6') or as an offset to required trees at a rate of one tree per three spaces (not to exceed two (2) trees).

4.6.1 Architectural Lighting

- a. Lighting fixtures on the building shall be compatible with the architecture of the building and measure between 2700-3000K.
- b. Permanent accent lighting, distinct from seasonal or holiday lighting, designed to accentuate building details is encouraged.
- c. Holiday lighting, such as for Nights of Lights, may be additionally regulated by the City Commission.
- d. Color and/or neon may be used as architectural lighting to accentuate building frame, profiles or details, with Corridor Review Committee approval.

4.6.2 Site + Parking Lighting

- a. For basic site lighting applications (such as parking lot, pathway, and area lighting), full cut-off lighting fixtures shall be used for all exterior lighting. Such lights shall not point directly at the right-of-way nor the sky. (see Figure 24) Source of illumination shall not be visible from a residential district.
- b. Exposed interior and exterior fluorescent or incandescent bulbs that are visible from the public right-of-way are not allowed.
- c. Lighting poles may not surpass 20' in height as measured to the point of light output (see Figure 24b).
- d. LED dimming technology shall be incorporated in all exterior lighting mounted higher than 10'-0" to reduce lighting level to minimum safe illumination after business closing hours, if possible. Refer to Illuminating Engineering Society guidelines. Minimum for a private parking lot is 0.13 foot-candles. A Lighting professional shall confirm minimum lighting level.

4.7 Stormwater Facilities

Traditional stormwater retention facilities (such as ponds), where required, shall not be located within the front setback. Stormwater is recommended to be incorporated into the overall design of the project as amenities (The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities). Minimum criteria are below.

Projects shall include at least two of the following low impact design concepts, which may be located anywhere on the project (including the front setback):

- Rainwater harvesting (rain barrels, underground cisterns, and similar)
- Bio-swales
- Rain gardens
- Green roof (layer of vegetation planted over a waterproofing system that is installed on top of a flat or slightly sloped roof)
- Pervious pavement (pervious concrete, pervious pavers, and/or other pervious pavements recognized by the United States Green Building Council). To be used for 10% minimum non-vehicular and vehicular parking for credit.

SECTION 5. LANDSCAPE & SCREENING

5.1 Landscape Introduction

This section contains the detailed landscaping standards for properties along King Street. The quality, installation, mitigation, and maintenance requirements of the City Code shall apply (see Section 25-53 of the Code).

5.1.1 Plant Materials

In general, site landscaping shall consist of native or naturalized plants that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

5.1.2 Protection of Existing Landscape

Effort shall be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Construction plans shall indicate areas of protection and shall have applicable notes regarding minimal disturbance of landscape elements to be preserved. Along the corridor, existing oaks in good health shall be protected when possible. Oaks over 12" dbh to be removed shall have an additional 25% deficit applied to current tree mitigation calculations. • Note: A Protected Tree along the site frontage can be included in the building frontage calculation.

5.2 Landscape Requirements

5.2.1 Introduction

The commercial structures along the corridor are characterized by limited landscape in the front yard. Landscape is often in raised planters and narrow strips when provided. The following landscape regulations follow the existing zoning landscape requirements for CM-2, CL-2, and CL-1.

****SEE 5.3 – 5.5 of the King Street Design Standards****

5.5.1 Plant Materials

In general, site landscaping shall consist of native or naturalized plants that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

5.6 Vehicular Use Areas

Vehicular use areas (VUAs) shall meet the following requirements in addition to the screening requirements set forth for the side and rear yards.

1. Within each parking area of five thousand (5,000) square feet or more, there shall be a minimum of five (5) percent of landscaped areas, which shall be reasonably distributed within each five thousand (5,000) square feet of parking area so as to be prorated to fulfill the objectives of this article.
2. Each separate planting area shall contain at least one (1) tree and a tree shall be planted for each one hundred (100) square feet of internal landscaping. All internal landscaping shall be protected from vehicular encroachment by curbing or wheel stops. All landscape areas shall be a minimum of one hundred (100) square feet, with the least dimension being five (5) feet.
3. The VUA perimeter landscape (shrub planting material) shall provide screening of vehicles, particularly on the rear and side yards. Reference Appendix C for hedge material recommended for parking screening.

5.7.1 Fences

- a. Along the front property line and front setback, gates, railings, and fencing materials shall be painted wood, powder-coated aluminum, or wrought iron. Note that these elements are likely attached to the required site wall, as defined in section 5.7.2.
- b. Chain link, wire, and PVC fencing shall be prohibited in the front setback but may be used along side or rear areas.

5.7.2 Street Walls

- a. In the **absence of a building façade along any part of the King Street site frontage line, a street wall shall be built** in line with (co-planar with) the façade. Breaks are permitted in the street wall to provide vehicular and pedestrian access to the site, for plazas and gathering spaces, and for the purpose of tree protection. Street walls shall have openings no larger than necessary to allow automobile and pedestrian access.
- b. **Street walls are the only types of fences/walls allowed facing streets.** Privacy fences and walls are not allowed between adjacent uses along King Street.
- c. Street walls shall be located within the front setback and may have landscaping or hard surface between the wall and the public sidewalk.
- d. Street walls shall be a minimum of 3 feet in height and shall not exceed a 5-foot maximum, as measured from the lower elevation of the public sidewalk or final elevation of adjacent interior development. However, the portion of the wall above 3 feet shall be no more than 50% solid.
- e. Street walls shall be constructed of brick or masonry. Fencing, as per 5.7.1, may be included.
- f. The area in front of a street wall may include landscaping or hardscape if used to expand the sidewalk.
- g. When landscaping is provided between the wall and the sidewalk, the landscaping strip shall be a minimum of two (2) feet wide.
- h. A three (3) foot wide landscape strip, as measured from the wall, shall also be provided on the interior side of the street wall.

5.8 Mechanical Equipment

For the purpose of this section, mechanical equipment shall include, but is not limited to, a heating, ventilation, or air conditioning unit placed outside of a building; vehicular/parking equipment (except for gate arms, if applicable); and any utility-related equipment such as pumps, meters, transformers and similar equipment required to be installed on a development site. Mechanical equipment shall be located so that noise and visual impacts upon abutting residential property are minimized.

1. Mechanical equipment shall not be permitted within any required building setback unless the utility company determines this to be the only possible location.
2. **Mechanical equipment shall not be located between the building and the street, unless technically infeasible.** On corner lots, the location of mechanical equipment along a secondary street may be permitted through the modification of standards process (see Section 4.7) subject to the screening requirements stated below.

3. Screening (by wall, solid fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties. Certain equipment, such as, but not limited to rain barrels or cisterns, shall not require screening provided they are designed to blend with the building and are constructed with the same materials and colors.

4. Air conditioning units and elevator shafts are permitted to go above the standard building height limit but shall be visually screened from all public rights-of-way as shown in Figure 31. This restriction may limit the number of stories that can be built within the 35-foot maximum building height.

5.9 Solid Waste Disposal Facilities

1. Solid waste disposal facilities, solid waste, recycling, yard trash containers, and grease containers must be located to the side or rear of the building and shall be concealed from view from all sides by a wall or fence of up to 7 feet in height. The enclosure shall be made of wood, masonry or vinyl and shall be fitted with an opaque sliding or hinged door and working latch. Gates shall be able to be secured in the open position. No chain link fence is allowed for solid waste enclosures.

2. On corner or double frontage lots, the disposal facilities shall be accessed from the secondary frontage.

3. Enclosure shall adhere to City Solid Waste requirements.

a. Width of 10-12 feet minimum.

b. Depth of 10-12 feet minimum.

c. Height of 7 feet minimum.

d. Overhead clearance over and in front of dumpster shall be clear of obstructions 20' in height.

e. Bumper posts: two (2) steel, 4" diameter set in concrete. Placement 12" from back wall of enclosure.

5.10 Visibility Triangle

All landscaping within the triangular areas described below shall provide unobstructed cross visibility at a level between three (3) and eight (8) feet above the ground. Trees having limbs and foliage extending into this cross visibility area shall be allowed, provided that they are so located so as not to create a traffic hazard. Landscaping, except grass and ground cover, shall not be located closer than three (3) feet from the edge of any accessway pavement. The triangular areas are:

1. The areas of property on both sides of an accessway formed by the intersection of each side of the accessway, i.e. driveway, and the public right-of-way pavement line with two (2) sides of each triangle being ten (10) feet in length from the point of intersection and the third side being a line connecting the ends or the other sides.

6.1 Number and Types of Signs Allowed

1. The number of business identification signs attached to the building per business frontage on a public street shall be per City code.

2. The types of signs allowed are as follows (see Section 7, Definitions):

Building Signs

- Wall Sign
- Canopy Sign
- Awning Sign
- Projecting Sign
- Hanging Sign
- Window Sign
- Freestanding (only for residential conversions)

2. The use of portable signs, streamers and pennants shall follow sign code.

3. Blinking lights, bulbs facing the road, and electronic message signs are not permitted.

6.2 Building Sign Size

The total area of all building signs may be distributed among the various building signs allowed. The maximum size of any individual building sign shall be per City code.

6.4 Building Signs

1. Wall signs shall be either a panel or individual letters applied to the wall, shall not project from the wall by more than 12 inches, shall not extend above the top of the wall where it is located, and in the case of two story buildings, it shall be placed between the first and second floor windows. Signs painted directly onto the façade are not allowed.
2. Projecting signs may be read horizontally or vertically, may extend into the building setback zone, but not over the public right-of-way. They shall have a clearance of 8 feet from the ground and shall not exceed the height of the building wall where installed.
3. Canopy signs may be applied to the face of the canopy and shall not exceed 50 percent of the width of the canopy. They can be placed fully or partially above or below the edge of the canopy, provided the sign consists of individual letters (as opposed to a panel). Canopy signs are also allowed to hang from the bottom of the canopy facing the street. An 8-foot clearance shall be provided.
4. Awning signs shall not cover more than 30% of the vertical face (or near vertical part) of the awning.
5. Window signs (silk screen, vinyl letters, gold leaf, hand painted or neon) shall not occupy more than 25% of the glass window or door, and may be allowed for first and second story businesses.
6. Hanging signs shall not count toward the maximum sign area allowed, provided it is placed under the awning or canopy, perpendicular to the building, and near the front door of the business. Such signs shall have an 8 foot minimum vertical clearance as measured from grade to the bottom of the sign, and a maximum height of 2 feet. While hanging signs do not count towards the maximum sign area, they do count toward the maximum allowed signs per business.
7. Signs shall not obscure architectural details such as windows, cornice, decorative brickwork and storefronts.
8. Signs using neon lighting shall only be permissible within the West King district, and requires approval by the Corridor Review Committee. Neon shall be prohibited within the remainder of the corridor.

Link to full Comprehensive Plan

https://www.citystaug.com/DocumentCenter/View/2976/2040_Comp_Plan_Update?bidId=

Link to full Land Development Code

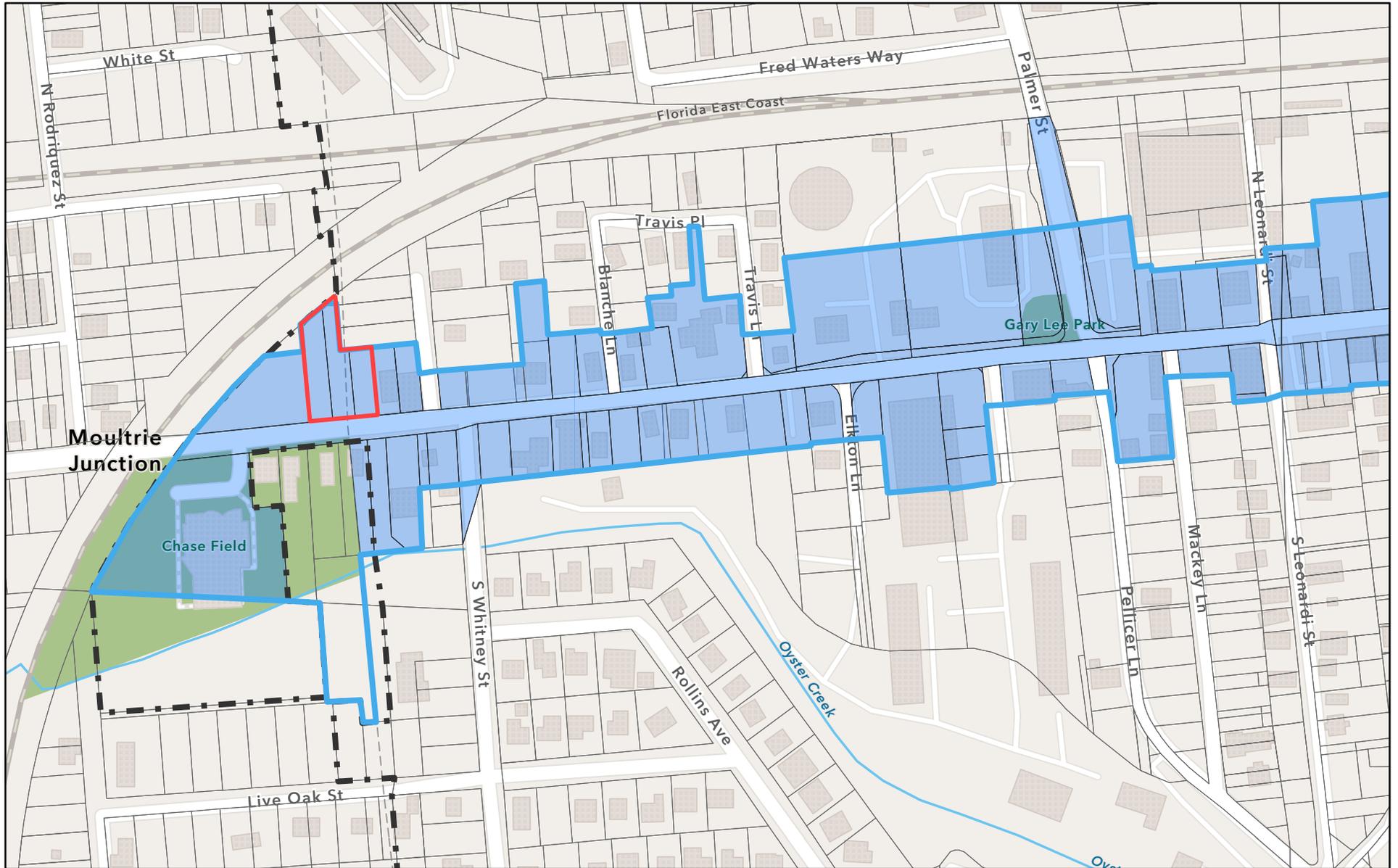
https://library.municode.com/fl/st._augustine/codes/code_of_ordinances?nodeId=THCOSTAUFL

HP 2022-0006
West King Street (PID:1124300000 & 1124200000)
March 3, 2022

LIST OF ATTACHMENTS:

1. Location Map
2. Staff photographs

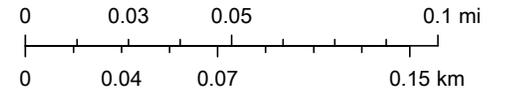
West King Street (PID:1124300000 & 1124200000)



2/25/2022

-  Entry Corridors
-  King Street Parcels
-  MunicipalBoundary - Municipal Boundary
-  Parcels
-  Subject Properties

1:3,381



Esri Community Maps Contributors, FDEP, © OpenStreetMap, Microsoft,

STAFF PHOTOGRAPHS
West King Street
PID:1124300000 & 1124200000



STAFF PHOTOGRAPHS
West King Street
PID:1124300000 & 1124200000



STAFF PHOTOGRAPHS
West King Street
PID:1124300000 & 1124200000



Looking west and north
Staff Report Packet 24 of 29

STAFF PHOTOGRAPHS
West King Street
PID:1124300000 & 1124200000



Looking west

STAFF PHOTOGRAPHS
West King Street
PID:1124300000 & 1124200000



Adjacent buildings east of subject property

STAFF PHOTOGRAPHS
West King Street
PID:1124300000 & 1124200000



Adjacent buildings across West King Street
from subject property

STAFF PHOTOGRAPHS

West King Street

PID:1124300000 & 1124200000



Adjacent buildings across West King Street
from subject property

STAFF PHOTOGRAPHS

West King Street

PID:1124300000 & 1124200000



Adjacent buildings across West King Street and east of subject property



**CITY OF ST. AUGUSTINE
CORRIDOR REVIEW COMMITTEE**



- DESIGN APPROVAL**
- MODIFICATION TO THE STANDARDS**

Application Fee: \$350 _____ BDAC Project No. HP2022-0006
 Receipt No. 2313988 Meeting March 3, 2022
 Date: Advertising Costs \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT _____
 Business (if applicable) _____
 Address _____
 City _____ State _____ Zip Code _____
 Daytime telephone _____ Other phone/email _____

2. NAME OF PROPERTY OWNER _____
 Business (if applicable) _____
 Address _____
 City _____ State _____ Zip Code _____
 Daytime telephone (required) _____ Other phone _____

3. PROJECT STREET ADDRESS _____

4. LEGAL DESCRIPTION: Lot _____ Block _____ Subdivision _____ Parcel _____

5. EXISTING USE _____ PROPOSED USE _____

6. ENTRY CORRIDOR: ANASTASIA KING SAN MARCO

7. TYPOLOGY: RESIDENTIAL INSTITUTIONAL TRADITIONAL COMMERCIAL MIXED

8. PROPOSED PROJECT WORK:

A. DEMOLITION: Buildings and architectural features that are 50 years old or older, listed on the Florida Master Site File, or which have been designated as an historical landmark require a Certificate of Demolition application to be filed separately.

Yes No

B. New construction on a vacant or redeveloped site

New construction on an existing site

New construction that includes parking structures

All other, describe fully below

C. PROJECT DESCRIPTION:

Complete #9 only if seeking a modification

9. Modification of the Design Standards :

A. Section(s) of the Design Standards applicable to the Modification(s): _____

B. DESCRIBE THE MODIFICATION AND WHY IT IS NECESSARY:

C. DESCRIBE HOW THE MODIFICATION IS CONSISTENT WITH THE INTENT OF THE DESIGN STANDARDS AND THE CHARACTER OF THE CORRIDOR:

Note that the applicant is responsible for presenting evidence sufficient to satisfy the applicable criteria

10. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

Once the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME _____

SIGNATURE OF APPLICANT GREGORY VEO _____ DATE _____

PRINT OWNER'S NAME _____

SIGNATURE OF OWNER GREGORY VEO _____ DATE _____

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

West King Street: Parcel 1124300000 + 1124200000

COMPLETENESS REVIEW CHECKLIST

A Design Approval and/or a Modification application and related plans shall be submitted as required for review and approval by the Corridor Review Committee for exterior alterations and new construction associated with any property in a designated entry corridor area (Anastasia Boulevard, King Street, San Marco Avenue). All proposed work items shall be reviewed for consistency and compliance with the Design Standards for Anastasia Boulevard, King Street, or San Marco Avenue as applicable. Please consult our website for digital versions of these documents or visit the Planning and Building Department to view a hardcopy during business hours. Relevant information necessary for this application shall include but not be limited to the below items depending on the scope and scale of the project and as referenced in the "Plan Requirements" section of the Design Standards. The minimum application requirements for each scope of work are indicated below. Discuss the project with Planning Staff if the project is unique and needs to be addressed in a different manner. Applications must be sufficiently complete at the time of submittal or will be advertised as incomplete and may be delayed. Minor details may be submitted up to 10 days before the meeting to the Planning and Building Department and the CRC will determine if additional materials may be presented at the meeting.



INITIAL CONFIRMING YOU HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

The below is a list of requirements based upon the scope of work. To be completed by planning staff

OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	PHOTOGRAPHS OF ANY EXISTING CONDITIONS (SITE, BUILDING, FEATURES)
ROOFS AND ROOFING (sheathing, framing, chimneys, dormers, cupola, parapet, cornice, eave, bracket, drainage system, etc.)			
OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed roof surface including applicable colors, patterns, material, texture
08 <input type="checkbox"/>	57 <input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Scaled drawing of existing and proposed conditions
EXTERIOR FINISHES (wood siding and decorative features, masonry surfaces and features, stucco)			
OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> Brochure or sample of proposed finish including applicable colors, patterns, material, texture, dimensions of reveals, mortar width/color as applicable
04 <input type="checkbox"/>	2d <input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> Scaled drawing of existing and proposed conditions
PORCHES, DECKS, BALCONIES (including loggias/colonnades, porch enclosures, associated decorative features) <i>If proposed</i>			
OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed porch/deck/balcony and property lines if applicable
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Scaled elevation(s) showing the building and existing or proposed porch/deck/balcony
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Scaled detail of existing or proposed porch/deck/balcony showing material, construction detail, finish details
AWNING/CANOPY <i>If proposed</i>			
OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing the building and existing or proposed awning/canopy location and property lines if applicable
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed awning/canopy
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Scaled detail of existing or proposed awning/canopy showing shape, placement, color, and construction details to include supporting structure, framing, hardware, and anchors/attachment details
EXTERIOR DOORS (door openings, doors, screen doors, trim and details such as transoms, sidelights, hoods, hardware)			
OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> Scaled elevation(s) showing the building façade and existing or proposed door <i>Need final</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> For new openings and new construction include a scaled wall section
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Brochure, sample, or scaled drawing of proposed door(s) including material, all dimensions, finish, glazing, hardware
WINDOWS (windows, shutters, and other associated features)			
OK <input type="checkbox"/>	Need <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> For new openings and new construction include a scaled wall section with proposed window
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Brochure or sample showing the material, window type, all dimensions and profiles, finish, glazing, and hardware
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/> Scaled elevation of existing and proposed window; a "typical" elevation can be used if multiple windows are affected as long as the existing and proposed conditions are identical at each location <i>Need final</i>
FOUNDATION (replacement, infill, alteration including elevation)			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	<input type="checkbox"/> Scaled site plan showing building footprint and extent of existing and proposed foundation wall/piers/slab or infill
<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/> Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details

CONTINUED

The below is a list of requirements based upon the scope of work. (To be completed by planning staff)

EXTERIOR ELECTRICAL/MECHANICAL (light fixtures, vents, utilities, pool systems, vending)

OK	Need	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For new equipment, scaled drawing showing proposed project with context site and/or building

FENCES/WALLS/GATES *if proposed*

OK	Need	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section

PARKING, LANDSCAPE OR OTHER SITE FEATURE (plant materials, sidewalk, driveway, fountain, pool, ramp, trellis, well)

OK	Need	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plant material list with identification, quantity, size at planting and maturity, spacing
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Irrigation plan

NEW CONSTRUCTION

OK	Need	N/A	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Photographs of existing site area within view of proposed construction with context area
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways <i>if applicable</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled site plan showing the property line and proposed construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scaled landscape plan
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled elevation drawings showing existing building(s) and major site features
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled elevation drawings showing proposed building(s) and major site features <i>FINAL NEEDED</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wall sections
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refer to required details above for related roof, finishes, porches, doors, windows, foundation, electrical/mechanical
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled elevation drawing (line drawing with minimal detail) showing the existing and proposed streetscape
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scaled footprint diagram showing proposed building footprint(s) and surrounding existing building footprints

Also Need:

- Mechanical equipment locations and any elements addressing screening or site-line requirements should be identified.
- A window survey showing the proposed window dimensions should be included for glazing calculations

❖ Other details necessary for review:

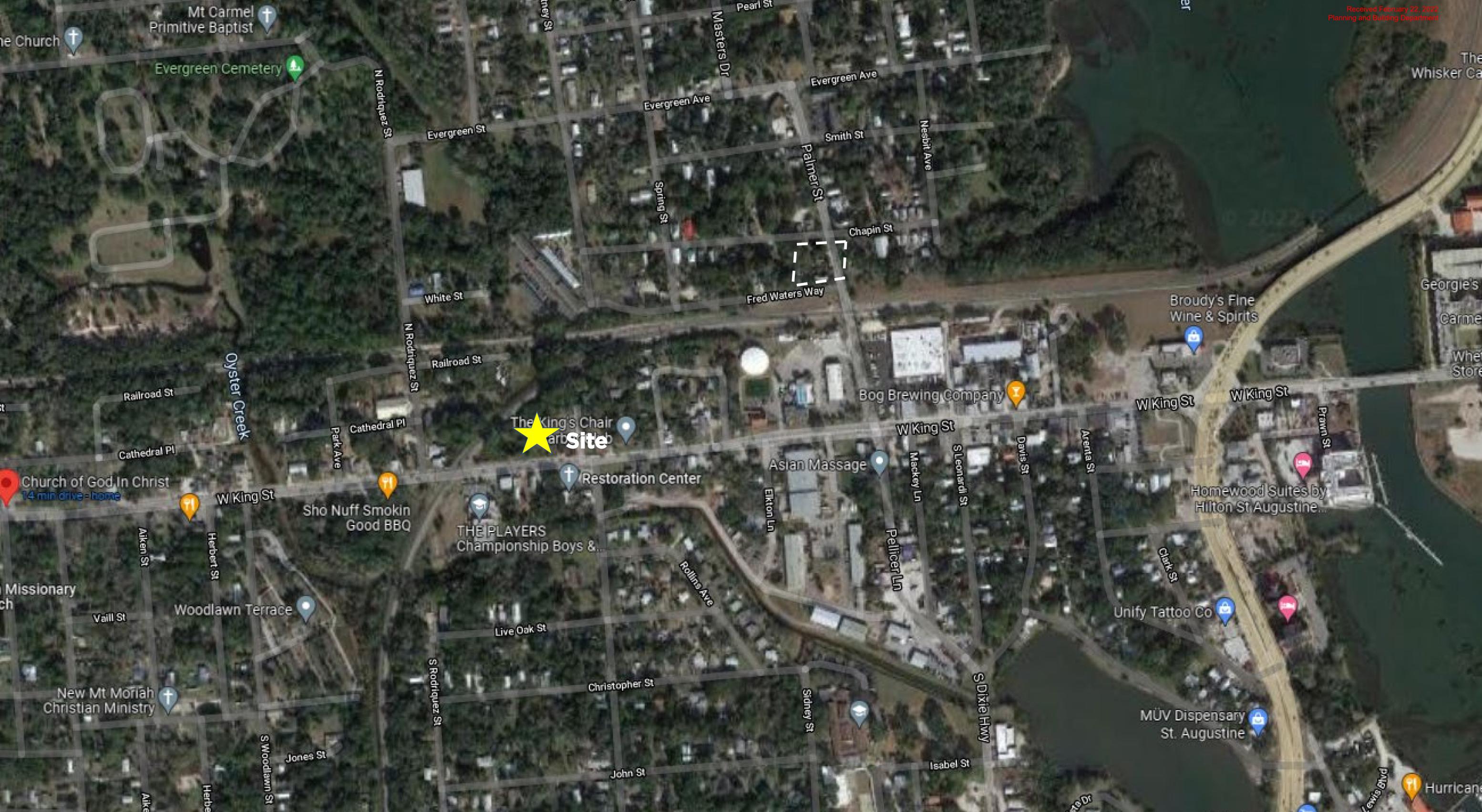
Please provide details for proposed buildings and changes to the site as soon as possible for proper review. All materials must be received by Feb. 21, 2022.

Project number:	<i>To be assigned</i>	Project Address:	<i>West King Street 1124300000 1124200000</i>
Reviewed by:	<i>Julie Courtney</i>		Date: <i>2.9.2022</i>

WEST KING TOWNHOMES King Street Corridor Review Committee Presentation

02.21.2022 | ML+H Project 21.41.0





West King Townhomes Site Context

02.21.2022

St. Augustine, FL
ML+H Project No. 21.
41.0



Existing site conditions – view from west king



Specimen Cedar – To Be Preserved



Oak To Be Preserved



East Vegetative buffer to be preserved



Vacant lot to West



Existing structures to East

West King Townhomes Existing Conditions: Site Photos

02.21.2022

St. Augustine, FL
ML+H Project No. 21.
41.0

City of St. Augustine Entry Corridor Setbacks

Front Yard	Upper Floor Setback	Side Yard	Street Side Yard	Interior Side Yard	Rear Yard Setback	Setback adjacent to Single Family Zoning
PER ZONING King West min, 15' max	Not applicable.	0' min			PER ZONING	15' min

4.1 Building Placement

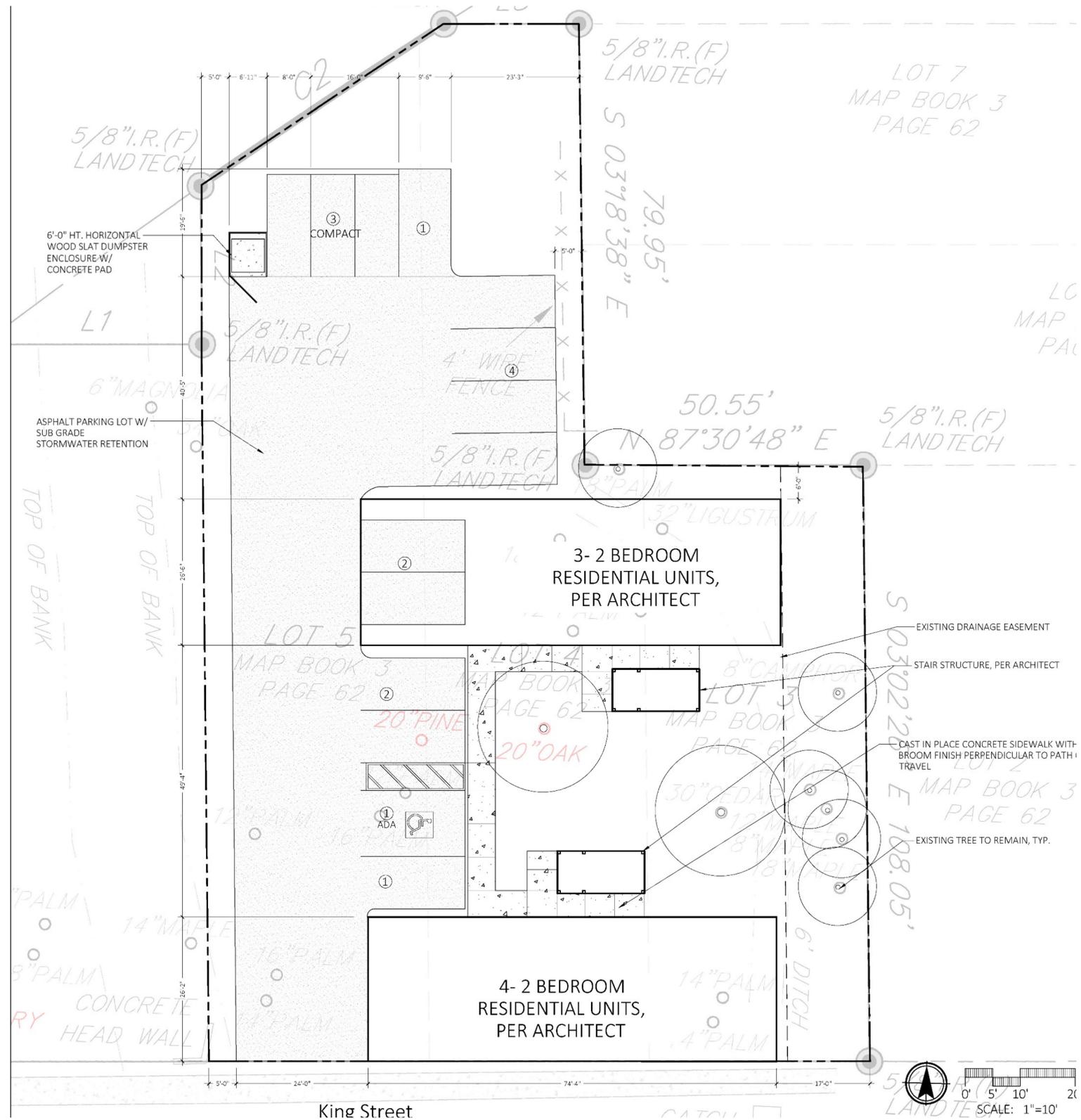
- (6) Minimum yard requirements:
- a. Front, zero feet minimum... (other portion clipped, as Entry Corridor Standards supercede max)
 - b. Side, five (5) feet.
 - c. Rear, five (5) feet.

PARKING REQUIREMENTS

USE	REQUIRED SPACES
7 - 2 BEDROOM RESIDENTIAL UNITS :	14 SPACES

TOTAL SPACES REQUIRED: 14

STANDARD SPACES:	10
COMPACT SPACES:	3
ADA SPACES:	1
TOTAL SPACES PROVIDED:	14



West King Townhomes Hardscape Plan

02.21.2022

St. Augustine, FL
 ML+H Project No. 21.
 41.0

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT	SPREAD	NATIVE	QTY
	Af3	ACER RUBRUM 'FLORIDA FLAME' / FLORIDA FLAME RED MAPLE	AS NEEDED	5"	12' - 14'	8'		2
	Bn	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	AS NEEDED	4" MULTI	16'		YES	1
	Mb	MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD' / SOUTHERN MAGNOLIA	100 GAL.	4"	14' - 16'	5' - 6'		5
	Ss	SABAL PALMETTO / CABBAGE PALMETTO	B&B; REGENERATED	15" MIN.	PER PLAN			9
	Td	TAXODIUM DISTICHUM / BALD CYPRESS	AS NEEDED	4"	14'			5
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPREAD			
	Pm	PODOCARPUS MACROPHYLLUS / YEW PINE	3 GAL.					39
	Sb	SPARTINA BAKERI / SAND CORDGRASS	B&B					33
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SPACING	QTY				
	Pn	PASPALUM NOTATUM / BAHIA GRASS		5,271 SF				

NOTE: Contractor to provide 100% irrigation coverage with Rain Bird XFD-04-12 XFD On-Surface Pressure Compensating Landscape Dripline. 0.4 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings. System to utilize moisture sensing controls

BUFFERYARD REQUIREMENTS

COSA SHRUB + TREE REQUIREMENTS

FRONT YARD - KING STREET

YARD LENGTH 96 LF (EXCLUDING ENTRY DRIVE)
 YARD REQUIREMENTS 25% LANDSCAPE MIN. (24')
 LANDSCAPE PROVIDED (22')

(4 TREES + 12 SHRUBS / 100 LF)

TREES

TREES REQUIRED: 1 TREES
 TREES PROVIDED: 0 TREES
 TREES PRESERVED: 0 TREES

SHRUBS

SHRUBS REQUIRED: 3 SHRUBS
 SHRUBS PROVIDED: 7 SHRUBS

SIDE YARD - WEST

YARD LENGTH 159 LF
 YARD WIDTH 5 FT
 CLASSIFICATION 2 (3 TREES + 0 SHRUBS / 100 LF)

TREES

TREES REQUIRED: 5 TREES
 TREES PROVIDED: 6 TREES
 TREES PRESERVED: 0

SHRUBS

SHRUBS REQUIRED: 0 SHRUBS
 SHRUBS PROVIDED: 33 SHRUBS

SIDE YARD - EAST

YARD LENGTH 108 LF
 YARD WIDTH 5 FT
 CLASSIFICATION 2 (3 TREES + 0 SHRUBS / 100 LF)

TREES

TREES REQUIRED: 4 TREES
 TREES PROVIDED: 6 TREES (SABAL PALMS - TRANSPLANTED ON SITE)
 TREES PRESERVED: 6 TREES

SHRUBS

SHRUBS REQUIRED: 0 SHRUBS
 SHRUBS PROVIDED: 0 SHRUBS

SIDE YARD - EAST

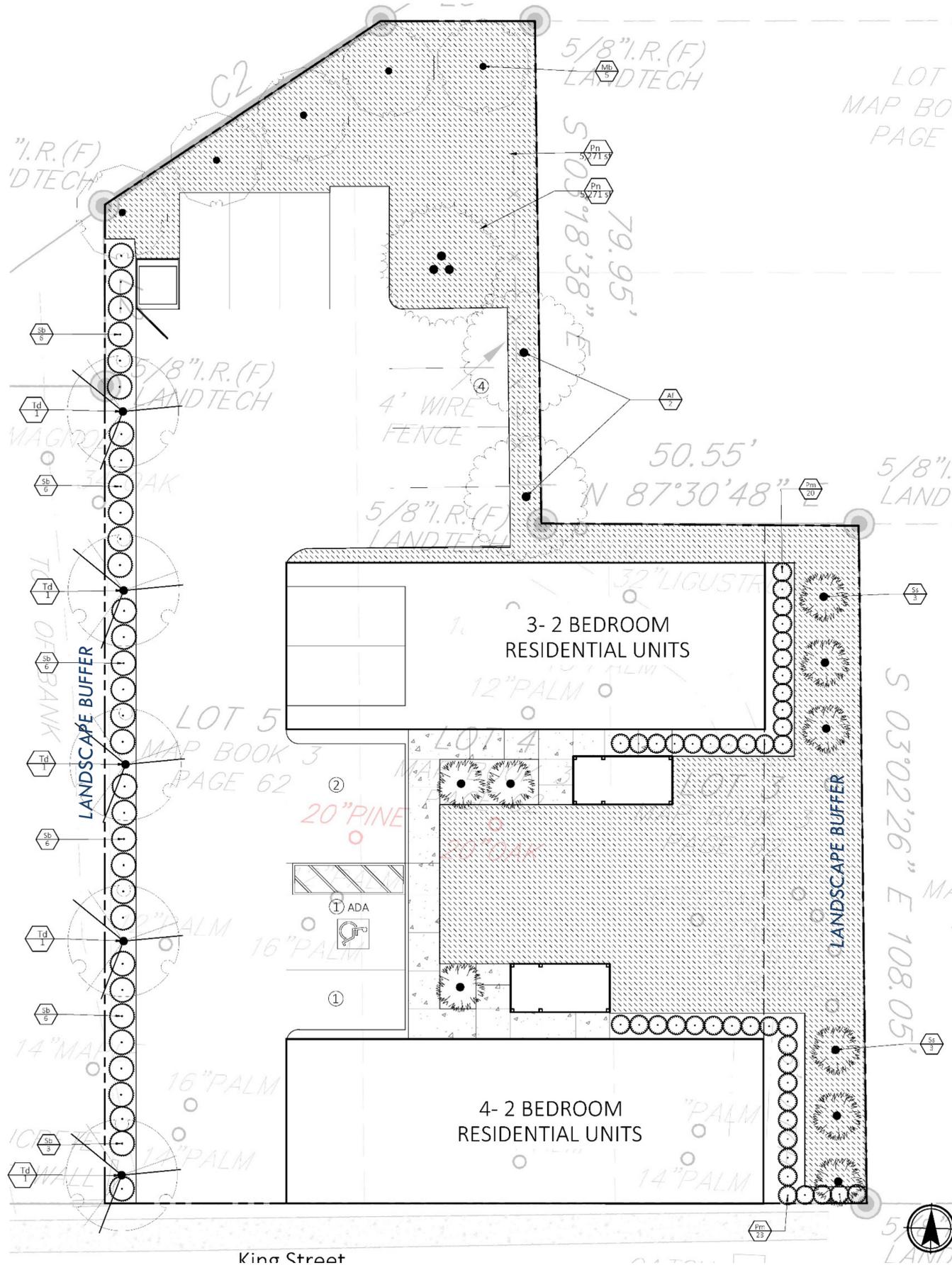
YARD LENGTH 208 LF
 YARD WIDTH 5 FT
 CLASSIFICATION 2 (3 TREES + 0 SHRUBS / 100 LF)

TREES

TREES REQUIRED: 7 TREES
 TREES PROVIDED: 8 TREES
 TREES PRESERVED: 1 TREES

SHRUBS

SHRUBS REQUIRED: 0 SHRUBS
 SHRUBS PROVIDED: 0 SHRUBS



West King Townhomes Landscape Plan

02.21.2022

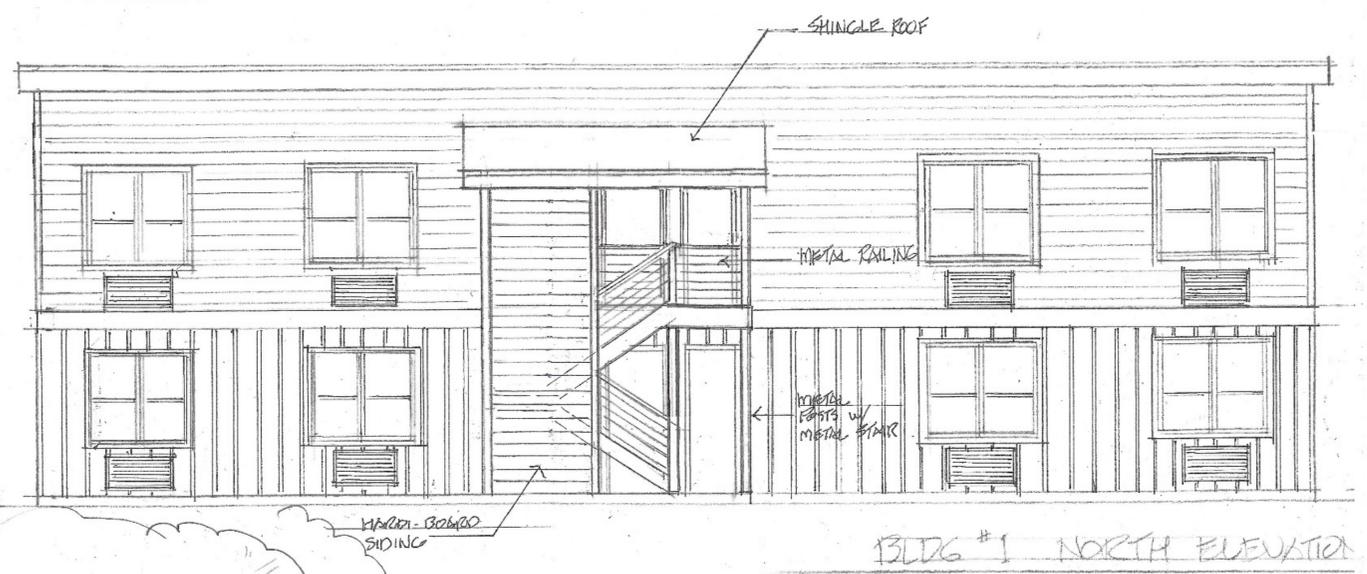
St. Augustine, FL
 ML+H Project No. 21.
 41.0



BUILDING #1 - EAST ELEVATION



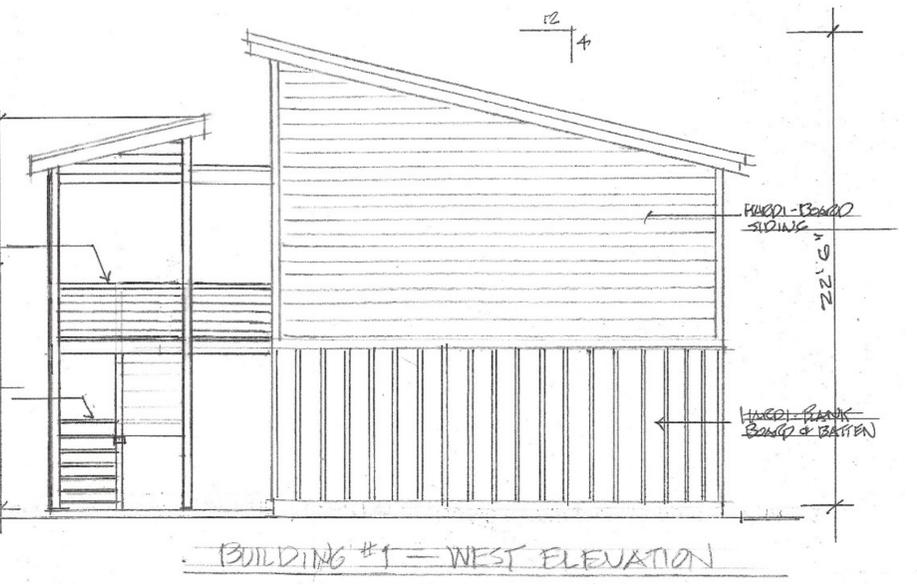
CLASS AREA 17% BUILDING #1 - SOUTH ELEVATION



BUILDING #1 NORTH ELEVATION



BUILDING #2 WEST ELEVATION



BUILDING #1 - WEST ELEVATION

West King Townhomes Building Elevations

02.21.2022



West King Townhomes King Street Elevation with Context

02.21.2022

St. Augustine, FL
ML+H Project No. 21.
41.0

WEST KING TOWNHOMES King Street Corridor Review Committee Presentation

02.21.2022 | ML+H Project 21.41.0



City of St. Augustine Entry Corridor Setbacks

Front Yard	Upper Floor Setback	Side Yard	Street Side Yard	Interior Side Yard	Rear Yard Setback	Setback adjacent to Single Family Zoning
PER ZONING King West	PER ZONING min, 15' max	Not applicable.	0' min		PER ZONING	15' min

4.1 Building Placement

(6) *Minimum yard requirements:*

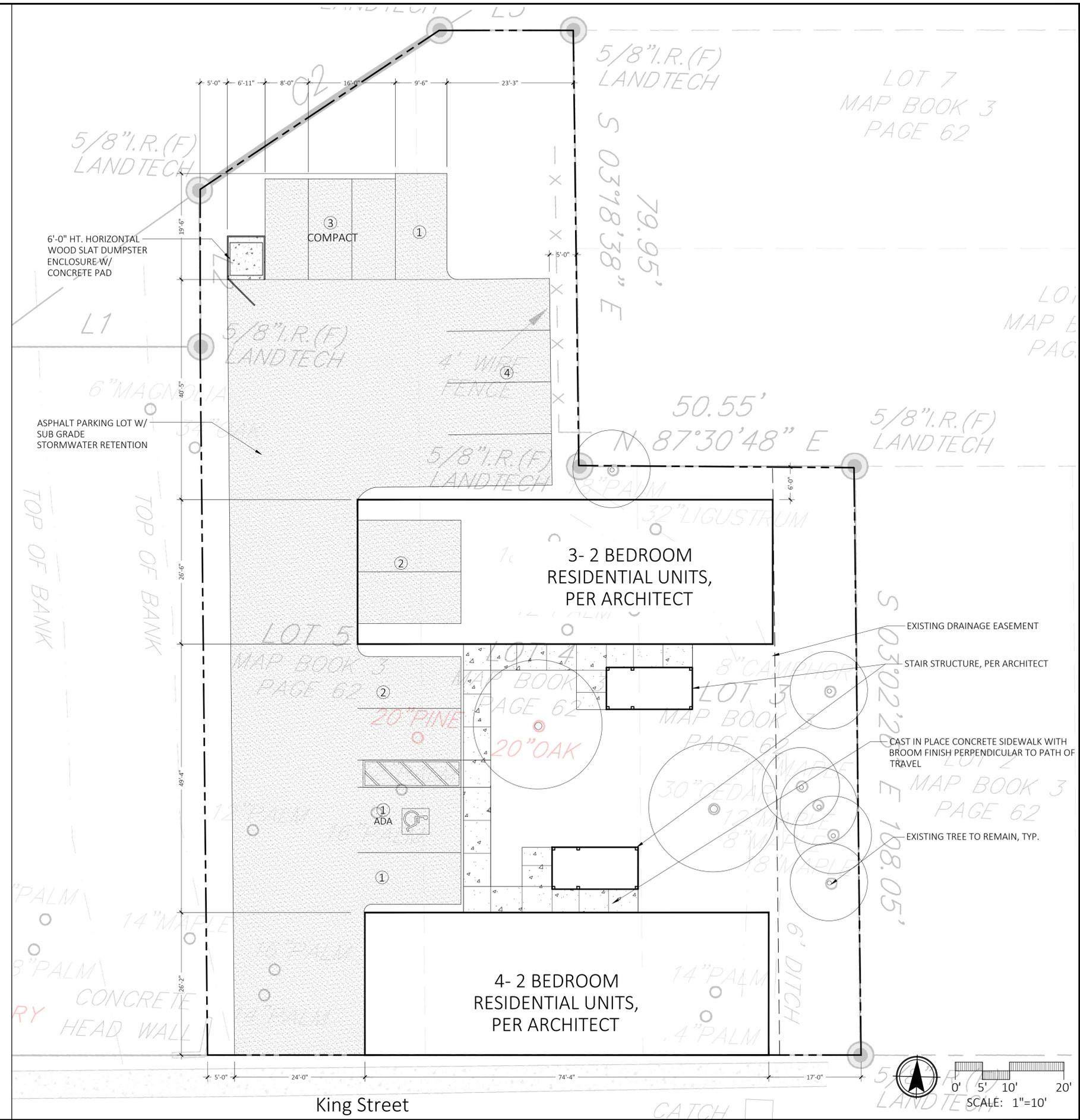
- a. Front, zero feet minimum... (other portion clipped, as Entry Corridor Standards supercede max)
- b. Side, five (5) feet.
- c. Rear, five (5) feet.

PARKING REQUIREMENTS

USE	REQUIRED SPACES
7 - 2 BEDROOM RESIDENTIAL UNITS :	14 SPACES

TOTAL SPACES REQUIRED: 14

STANDARD SPACES:	10
COMPACT SPACES:	3
ADA SPACES:	1
TOTAL SPACES PROVIDED:	14



ML+H
 Marquis Latimer + Halback, Inc.
 34 Cordova Street, Suite A
 St. Augustine, FL 32084
 Ph 904.825.6747 www.halback.com
 LC0000391

JEREMY MARQUIS
 LIC. # 6667110 SEAL
 DRAWN BY: EG

WEST KING STREET TOWNHOMES
 West King Street, St. Augustine, Florida
HARDSCAPE PLAN

SYM	DESCRIPTION	DATE

SIZE:
 PRIME PROJECT #:
 ML+H PROJECT #:

DRAWING NO.:
L-2.1



Marquis Latimer + Halback, Inc.
 34 Cordova Street, Suite A
 St. Augustine, FL 32084
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 LC0000391

JEREMY MARQUIS
 LIC. # 6667110 SEAL
 DRAWN BY: EG

WEST KING STREET TOWNHOMES
 West King Street, St. Augustine, Florida
LANDSCAPE NOTES AND DETAILS

SYM	DESCRIPTION	DATE

SIZE:
 PRIME PROJECT #:
 ML+H PROJECT #:

DRAWING NO.:
L-3.2

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE LANDSCAPE BED PREPARATION, INCLUDING REMOVAL AND DISPOSAL OF EXISTING LANDSCAPE AND TREES (TREES TO REMAIN ARE NOTED ON PLAN). CONTRACTOR SHALL PULL ANY APPLICABLE PERMITS, SUCH AS TREE REMOVAL PERMIT.
- SPRAY DOWN BASE OF BUILDING TO REMOVE SOIL FROM CONSTRUCTION ACTIVITIES.
- PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. PLANT SIZE IS TO TAKE PRECEDENCE OVER CONTAINER SIZE.
- ALL TREES AND SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. BERMS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.
- WEEDS ARE TO BE ADEQUATELY AND PROPERLY TREATED AND REMOVED PRIOR TO LANDSCAPE INSTALLATION. ALL SOIL AMENDMENTS SHOULD BE CERTIFIED AS WEED-FREE FROM THE SUPPLIER.
- LANDSCAPE MATERIAL IS TO BE MAINTAINED BY THE LANDSCAPE CONTRACTOR (INCLUDING MOWING, PRUNING, AND WEEDING) UNTIL PLANTING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR MUST PROVIDE: (A.) A WARRANTY ON ALL TREES AND PALMS FOR A PERIOD OF (12) TWELVE MONTHS. (B.) A WARRANTY ON ALL SHRUBS AND GROUNDCOVERS FOR A PERIOD OF (12) TWELVE MONTHS. (C.) GUIDELINES FOR PROPER MAINTENANCE.
- TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES; ADJUST IN THE FIELD IF NEEDED.
- BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL, SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE PULLED AWAY FROM THE TRUNK.
- CONTRACTOR SHALL SCARIFY SOIL TO A DEPTH OF 12" IN AREAS WITH COMPACTED SOIL. CONTRACTOR SHALL EXCAVATE AND DISPOSE OF ALL STONE, DEBRIS AND BASE MATERIAL FROM PREVIOUS PARKING AREAS. BACK FILL WITH TOP SOIL WITH HIGH ORGANIC CONTENT AND CERTIFIED WEED FREE.

COORDINATION WITH PROJECT WORK

- THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK.
- PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES.
- COORDINATE THE RELOCATION OF ANY IRRIGATION LINES, HEADS OR THE CONDUITS OF OTHER UTILITY LINES THAT ARE IN CONFLICT WITH TREE LOCATIONS. ROOT BALLS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS ENCOUNTERED.

LAYOUT AND PLANTING SEQUENCE

- RELATIVE POSITIONS OF ALL PLANTS AND TREES ARE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- NOTIFY THE LANDSCAPE ARCHITECT, ONE (1) WEEK PRIOR TO LAYOUT. LAYOUT ALL INDIVIDUAL TREE AND SHRUB LOCATIONS. PLACE PLANTS ABOVE SURFACE AT PLANTING LOCATION OR PLACE A LABELED STAKE AT PLANTING LOCATION. LAYOUT BED LINES WITH PAINT FOR THE LANDSCAPE ARCHITECT'S APPROVAL. SECURE THE LANDSCAPE ARCHITECT'S ACCEPTANCE BEFORE DIGGING AND START OF PLANTING WORK.

PLANTING GUIDELINES: TREES, SHRUBS & GROUNDCOVER

- ASSURE THAT SOIL MOISTURE IS WITHIN THE REQUIRED LEVELS PRIOR TO PLANTING. IRRIGATION, IF REQUIRED, SHALL NOT BE APPLIED LESS THAN 12 HOURS PRIOR TO PLANTING TO AVOID PLANTING IN MUDDY SOILS.
- ASSURE THAT SOIL GRADES IN THE BEDS ARE SMOOTH AND AS SHOWN ON THE PLANS.
- PLANTS SHALL BE PLANTED IN EVEN, TRIANGULARLY SPACED ROWS, AT THE INTERVALS CALLED OUT FOR ON THE DRAWINGS, UNLESS OTHERWISE NOTED.
- DIG PLANTING HOLES TWO TIMES (2x) THE WIDTH OF THE ROOT BALL AND BACK FILL WITH PLANTING MIX. SEE "SOIL MIX" GUIDELINES.
- PRESS SOIL TO BRING THE ROOT SYSTEM IN CONTACT WITH THE SOIL.
- SPREAD ANY EXCESS SOIL AROUND IN THE SPACES BETWEEN PLANTS.
- APPLY MULCH TO THE BED BEING SURE NOT TO COVER THE TOPS OF THE PLANTS WITH OR THE TOPS OF THE ROOT BALL WITH MULCH.
- WATER EACH PLANTING AREA AS SOON AS THE PLANTING IS COMPLETED. APPLY ADDITIONAL WATER TO KEEP THE SOIL MOISTURE AT THE REQUIRED LEVELS. DO NOT OVER WATER.

PALM PLANTING

- PALM TREES SHALL BE PLACED AT GRADE MAKING SURE NOT TO PLANT THE TREE ANY DEEPER IN THE GROUND THAN THE PALM TREES ORIGINALLY STOOD.
- THE TREES SHALL BE PLACED WITH THEIR VERTICAL AXIS IN A PLUMB POSITION.
- ALL BACKFILL SHALL BE NATIVE SOIL EXCEPT IN CASES WHERE PLANTING IN ROCK. WATER-SETTLE THE BACK FILL.
- DO NOT COVER ROOT BALL WITH MULCH OR TOPSOIL.
- PROVIDE A WATERING BERM AT EACH PALM. BERMS SHALL EXTEND A MINIMUM OF 18 INCHES OUT FROM THE TRUNK ALL AROUND AND SHALL BE A MINIMUM OF (6) INCHES HIGH.
- REMOVE TWINE WHICH TIES FRONDS TOGETHER AFTER PLACING PALM IN PLANTING HOLE AND SECURING IT IN THE UPRIGHT POSITION.

PRUNING OF TREES AND SHRUBS

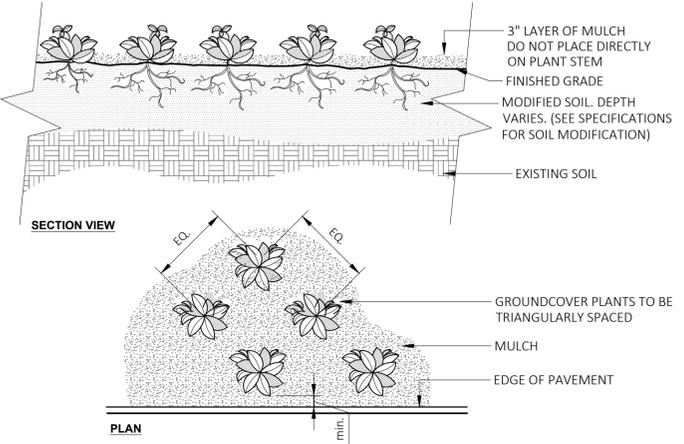
- IF PRUNING OF EXISTING TREES OR PLANT MATERIAL IS REQUIRED THE CONTRACTOR SHALL ADHERE TO ANSI Z133.1 STANDARDS FOR TREE CARE AND INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) BEST MANAGEMENT PRACTICES.

MULCHING OF PLANTS

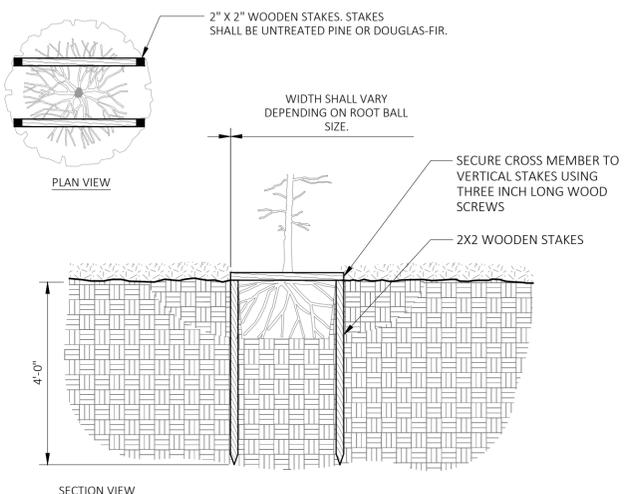
- SCHEDULE THE PLANTING TO OCCUR PRIOR TO APPLICATION OF THE MULCH. IF THE BED IS ALREADY MULCHED, PULL THE MULCH FROM AROUND THE HOLE AND PLANT INTO THE SOIL. DO NOT PLANT THE ROOT SYSTEM IN THE MULCH. PULL MULCH BACK SO IT IS NOT ON THE ROOT BALL SURFACE.
- APPLY A MINIMUM OF 2-3 INCHES DEPTH OF PINE STRAW MULCH BEFORE SETTLEMENT, COVERING THE ENTIRE PLANTING BED AREA. INSTALL NO MORE THAN 1 INCH OF MULCH OVER THE TOP OF THE ROOT BALLS OF ALL PLANTS. TAPER TO 2 INCHES WHEN ABUTTING PAVEMENT.
- FOR TREES PLANTED IN LAWN AREAS THE MULCH SHALL EXTEND TO A 5 FOOT RADIUS AROUND THE TREE OR TO THE EXTENT INDICATED ON THE PLANS AND SPACED AT LEAST SIX INCHES AWAY FROM THE TREE TRUNK. MULCH TREES IN TURF AREAS PRIOR TO HYDROSEEDING.
- LIFT ALL LEAVES, LOW HANGING STEMS AND OTHER GREEN PORTIONS OF SMALL PLANTS OUT OF THE MULCH IF COVERED.

SOIL MIX

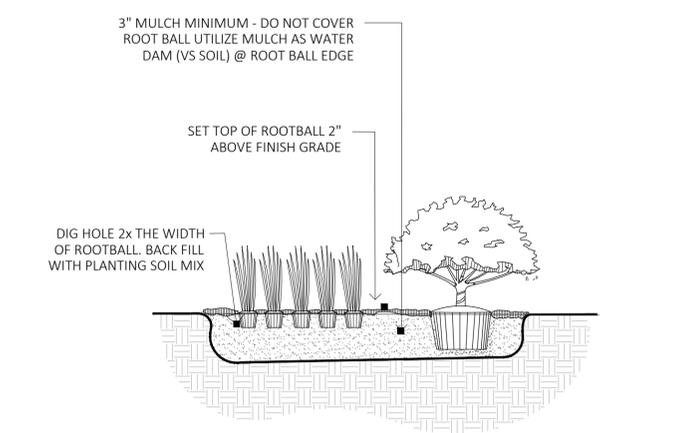
- CONTRACTOR SHALL OBTAIN SOIL TESTING FOR THE PROJECT AREA TO DETERMINE AGONOMIC SUITABILITY. RESULTS SHALL BE REVIEWED WITH THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO PLANTING. AT A MINIMUM, SOIL TESTS SHOULD CONSIDER THE FOLLOWING
 - PH / BUFFER PH
 - SALINITY
 - ORGANIC CONTENT / SAND CONTENT / SILT AND CLAY CONTENT (PERCENTAGE)
 - PHOSPHOROUS / POTASSIUM / CALCIUM / MAGNESIUM
 - AASHTO CLASSIFICATION
 - PERCOLATION RATE
- CONTRACTOR IS TO PROPOSE A SOIL MIX DESIGN BASED UPON RESULTS OF TESTING. THESE RECOMMENDATIONS SHOULD ALSO TAKE INTO ACCOUNT THE TEST RESULTS FROM SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME. PROVIDE A SUBMITTAL OF A TWO GALLON SAMPLE WITH TESTING DATA THAT INCLUDES RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. CONTRACTOR SHALL INCLUDE THE COST OF SOIL TESTING IN THE BASE BID AS WELL AS A APPLICATION OF SLOW RELEASE BALANCED FERTILIZER. CONTRACTOR WILL PROVIDE A PROPOSAL FOR ANY ADDITIONAL AMENDMENTS.
- AT THE TIME OF FINAL GRADING, ADD FERTILIZER OR ACIDIFIER IF REQUIRED TO THE PLANTING SOIL AT RATES RECOMMENDED BY THE TESTING RESULTS FOR THE PLANTS TO BE GROWN.



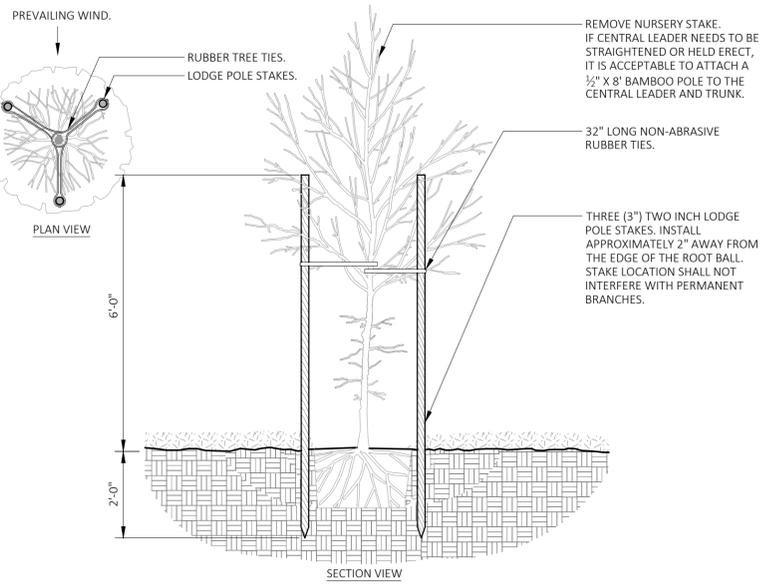
4 GROUNDCOVER
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
 OPEN SOURCE FREE TO USE
 00-04



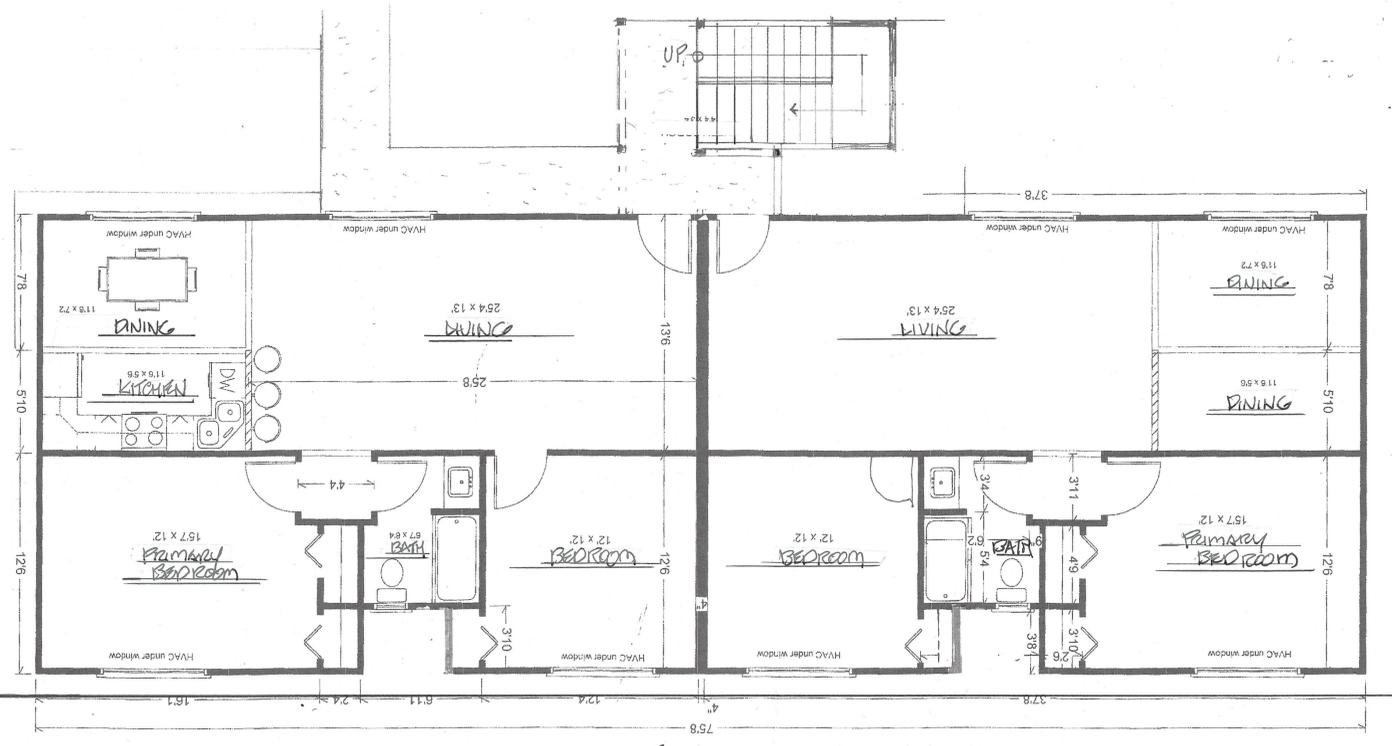
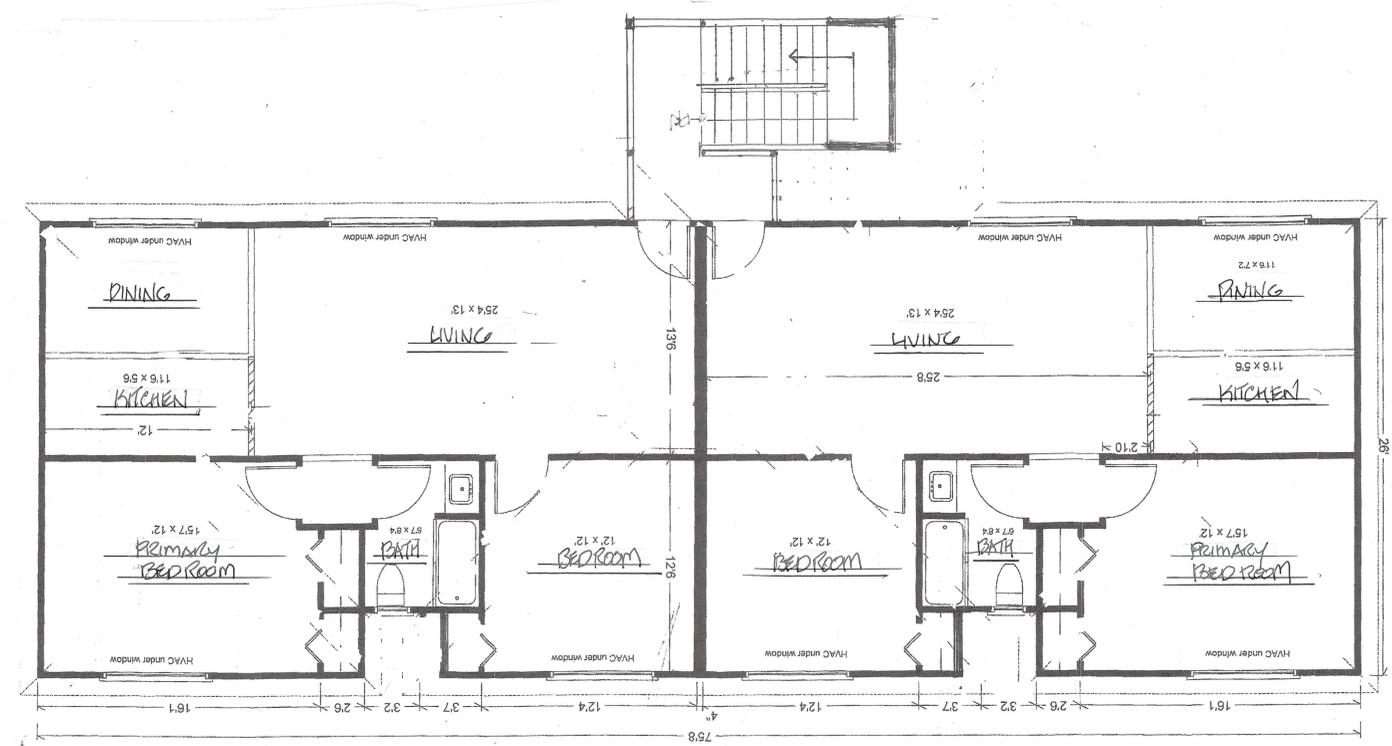
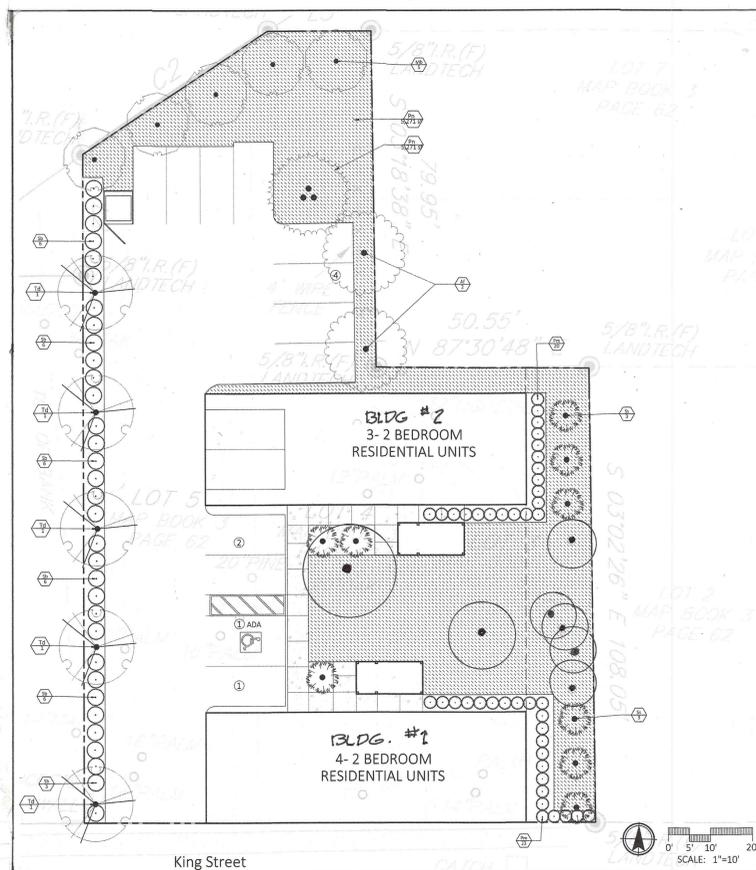
1 TREE STAKING - STAPLE (TREES <12' OA.)
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
 OPEN SOURCE FREE TO USE
 00-01



2 SHRUB AND GROUNDCOVER PLANTING
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
 OPEN SOURCE FREE TO USE
 00-16



3 TREE STAKING - LODGE POLES (3) (TREES >12' OA.)
 NOT TO SCALE
 URBAN TREE FOUNDATION © 2014
 OPEN SOURCE FREE TO USE
 00-02

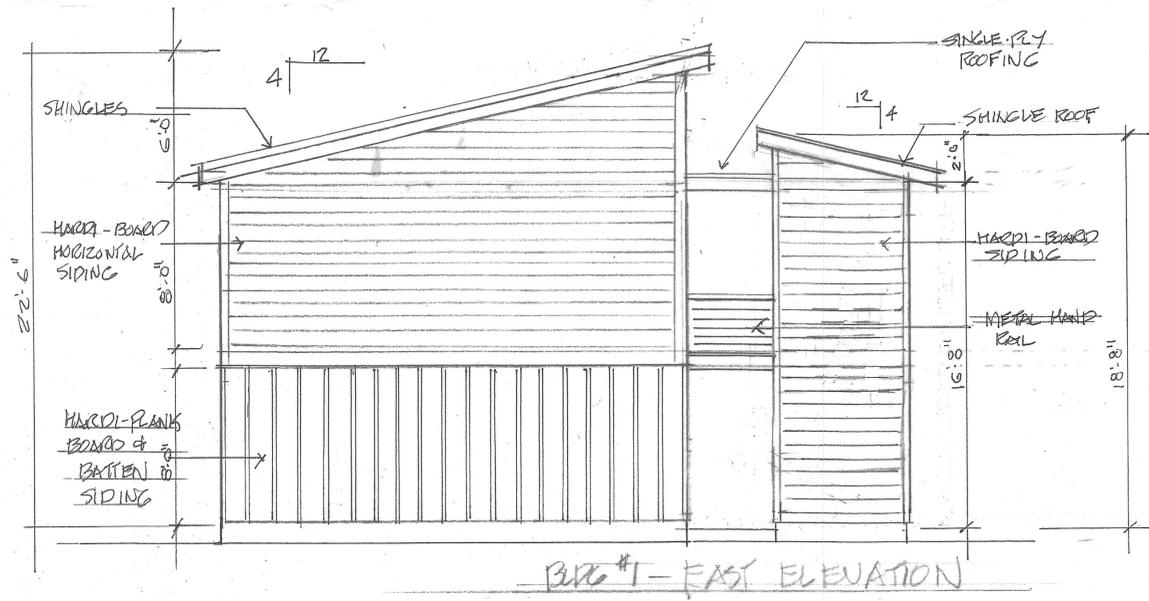


LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

WEST KING ST. TOWNHOMES
 WEST KING ST. ST. AUGUSTINE, FL.

Date: 2-20-22
 Scale: AS NOTED
 Drawn: [Signature]
 File:

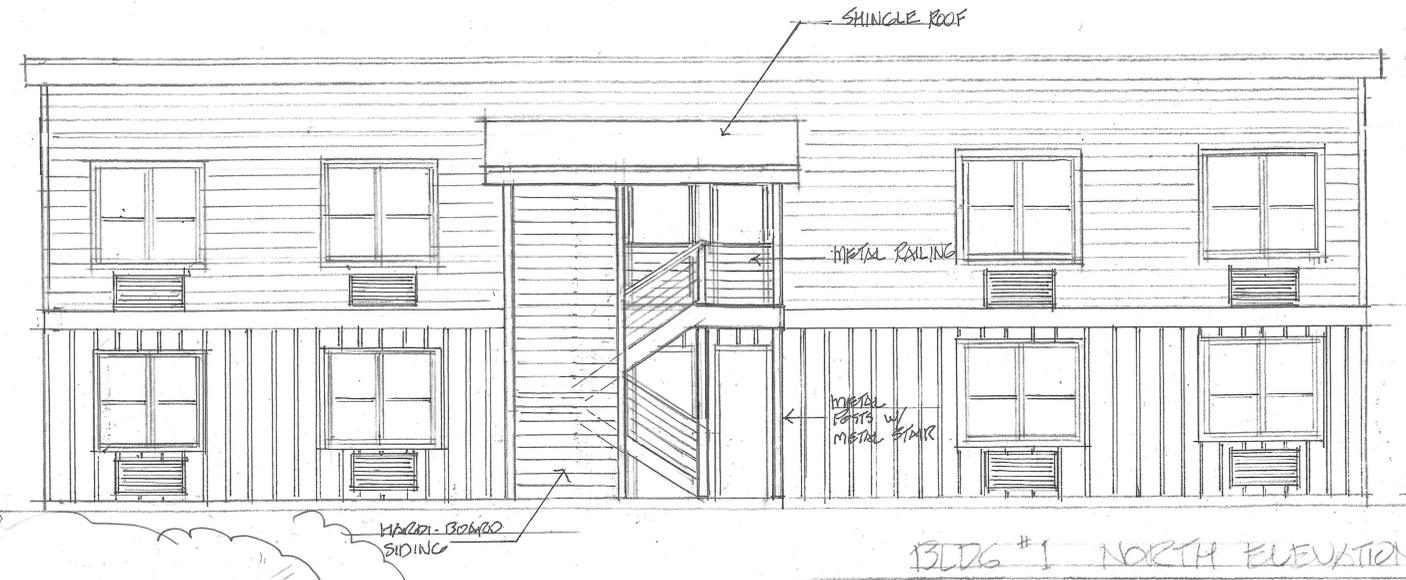
SHEET
 A-1



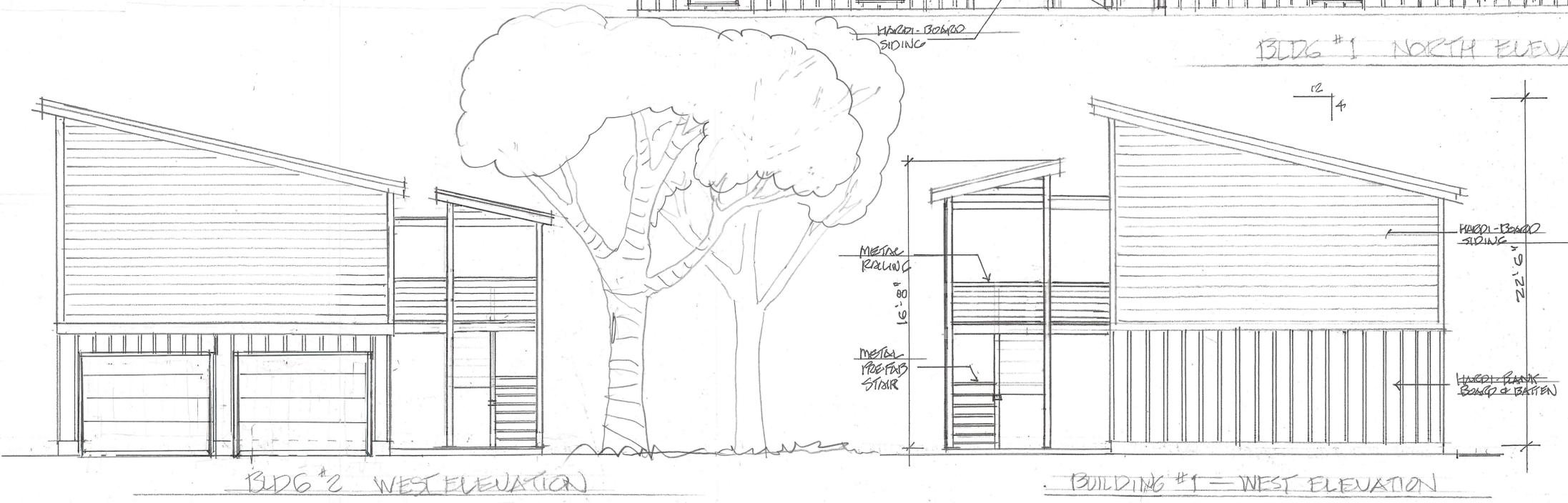
BUDG #1 - EAST ELEVATION



BUILDING #1 - SOUTH ELEVATION



BUDG #1 NORTH ELEVATION



BUDG #2 WEST ELEVATION

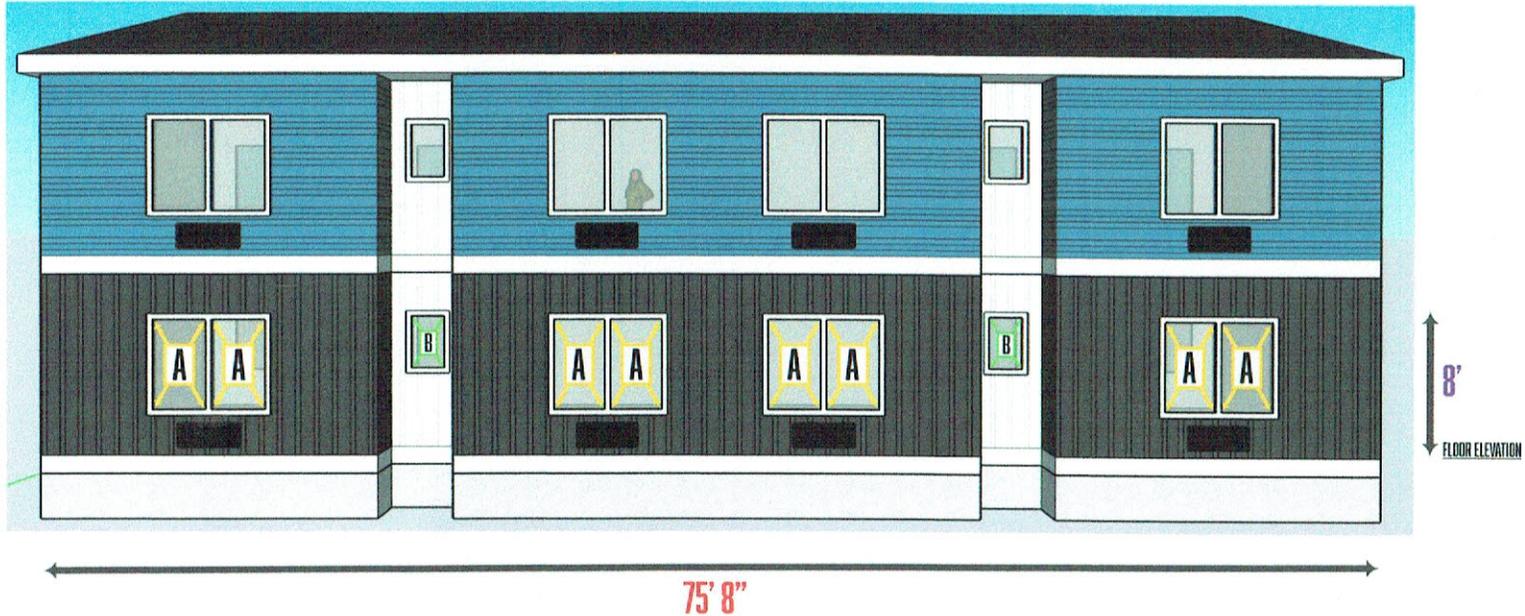
BUILDING #1 - WEST ELEVATION

LES THOMAS
 ARCHITECT
 32 CORDOVA ST., ST. AUGUSTINE, FLORIDA 824-9508

WEST KING ST. TOWNHOMES
 WEST KING ST., ST. AUGUSTINE, FL.

Date: 2-20-22
 Scale: AS NOTED
 Drawn: [Signature]
 File:

SHEET
 A2



$75' 8'' \times 8' = 605.33 \text{ SQFT}$

$A = 3' \times 5' = 15 \text{ SQFT}$

$B = 2' \times 3' = 6 \text{ SQFT}$

$A \times 8 = 120 \text{ SQFT}$

$B \times 2 = 12 \text{ SQFT}$

REQUIRED GLAZING (30%): 181.6 SQFT

BUILDING GLAZING (21.8%): 120 SQFT + 12 SQFT = 132 SQFT

BOARD APPROVAL UP TO 30% DIFFERENCE:

$181.6 \text{ SQFT} \times 30\% = 54.48 \text{ SQFT}$

$181.6 \text{ SQFT} - 54.48 \text{ SQFT} = 127.12 \text{ SQFT}$

WITHIN APPROVABLE THRESHOLD

Rec: \$18.50 Doc: \$1071.00 (\$153,000.00)

In, Return and Prepared by:

Carol Lagasse

ESTATE TITLE OF ST. AUGUSTINE, INC.

71 CARRERA STREET

ST AUGUSTINE, FL 32084

as a necessary incident to the fulfillment of conditions contained in a title insurance commitment issued by it.

Property Appraisers Parcel I.D. (Folio) Number(s):

112430-0000 and 112420-0000

File No.: 63836

WARRANTY DEED

This Warranty Deed, Made the 13 day of October, 2021, by JASON L. FORT, conveying non homestead property whose post office address is: PO Box 92, Bat Cave, NC 28710, hereinafter called the "Grantor", to

LION GATE OF ST. AUGUSTINE, LLC, a Florida Limited Liability Company, whose post office address is:

21 Davis St St Augustine Fl 32084, hereinafter called the "Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of **Ten Dollars and No Cents (\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in **St Johns** County, Florida, to wit:

LOTS FOUR (4) AND FIVE (5) OF THE SUBDIVISION OF LOTS 1, 3, 4, 6 AND N ½ OF LOT 5 OF BLOCK TWENTY-EIGHT (28) OF THE DANCY TRACT, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 62 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA. EXCEPTING THEREFROM THAT PORTION OF LOT 5 BLOCK 28 DANCY TRACT, HERETOFORE DEEDED TO THE FLORIDA EAST COAST RAILWAY COMPANY FOR RIGHT-OF-WAY PURPOSES AS SHOWN IN DEED BOOK 54, PAGE 335 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

AND

LOT THREE (3) OF THE SUBDIVISION OF LOTS 1, 3, 4, 6 AND N ½ OF LOT 5 OF BLOCK TWENTY-EIGHT (28) OF THE DANCY TRACT, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 62 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA. LESS AND EXCEPT LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 35, PAGE 667, SAME SAID PUBLIC RECORDS.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to 2020, reservations, restrictions and easements of record, if any.

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES
TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

2 Witness Signature: Patti Welch 1 [Signature]
2a Printed Name: Patti Welch JASON L. FORT

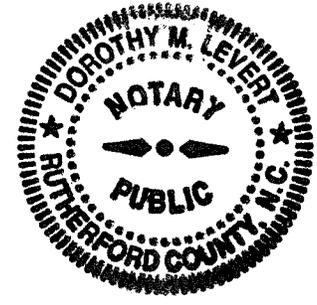
3 Witness Signature: [Signature]
3a Printed Name: Dorothy M. Levert

4 State of North Carolina
County of Rutherford

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5th 13 day of October, 2021 by JASON L. FORT. He/She/They is/are Personally Known OR Produced 9 Drivers License as Identification.

6 [Signature]
Notary Public Signature (SEAL)
6a Printed Name: DOROTHY M. Levert
My Commission Expires: 12-20-2021

7+8



Apply for Exemptions

Apply for Exemptions

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2021 TRIM Notice

2021 TRIM Notice (PDF)

Summary

[Clicking Image Opens Cyclomedia Viewer In a New Tab](#)



Parcel ID 1124200000
 Location Address W KING ST
 SAINT AUGUSTINE 32084-0000
 Neighborhood West King St (COM) (487.01)
 Tax Description* 3-62 DEWHURST SUB OF BLK 28 DANCY LOT 3(EX DRAINAGE ESMT & R/W OF RD S214 OR35/667 & 669) OR5394/1573
**The Description above is not to be used on legal documents.*
 Property Use Code Vacant Commercial (1000)
 Subdivision Dewhurst's Subdivision, W.W.
 Sec/Twp/Rng 41-7-29
 District City of St Augustine (District 452)
 Millage Rate 19.3368
 Acreage 0.120
 Homestead N

Owner Information

Owner Name [Lion Gate Of St Augustine LLC 100%](#)
 Mailing Address 21 DAVIS ST
 SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

	2022
Building Value	\$0
Extra Features Value	\$0
Total Land Value	\$21,888
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$21,888
Total Deferred	\$0
Assessed Value	\$21,888
Total Exemptions	\$0
Taxable Value	\$21,888

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2021	\$0	\$0	\$21,888	\$0	\$0	\$21,888	\$21,888	\$0	\$21,888
2020	\$0	\$0	\$21,888	\$0	\$0	\$21,888	\$21,243	\$645	\$21,243
2019	\$0	\$0	\$19,312	\$0	\$0	\$19,312	\$19,312	\$0	\$19,312
2018	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2017	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2016	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2015	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2014	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2013	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2012	\$0	\$0	\$16,738	\$0	\$0	\$16,738	\$16,738	\$0	\$16,738
2011	\$0	\$0	\$19,312	\$0	\$0	\$19,312	\$19,312	\$0	\$19,312
2010	\$0	\$0	\$21,888	\$0	\$0	\$21,888	\$21,888	\$0	\$21,888

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Commercial	38	130	5150	SF	\$21,888

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
10/15/2021	10/13/2021	\$153,000.00	WARRANTY DEED	5394	1573	Q	V	FORT JASON L	LION GATE OF ST AUGUSTINE LLC
4/18/2018	4/17/2018	\$0.00	WARRANTY DEED	4533	53	U	V	F INDUSTRIES INC	FORT JASON L
12/6/2007	11/29/2007	\$40,000.00	PERSONAL REP	3015	1820	Q	V	DEMPS MOSES JR EST/BY PHILLIPS SHIRLEY P/R	F INDUSTRIES INC
	10/24/2007	\$0.00	COURT ORDER	2998	1899	U	V	DEMPS MOSES JR ESTATE	DEMPS MOSES JR ESTATE
	9/11/2000	\$0.00	OTHER INSTRUMENT	1529	1629	U	V	DEMPS MOSES JR (DECD 8/3/98)	DEMPS MOSES JR ESTATE (LETT OF ADMIN)

No data available for the following modules: Exemption Information, Building Information, Sketch Information, Extra Feature Information.

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Apply for Exemptions

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Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

[Sales Questionnaire](#)

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Summary

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Parcel ID	1124300000
Location Address	W KING ST SAINT AUGUSTINE 32084-0000
Neighborhood	West King St (COM) (487.01)
Tax Description*	DEWHURST SUB OF BLK 28 DANCY LOTS 4 & 5 (EX R/W RD S214) OR5394/1573 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Commercial (1000)
Subdivision	Dewhurst's Subdivision, W.W.
Sec/Twp/Rng	41-7-29
District	City of St Augustine (District 452)
Millage Rate	19.3368
Acreage	0.340
Homestead	N

Owner Information

Owner Name	Lion Gate Of St Augustine LLC 100%
Mailing Address	21 DAVIS ST SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

	2022
Building Value	\$0
Extra Features Value	\$0
Total Land Value	\$29,196
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$29,196
Total Deferred	\$0
Assessed Value	\$29,196
Total Exemptions	\$0
Taxable Value	\$29,196

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2021	\$0	\$0	\$29,196	\$0	\$0	\$29,196	\$28,262	\$934	\$28,262
2020	\$0	\$0	\$29,196	\$0	\$0	\$29,196	\$25,693	\$3,503	\$25,693
2019	\$0	\$0	\$23,357	\$0	\$0	\$23,357	\$23,357	\$0	\$23,357
2018	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2017	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2016	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2015	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2014	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2013	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2012	\$0	\$0	\$16,058	\$0	\$0	\$16,058	\$16,058	\$0	\$16,058
2011	\$0	\$0	\$18,248	\$0	\$0	\$18,248	\$18,248	\$0	\$18,248
2010	\$0	\$0	\$19,707	\$0	\$0	\$19,707	\$19,707	\$0	\$19,707

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Commercial	80	180	14598	SF	\$29,196

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
10/15/2021	10/13/2021	\$153,000.00	WARRANTY DEED	5394	1573	Q	V	FORT JASON L	LION GATE OF ST AUGUSTINE LLC
4/18/2018	4/17/2018	\$0.00	WARRANTY DEED	4533	53	U	V	F INDUSTRIES INC	FORT JASON L
	1/14/2008	\$0.00	ANNEXATION	3033	1630	U	V	CITY OF ST AUGUSTINE	
12/6/2007	11/29/2007	\$40,000.00	PERSONAL REP	3015	1822	Q	V	DEMPS ROSA EST/BY PHILLIPS SHIRLEY P/R	F INDUSTRIES INC
	10/28/2007	\$0.00	COURT ORDER	3000	1466	U	V	DEMPS ROSA MARY ESTATE (ORD AUTH SALE)	ORDER AUTH SALE(CONTRACT W/JASON FORT)
	5/25/2001	\$0.00	COURT ORDER	1612	40	U	V	DEMPS ROSA MARY ESTATE	DEMPS ROSA MARY ESTATE (ORD AUTH SALE)
	9/11/2000	\$0.00	OTHER INSTRUMENT	1532	1145	U	V	DEMPS ROSA MARY (DECD 1/19/75)	DEMPS ROSA MARY ESTATE (LETT OF ADMIN)

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Detail by Entity Name

Florida Limited Liability Company
LION GATE OF ST. AUGUSTINE, LLC

Filing Information

Document Number	L21000263457
FEI/EIN Number	87-1050848
Date Filed	06/07/2021
Effective Date	06/01/2021
State	FL
Status	ACTIVE

Principal Address

21 DAVIS STREET
ST AUGUSTINE, FL 32084 UN

Mailing Address

21 DAVIS STREET
ST AUGUSTINE, FL 32084 UN

Registered Agent Name & Address

LEO, GREGORY G
21 DAVIS STREET
ST AUGUSTINE, FL 32084

Authorized Person(s) Detail

Name & Address

Title MGR

LEO, GREGORY G
21 DAVIS STREET
ST AUGUSTINE, FL 32084 UN

Title MBR

LEO, TEODORO A
21 DAVIS STREET
ST AUGUSTINE, FL 32084 UN

Annual Reports

No Annual Reports Filed

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